



TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

TRANSMITTAL MEMO

Town of Jackson

- ☒ Public Works/Engineering
- ☒ Building
- ☐ Title Company
- ☒ Town Attorney
- ☒ Police

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- ☒ Pathways
- ☒ Joