



TOWN OF JACKSON

PLANNING & BUILDING

DEPARTMENT

TRANSMITTAL MEMO

Town of Jackson

- Public Works/Engineering
- Building
- Title Company
- Town Attorney
- Police

Joint Town/County

- Parks and Recreation
- Pathways
- Housing Department

Teton County

- Planning Division

- Engineer
- Surveyor- *Nelson*
- Assessor
- Clerk and Recorder
- Road and Levee

State of Wyoming

- Teton Conservation
- WYDOT
- TC School District #1
- Game and Fish
- DEQ

Federal Agencies

- Army Corp of Engineers

Utility Providers

- Qwest
- Lower Valley Energy
- Bresnan Communications

Special Districts

- START
- Jackson Hole Fire/EMS
- Irrigation Company

Date: September 7, 2018	REQUESTS:
Item #: P18-267	The applicant is submitting a Zoning Map Amendment for the property located at 135, 175 E. Broadway Ave. legally known as, PT SW1/4SW1/4, SEC. 27, TWP. 41, RNG. 116 and PT SW1/4SW1/4, SEC. 27, TWP. 41, RNG. 116.
Planner: Paul Anthony	For questions, please call Paul Anthony at 733-0440, x1303 or email to the address shown below. Thank you.
Phone: 733-0440 ext. 1303	
Fax: 734-3563	
Email: panthony@jacksonwy.gov	
Owner: Deloney St LLC & BWD St LLC - Jeff Golightly PO Box 10309 Jackson, WY 83002	
Applicant: Café G, LLC PO Box 7372 Jackson, WY 83002	
Please respond by: May 16, 2019 (Sufficiency) May 23, 2019 (with Comments)	

Owner:

Deloney St LLC & BWD St LLC -
Jeff Golightly
PO Box 10309
Jackson, WY 83002

Applicant:

Café G, LLC
PO Box 7372
Jackson, WY 83002

RESPONSE: For Departments not using Trak-it, please send responses via email to:
tstolte@jacksonwy.gov

CIRQUE CONSULTING, LLC
P.O. Box 7775
Jackson, WY 83002

May 1, 2019

Tyler Sinclair, Planning Director
Town of Jackson Planning and Building
PO Box 1687
Jackson, WY 83001

**RE: East Broadway Zoning Map Amendment – 135 & 175 E. Broadway –
Pre-App P18-194**

Dear Tyler,

On behalf of the applicant, Café G, LLC, please accept this letter and the accompanying materials as a formal request for Zoning Map Amendment within the Town of Jackson for property located within portions of lands located at 135 and 175 E. Broadway currently owned by Deloney Street, LLC and BWD Street, LLC.

The applicant seeks to rezone the subject property from Urban Commercial (UC) to Downtown Core (DC). The lodging overlay currently in place would remain unchanged.

Included for your review are the following:

- Check for \$1,500
- Planning Application
- Letters of Authorization
- Project Narrative & Findings
- Legal Description
- Neighborhood Meeting documents
- Zone Map Amendment Map

As we have discussed, the applicant is very eager to have the rezone application move forward as expeditiously as possible. Any effort you can provide to keep this on track would be greatly appreciated.

Please do not hesitate to contact me at (307) 413-5424 should you have any questions with this submittal. We look forward to hearing from you upon your sufficiency determination.

Sincerely,



George Putnam
Cirque Consulting, LLC



PLANNING PERMIT APPLICATION
Planning & Building Department
Planning Division

150 E Pearl Ave. | ph: (307) 733-0440
P.O. Box 1687 | fax: (307) 734-3563
Jackson, WY 83001 | www.townofjackson.com

For Office Use Only

Fees Paid _____

Check # _____

Credit Card _____

Cash _____

Application #s _____

PROJECT.

Name/Description: **E. Broadway Rezoning**

Physical Address: **Pts of 135, 175 East Broadway Ave. Jackson, 83001**

Lot, Subdivision: **n/a**

PIDN: **22-41-16-27-3-00-010; 22-41-16-27-3-00-009**

OWNER.

Name: **Deloney Street, LLC; BWD Street, LLC**

Phone: **690-1304**

Mailing Address: **POB 10309, Jackson, WY**

ZIP: **83002**

E-mail: **jeff@gardnercmc.com**

APPLICANT/AGENT.

Name: **Café G, LLC**

Phone: **307-413-5424**

Mailing Address: **PO Box 7372 Jackson, WY 83002**

ZIP: **83002**

E-mail: **gputnam@cirqueconsulting.com**

DESIGNATED PRIMARY CONTACT.

Owner Applicant/Agent

TYPE OF APPLICATION. Please check all that apply; see Fee Schedule for applicable fees.

Use Permit	Physical Development	Interpretations
<input type="checkbox"/> Basic Use	<input type="checkbox"/> Sketch Plan	<input type="checkbox"/> Formal Interpretation
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Development Plan	<input type="checkbox"/> Zoning Compliance Verification
<input type="checkbox"/> Special Use		
Relief from the LDRs	Development Option/Subdivision	Amendments to the LDRs
<input type="checkbox"/> Administrative Adjustment	<input type="checkbox"/> Development Option Plan	<input type="checkbox"/> LDR Text Amendment
<input type="checkbox"/> Variance	<input type="checkbox"/> Subdivision Plat	<input checked="" type="checkbox"/> Zoning Map Amendment
<input type="checkbox"/> Beneficial Use Determination	<input type="checkbox"/> Boundary Adjustment (replat)	<input type="checkbox"/> Planned Unit Development
<input type="checkbox"/> Appeal of an Admin. Decision	<input type="checkbox"/> Boundary Adjustment (no plat)	<input type="checkbox"/> Other: _____

PRE-SUBMITTAL STEPS. Pre-submittal steps, such as a pre-application conference, environmental analysis, or neighborhood meeting, are required before application submittal for some application types. See Section 8.1.5, Summary of Procedures, for requirements applicable to your application package. If a pre-submittal step is required, please provide the information below. If you need assistance locating the project number or other information related to a pre-submittal step, contact the Planning Department. If this application is amending a previous approval, indicate the original permit number.

Pre-application Conference #:	P18-194	Environmental Analysis #:	n/a
Original Permit #:	n/a	Date of Neighborhood Meeting:	04/26/2019

SUBMITTAL REQUIREMENTS. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Partial or incomplete applications will be returned to the applicant. Provide **one electronic copy** (via email or thumb drive), and **two hard copies** of the submittal packet.

Have you attached the following?

- Application Fee.** Fees are cumulative. Applications for multiple types of permits, or for multiple permits of the same type, require multiple fees. See the currently adopted Fee Schedule in the Administrative Manual for more information.
- Notarized Letter of Authorization.** A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. If the owner is a partnership or corporation, proof that the owner can sign on behalf of the partnership or corporation is also required. Please see the Letter of Authorization template in the Administrative Manual for a sample.
- Response to Submittal Requirements.** The submittal requirements can be found on the TOJ website for the specific application. If a pre-application conference is held, the submittal requirements will be reviewed at the conference followed by a written summary. The submittal requirements on the TOJ website are intended as a reference to assist you in submitting a sufficient application.

FORMAT.

The main component of any application is demonstration of compliance with all applicable Land Development Regulations (LDRs) and Resolutions. The submittal checklists are intended to identify applicable LDR standards and to outline the information that must be submitted to sufficiently address compliance with those standards.

For some submittal components, minimum standards and formatting requirements have been established. Those are referenced on the checklists where applicable. For all other submittal components, the applicant may choose to make use of narrative statements, maps, drawings, plans and specifications, tables and/or calculations to best demonstrate compliance with a particular standard.

Note: Information provided by the applicant or other review agencies during the planning process may identify other requirements that were not evident at the time of application submittal or a Pre-Application Conference, if held. Staff may request additional materials during review as needed to determine compliance with the LDRs.

Under penalty of perjury, I hereby certify that I have read this application and associated checklists and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.


Signature of Owner or Authorized Applicant/Agent
George Putnam, Cirque Consulting, LLC
Name Printed

05/01/2019
Date
Agent
Title

LETTER OF AUTHORIZATION

BWD Street LLC , "Owner" whose address is: **PO Box 10309**
Jackson, WY 83002

(NAME OF ALL INDIVIDUALS OR ENTITY OWNING THE PROPERTY)

more specifically legally described as: 175 E. Broadway - PT SW1/4SW1/4, Sec. 27, TWP. 41
Rng. 116, as the owner of property

(If too lengthy, attach description)

HEREBY AUTHORIZES George Putnam, Cirque Consulting, LLC _____ as agent to represent and act for Owner in making application for and receiving and accepting on Owners behalf, any permits or other action by the Town of Jackson, or the Town of Jackson Planning, Building, Engineering and/or Environmental Health Departments relating to the modification, development, planning or replatting, improvement, use or occupancy of land in the Town of Jackson. Owner agrees that Owner is or shall be deemed conclusively to be fully aware of and to have authorized and/or made any and all representations or promises contained in said application or any Owner information in support thereof, and shall be deemed to be aware of and to have authorized any subsequent revisions, corrections or modifications to such materials. Owner acknowledges and agrees that Owner shall be bound and shall abide by the written terms or conditions of issuance of any such named representative, whether actually delivered to Owner or not. Owner agrees that no modification, development, platting or replatting, improvement, occupancy or use of any structure or land involved in the application shall take place until approved by the appropriate official of the Town of Jackson, in accordance with applicable codes and regulations. Owner agrees to pay any fines and be liable for any other penalties arising out of the failure to comply with the terms of any permit or arising out of any violation of the applicable laws, codes or regulations applicable to the action sought to be permitted by the application authorized herein.

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.

OWNER:

Max C. Chapman
(SIGNATURE) (SIGNATURE OF CO-OWNER)

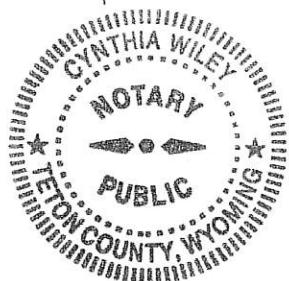
Title: Managing Member (if signed by officer, partner or member of corporation, LLC (secretary or corporate owner) partnership or other non-individual Owner)

The foregoing instrument was acknowledged before me by Max C. Chapman this 26 day of April, 2019.

WITNESS my hand and official seal.

Cynthia Wiley
(Notary Public)
My commission expires: 12/18/11

(Seal)



LETTER OF AUTHORIZATION

BWD Street LLC, "Owner" whose address is: PO Box 10309
Jackson, WY 83002

(NAME OF ALL INDIVIDUALS OR ENTITY OWNING THE PROPERTY)

, as the owner of property
more specifically legally described as: 175 E. Broadway - PT SW1/4SW1/4, Sec. 27, TWP. 41
Rng. 116

(If too lengthy, attach description)

HEREBY AUTHORIZES Robbin Levy Mommsen, Café G, LLC as agent to represent and act for Owner in making application for and receiving and accepting on Owners behalf, any permits or other action by the Town of Jackson, or the Town of Jackson Planning, Building, Engineering and/or Environmental Health Departments relating to the modification, development, planning or replatting, improvement, use or occupancy of land in the Town of Jackson. Owner agrees that Owner is or shall be deemed conclusively to be fully aware of and to have authorized and/or made any and all representations or promises contained in said application or any Owner information in support thereof, and shall be deemed to be aware of and to have authorized any subsequent revisions, corrections or modifications to such materials. Owner acknowledges and agrees that Owner shall be bound and shall abide by the written terms or conditions of issuance of any such named representative, whether actually delivered to Owner or not. Owner agrees that no modification, development, platting or replatting, improvement, occupancy or use of any structure or land involved in the application shall take place until approved by the appropriate official of the Town of Jackson, in accordance with applicable codes and regulations. Owner agrees to pay any fines and be liable for any other penalties arising out of the failure to comply with the terms of any permit or arising out of any violation of the applicable laws, codes or regulations applicable to the action sought to be permitted by the application authorized herein.

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.

OWNER:

Max C. Chen
(SIGNATURE) (SIGNATURE OF CO-OWNER)

Title: Managing Member
(if signed by officer, partner or member of corporation, LLC (secretary or corporate owner) partnership or other non-individual Owner)

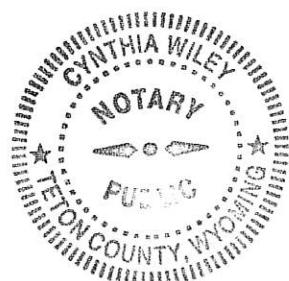
STATE OF Wyoming)
COUNTY OF Teton)
) SS.

The foregoing instrument was acknowledged before me by Max Chapman, Jr. this 24 day of April, 2019.

WITNESS my hand and official seal.

Cynthia Wiley
(Notary Public)
My commission expires: 6/18/21

(Seal)



LETTER OF AUTHORIZATION

Deloney Street LLC, "Owner" whose address is: PO Box 10309
Jackson, WY 83002

(NAME OF ALL INDIVIDUALS OR ENTITY OWNING THE PROPERTY)

(If too lengthy, attach description)

HEREBY AUTHORIZES Robbin Levy Mommsen, Café G, LLC
as
agent to represent and act for Owner in making application for and receiving and accepting
on Owners behalf, any permits or other action by the Town of Jackson, or the Town of
Jackson Planning, Building, Engineering and/or Environmental Health Departments
relating to the modification, development, planning or replatting, improvement, use or
occupancy of land in the Town of Jackson. Owner agrees that Owner is or shall be deemed
conclusively to be fully aware of and to have authorized and/or made any and all
representations or promises contained in said application or any Owner information in
support thereof, and shall be deemed to be aware of and to have authorized any subsequent
revisions, corrections or modifications to such materials. Owner acknowledges and agrees
that Owner shall be bound and shall abide by the written terms or conditions of issuance of
any such named representative, whether actually delivered to Owner or not. Owner agrees
that no modification, development, platting or replatting, improvement, occupancy or use of
any structure or land involved in the application shall take place until approved by the
appropriate official of the Town of Jackson, in accordance with applicable codes and
regulations. Owner agrees to pay any fines and be liable for any other penalties arising out
of the failure to comply with the terms of any permit or arising out of any violation of the
applicable laws, codes or regulations applicable to the action sought to be permitted by the
application authorized herein.

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.

OWNER:

max & chris
(SIGNATURE) (SIGNATURE OF CO-OWNER)

Title: Managing Member (if signed by officer, partner or member of corporation, LLC (secretary or corporate owner) partnership or other non-individual Owner)

STATE OF Wyoming)
COUNTY OF Teton)
)
)

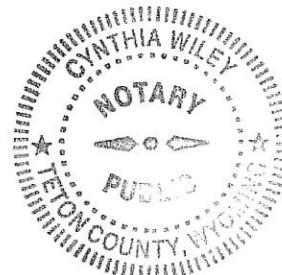
The foregoing instrument was acknowledged before me by Max C. (Happju) E. this 24 day of December, 2019.

WITNESS my hand and official seal.

(Seal)

(Notary Public)

My commission expires: (6-18-21)



LETTER OF AUTHORIZATION

Deloney Street LLC _____, "Owner" whose address is: PO Box 10309
Jackson, WY 83002

(NAME OF ALL INDIVIDUALS OR ENTITY OWNING THE PROPERTY)

_____, as the owner of property
more specifically legally described as: 135 E. Broadway - PT SW1/4SW1/4, Sec. 27, TWP. 41
Rng. 116

(If too lengthy, attach description)

HEREBY AUTHORIZES George Putnam, Cirque Consulting, LLC as agent to represent and act for Owner in making application for and receiving and accepting on Owners behalf, any permits or other action by the Town of Jackson, or the Town of Jackson Planning, Building, Engineering and/or Environmental Health Departments relating to the modification, development, planning or replatting, improvement, use or occupancy of land in the Town of Jackson. Owner agrees that Owner is or shall be deemed conclusively to be fully aware of and to have authorized and/or made any and all representations or promises contained in said application or any Owner information in support thereof, and shall be deemed to be aware of and to have authorized any subsequent revisions, corrections or modifications to such materials. Owner acknowledges and agrees that Owner shall be bound and shall abide by the written terms or conditions of issuance of any such named representative, whether actually delivered to Owner or not. Owner agrees that no modification, development, platting or replatting, improvement, occupancy or use of any structure or land involved in the application shall take place until approved by the appropriate official of the Town of Jackson, in accordance with applicable codes and regulations. Owner agrees to pay any fines and be liable for any other penalties arising out of the failure to comply with the terms of any permit or arising out of any violation of the applicable laws, codes or regulations applicable to the action sought to be permitted by the application authorized herein.

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.

OWNER:


(SIGNATURE) (SIGNATURE OF CO-OWNER)

Title: Manager

(if signed by officer, partner or member of corporation, LLC (secretary or corporate owner) partnership or other non-individual Owner)

STATE OF Wyoming

)

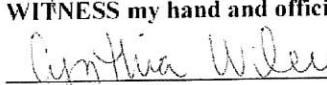
)
SS.

COUNTY OF Teton

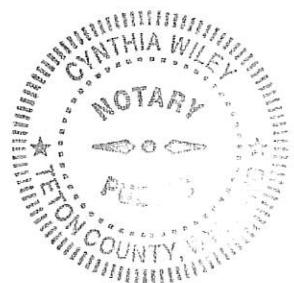
)

The foregoing instrument was acknowledged before me by Max C. Chapman, Jr. this 26 day of April, 2019.

WITNESS my hand and official seal.


(Notary Public)
My commission expires: 6-18-21

(Seal)



Project Narrative:

The property known as the Genevieve Block is an important part of our town's history and story. In September 2018, an application was submitted to the town of Jackson by the current owner of 135 and 175 E. Broadway, that would have rezoned those properties, in their entirety, from Urban Commercial Lodging Overlay (UC/LO) to Downtown Core Lodging Overlay (DC/LO). While special restrictions were proposed at the time to recognize the existing historically significant structures, there were fears that a rezone would mean potential relocation or permanent destruction of historic buildings, green space and large trees, and the loss of community character that the block brings to downtown Jackson. That rezone application was ultimately not supported by the Town of Jackson Planning Commission and was withdrawn prior to a hearing at the Town Council.

The block is now under contract by Café G, LLC, an entity formed as the vehicle for a community effort to purchase the properties and preserve their unique character by specifically recognizing and protecting the historic buildings and green space through the use of land conservation and historic preservation tools. The partial rezone from UC to DC zoning that is contemplated by this new application will make it possible to condense the potential development footprint to the smallest space possible in the area of the property on land rezoned to DC along the northern half of the properties that will have the least impact on the historic buildings, community green space and character of the block while leaving the historically significant buildings in the UC zone.

This application is for a rezone of a portion of 135 and 175 East Broadway to Downtown Core/Lodging Overlay (DC/LO) zoning. A map depicting the proposed area to be rezoned to DC is attached with this application. The property is currently zoned Urban Commercial/Lodging Overlay (UC/LO) and is approximately 1.8 acres in size. A review of the Comprehensive Plan Zone District map shows the property within District 2: Downtown Sub Area 2.3 and adjacent to the District 1: Inner Square Sub Area 1.1 on the west and the District 2: Mixed Use Office and Residential Sub Area 2.6 on the east. The property presently contains commercial development consisting of locally owned businesses and single family residential which is currently rented. The proposed project would allow for mixed-use commercial and residential development under the standards established by the Downtown Core (DC) zone district. The lodging overlay remains unchanged by this rezone request.

Findings for Approval – Zoning Map Amendment

1. Is consistent with the purposes and organization of the LDRs

The proposed zoning map amendment is consistent with the purposes and organization of the Land Development Regulations (LDRs) as they stand as the implementation, in regulatory form, of the stated vision and desires of the Jackson/Teton County Comprehensive Plan adopted May 2012.

The proposed rezone of the subject property from Urban Commercial/ Lodging Overlay (UC/LO) to Downtown Core / Lodging Overlay (DC/LO) implements the community vision as it will “serve to preserve and protect the area’s ecosystem in order to ensure a healthy environment, community, and economy for current and future generations.” The rezone of the proposed property to DC/LO will allow for development to follow the form of DC zoning which provides greater flexibility with building design and use of the third story which allows for a more compact development footprint and greater ability to pursue greenspace and historic structure preservation. Preserving the historical and cultural landscape of Jackson for future generations is a stated goal of the Comprehensive Plan (Jackson/Teton County Comprehensive Plan 2012 - Policy 4.5.a).

The physical location of the proposed lands to be rezoned follows the stated desire of the LDRs to implement the common values of community character given that the DC zone specifically allows ecosystem stewardship by focusing development within the Town of Jackson and directs future managed growth to an identified character district within the Town of Jackson where economic vitality, housing and cultural activities are stated defining features.

Quality of life priorities are recognized as foundations of the purposes of the LDRs and are supported by the proposed rezone to DC/LO. A sustainable, vibrant, stable and diversified community can be realized where potential residents and business owners are able to live and conduct business in a manner that supports alternative modes of transportation by its adjacent proximity to the Deloney Ave. START transit center. The DC zone allowances for residential use of the third story, and workforce housing incentives for floor area further compliment the proposed action’s consistency with the LDRs.

The proposed rezone allows the implementation of the illustration of the vision for each complete neighborhood character zone. The DC zone as defined in Section 2.2.10 of the LDRs is a recognized complete neighborhood character zone which dictates several desired form standards including streets, pedestrian frontages, building frontages and parking for the downtown core area of Jackson. Additional physical development and use standards are clearly defined for DC zoning. The land proposed for rezoning is suitable for inclusion in the DC zone as its location and character provide opportunity to preserve the cultural landscape and historic buildings of the Van Vleck family along Broadway Ave. while allowing future development of the subject lands within the desired form and character of DC zoning which is the predominant and appropriate character district found on adjacent lands in close proximity to the town square. DC zoning further provides predictable regulations, incentives and allowances for development that the subject property can utilize to benefit the community. DC Zoning of this property follows the desired coordination between Town and County efforts to implement the shared community vision of “Town as Heart”.

Given the subject land's location within the downtown core area of Jackson and desired effect of the DC character district to the form, density, and use of DC lands, the proposed rezone follows the organization of the LDRs which outline the standards of the community's character-based approach to land planning. Further, the LDRs outline physical development standards, allowed uses and land division parameters under which the subject property may be developed and the lands inclusion in DC zoning is an appropriate change to allow the community to fulfill its stated mission and goals.

2. Improves implementation of the desired future character defined in the Illustration of Our Vision chapter of the Comprehensive Plan

The proposed rezone of currently UC zoned lands to DC improves implementation of the desired future character defined for District 2: Town Commercial Core, in the Illustration of Our Vision chapter of the Comprehensive Plan in several significant ways.

Current UC zoning lacks specificity to many of the desired character defining elements outlined for District 2 and Subarea 2.3 – Downtown, such as streetscapes, pedestrian frontages, building frontages and parking. Rezoning to DC provides for the stated implementation of these character defining elements which will guide development to support a vibrant mixed-use pedestrian friendly environment. By clearly defining building bulk and scale and architectural form, pedestrian sidewalk and greenspace characteristics, DC zoning will provide predictability and intention to future development to compliment the surrounding neighborhood and location context within the downtown area.

A stated goal of the Downtown subarea is to “create a consistent building size and form.” Under current UC zoning, there are no requirements for development to ensure this stated building consistency is achieved or good urban design principles are followed. Rezoning to DC will provide clear guidance to achieve the stated goal by following requirements for building frontages outlined in LDR Section 2.2.1.d, Rules Applicable to All Complete Neighborhood Character Zones. Establishing this type of building size and form consistency along east Deloney Ave. extending from the town square is appropriate and logical as a transitional area from the commercial core of Jackson.

Lodging is recognized as a key use within in the Downtown sub-area, and striking a balance between commercial space, lodging and long-term residential housing is often challenged by market conditions. Rezoning the subject property to Downtown Core will provide the guidance, tools and incentives lacking under current UC zoning to realize the community vision of a desired variety of mixed uses that support year-round community-based business and local entrepreneurial energy.

3. Is necessary to address changing conditions or public necessity

The lands subject to the rezone are currently under contract for sale. The proposed rezone to Downtown Core is necessary to provide guidance to the applicant and current owner that will allow desired predictability and flexibility for the future development and conservation of the subject property.

4. Is consistent with other adopted Town Ordinances

The proposed rezone to Downtown Core is consistent with other adopted Town Ordinances as included in The Municipal Code adopted by the Town Council through and including Ordinance No. 1227, dated April 2019.

Legal description of land to be included in Zoning Map amendment:

That part of the SW1/4SW1/4, Section 27, Township 41N, Range 116 W, 6th P.M., Teton County Wyoming. Being more particularly described as follows:

The north half and the west 50 feet of the south half of that land owned by Deloney Street, LLC described in that Deed recorded in Document # 0729086 Book 698, pages 824-825 in the Office of the Clerk of Teton County. PIDN: 22-41-16-27-03-00-010

AND

The north half of that land owned by BWD Street LLC described in that Deed recorded in Document # 0841627 Book 850, pages 29-31 in the Office of the Clerk of Teton County. PIDN: 22-41-16-27-03-00-009

Neighborhood Meeting Summary
4/26/2019

A neighborhood meeting was held on the property on April 26, 2019 from 4-7pm. Neighbors and members of the public were invited to visit the historic structures and greenspace on the property. At 4:30pm a presentation was made by the applicants and agent to the gathered group of approximately 75+ people of the current plan to purchase the property and preserve the historic structures along Broadway and greenspace areas. The proposed rezone was introduced and described per the attached proposed zone change map.

Neighbors was then invited to come talk to project representatives in two breakout locations led by project members George Putnam, Cirque Consulting and Adam Janak, Northworks Architects. Technical questions and comments were discussed and recorded at these breakout locations. Additional comments were compiled from conversations held by the project team with neighbors and the public who came to the open house receptions held at three participating businesses. A compilation of comments is included.

Two neighborhood meeting notice boards was posted at the site on April 16, 2019 – ten days prior to the public meeting. Content of the public notice is attached.

Notice was mailed to neighbors on April 16, 2019. A copy of this notice and the names and addresses of recipients is included.

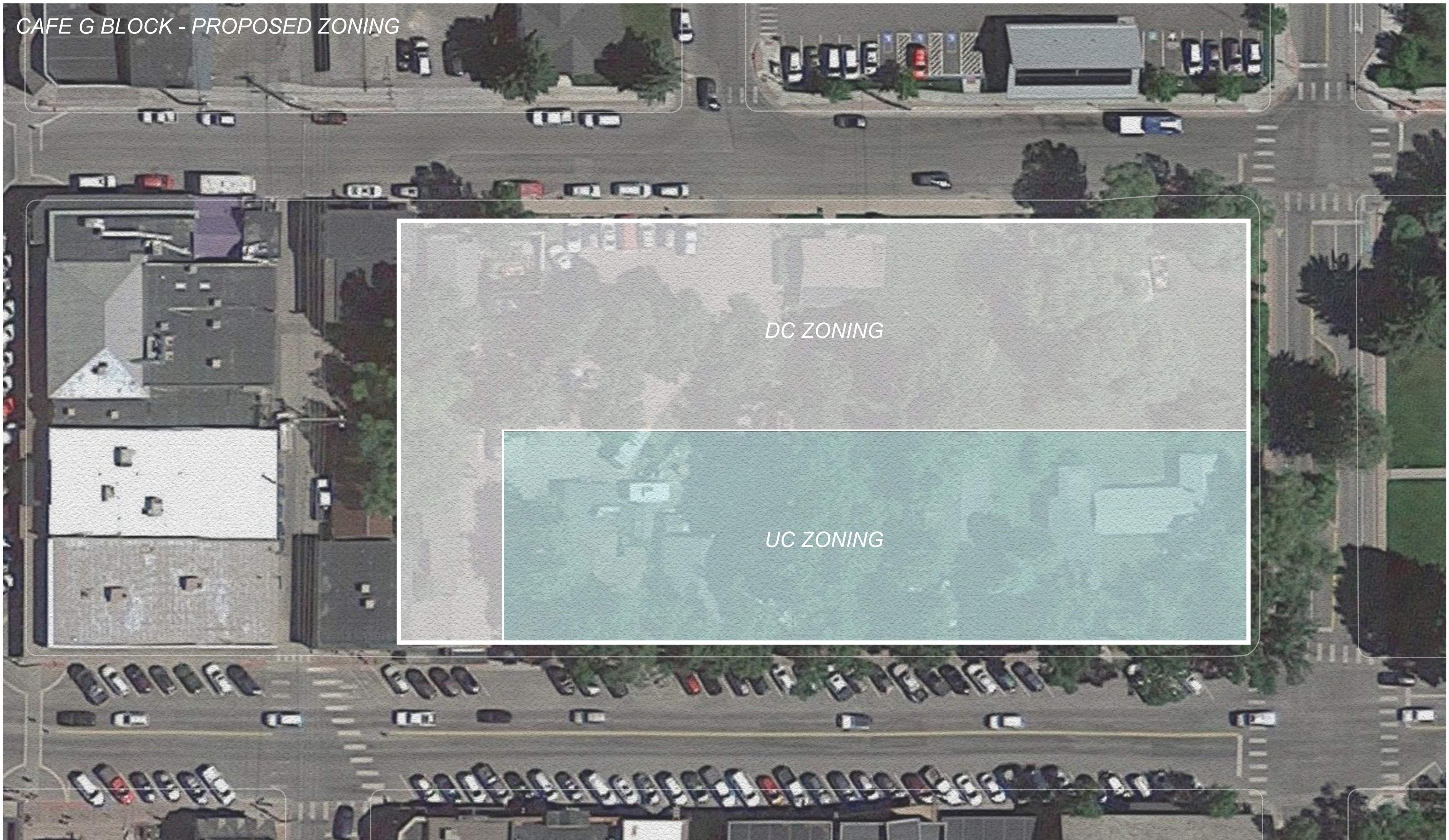
Name	Mailing Address	City, State	StAddr
98 CENTER STREET, LLC	217 WEST 22ND STREET	NEW YORK, NY 10011	98 CENTER STREET
ANIMAL ADOPTION CENTER, INC.	PO BOX 8532	JACKSON, WY 83002	270 E BROADWAY AVENUE
ARDT, LLC	P.O. BOX 9605	JACKSON, WY 83002	250 E BROADWAY AVENUE
BALD EAGLE, LLC	P.O. BOX 6368	JACKSON, WY 83002	150 E BROADWAY AVENUE
BROADWAY & WILLOW LLC	P.O. BOX 4719	JACKSON, WY 83001	200 E BROADWAY AVENUE
BROADWAY CENTRE LLC	PO BOX 489	JACKSON, WY 83001	235 E BROADWAY AVENUE
BROADWAY MILLENNIUM LLC C/O GRAND TETON PROPERTY MANAGEMENT	P.O. BOX 2282	JACKSON, WY 83001	175 E BROADWAY AVENUE
BWD STREET, LLC	PO BOX 10309	JACKSON, WY 83002	230 E BROADWAY AVENUE #1-8
CACHE CREEK, LLC	P.O. BOX 2924	JACKSON, WY 83001	36 E BROADWAY AVENUE #9-3
CADENHEAD, SAMANTHA 2004 IRREVOCABLE TRUST	PO BOX 4257	JACKSON, WY 83001-4257	155 CENTER STREET
CENTER STREET, LLC	P.O. BOX 10309	JACKSON, WY 83002	84 E BROADWAY AVENUE
CHABAD LUBAVITCH OF WYOMING, INC.	PO BOX 9818	JACKSON, WY 83002	135 E BROADWAY AVENUE
CHET'S WAY, LLC	P.O. BOX 694	JACKSON, WY 83001	140 E BROADWAY AVENUE
COLTER BAY RESORTS, LLC	6067 NORTH SEQUOIA DRIVE	FRESNO, CA 93711-1256	36 E BROADWAY AVENUE #5-2
CRABTREE CORNER, LLC	PO BOX 3767	JACKSON, WY 83001	105 E BROADWAY AVENUE
DELONEY STREET, LLC	PO BOX 10309	JACKSON, WY 83002	245 E BROADWAY AVENUE
DOWNTOWN HOLDINGS, LLC	P.O. BOX 126	JACKSON, WY 83001	40 CENTER STREET
ETOILE HOLDINGS, LLC	PO BOX 37	JACKSON, WY 83001	130 N CACHE STREET
FOAM CAPITAL, LLC	PO BOX 1045	JACKSON, WY 83001	36 E BROADWAY AVENUE #3-1
GILL, FAMILY, LLC	PO BOX 128	JACKSON, WY 83001	245 E BROADWAY AVENUE
GILL, RALPH LLC, THE	PO BOX 2826	JACKSON, WY 83001	30 CENTER STREET
HARGER, DONALD K. ET UX	P.O. BOX 4902	JACKSON, WY 83001	45 E DELONEY AVENUE
HUFF HOUSE, L.C.	1892 COUNTY ROAD 125	THAYNE, WY 83127	12 E CENTER STREET
HUTCHINGS, MELVIN D. ET UX	P.O. BOX 586	JACKSON, WY 83001	165 E DELONEY AVENUE
I.O.O.F. #3	PO BOX 1659	JACKSON, WY 83001	290 E BROADWAY AVENUE
JACKSON HOLE DEVELOPMENT CO. C/O MATHEU, JAMES	P.O. BOX 2609	CARLSBAD, CA 92009	110 E BROADWAY AVENUE #101
JACKSON STATE BANK & TRUST, THE	P.O. BOX 1845	JACKSON, WY 83001	175 E DELONEY AVENUE
JIM BOB ENTERPRISES, LLC	P.O. BOX 3159	JACKSON, WY 83001	211 E BROADWAY AVENUE
JOURDAN FAMILY LIMITED PART.	PO BOX 1318	JACKSON, WY 83001	274 E BROADWAY AVENUE
KOMINSKY, RAYMOND J. & SHARLEEN KAY	P.O. BOX 4902	JACKSON, WY 83001	275 N WILLOW STREET
MILLER HOUSE, LLC	PO BOX 6372	JACKSON, WY 83002	164 E DELONEY AVENUE
MTSBC, LLC	PO BOX 1016	JACKSON, WY 83001	50 E BROADWAY AVENUE
REDEEMER LUTHERAN CHURCH OF JACKSON, WY	P.O. BOX 4316	JACKSON, WY 83001	255 N JEAN STREET
SOLEIL HOLDING COMPANY, LLC	P.O. BOX 1687	JACKSON, WY 83001	48 E BROADWAY AVENUE
TETON ACADIA GROUP, LLC C/O JDHCO	1815 POPLAR	JACKSON, WY 83001	36 E BROADWAY AVENUE #2-1
TETON COUNTY SCHOOL DISTRICT #1	P.O. BOX 3369	JACKSON, WY 83001	220 E BROADWAY AVENUE
TOWN OF JACKSON	P.O. BOX 568	JACKSON, WY 83001	25 S WILLOW STREET #2
VANDEWATER ENTERPRISES LP	P.O. BOX 1687	JACKSON, WY 83001	
W/S HOLDING #1, LLC	1815 POPLAR	JACKSON, WY 83002	
YAMINI LLC	P.O. BOX 2335	JACKSON, WY 83002	
ZIONS FIRST NATIONAL BANK	PO BOX 9696	SALT LAKE CITY, UT 84133-1109	

Genevieve Historic Block Questions from Public at Neighborhood Meeting 4/26/19

- The JHNG's discussion of the zoning change confused me
- The current greenspace is fantastic, would love to see it stick around
- What happens if you raise more than \$7M
- Can you have the zoning proposed maps available online somewhere?
- What will happen to the creek? Any improvements/changes?
- What is the difference between DC and UC?
- What will be the Town's role in the property once it is protected?
- Does "perpetuity" still apply?
- Who are our donations going to exactly, and what does that money ultimately go towards?
- Would this space be a town park? What will happen to the fences? Any programming you can tell us about?
- Who owns the block now?
- Would transportation's plan change? What about parking across the street? Any additional space or updates?
- What can people do to help other than donate? Can we write letters to Council or sign something?
- What will happen to the red house? All of these buildings once belonged to Van Vlecks and they're all apart of down history.
- How will the land be handled beneath the historic structures?
- What does the current Historic Easement do to maintain the structures? What do you mean the NHRP doesn't help to protect them?
- Who will own the land and who will the businesses rent from?
- Can you help me understand the complexities of the rezone?
- \$7 M doesn't include the buildings? Do they need investors?
- Why is there no protection under the NHRP? How can it only be a designation/recognition?
- I would love to support this project – have you tested the rezone with the Town Council? What do they feel about the zoning change?
- Is DC gray zoning allowed to be 35 feet?
- Will housing be available in either scenario, or in DC? How much space and for how many total people?
- My name is Jim Monroe and I am very excited about this project and would be very happy to help
- Have you thought about having a Farmers Market booth with an informational table?
- Can you clarify whether this plan would help keep historic buildings exactly as they are now?
- I'm confused about how much greenspace there will be and how the development could potentially be.
- What does the NHRP actually do if it doesn't protect anything(from being torn down)?
- What can we do here this summer to promote the space positively?
- Who would take the lead on preservation easement purposes?
- How does the division of lots happen successfully?
- What happens when we raise more than \$7M?

- Could we buy the properties in gray / are they for sale?
- Greenspace and old growth are super important – how can we do more?
- I support the need for greenspace in urban centers, but also understand the need for responsible development. Have you considered economic losses?
- J Schechter – have a weekly thermometer of progress in funding to stay relevant and put a number on the other parcels so protection feels attainable
- Can you help me understand the difference between DC and UC
- How can we get more involved? (Shelly Holland, Sweetwater)
- This project is an “ambitious” undertaking
- What happens if your plan fails?
- Was the 90k sq ft hotel a ploy?
- Is the “anonymous buyer” a strawman for the hotel?
- Workshop helps break up the view and is beneficial for helping block the view of the parking lot
- Can we get a copy of the easements and map of the area? Is it available online?
- What does the \$7M actually do? I still feel like this unclear/is being kept from me
- How do the resale components add up?
- Does anyone even care about the green space?
- Are we trying to save \$16 juices?
- We/They should be reaching out to national customer base (in re: to businesses)
- Balance Salon & Spa Employee: Unique and historic, love the space.
- JoAnn Hoff, 140 Aspen Drive: Please save workshop building. This could potentially be additional income property. Love the plan!
- Love the idea of added greenspace to north
- Support less hotel development and more historic preservation
- Support of extension of greenspace
- I would love to see as many trees saved as possible

CAFE G BLOCK - PROPOSED ZONING



SAVE GENEVIEVE
HISTORIC COMMUNITY GREENSPACE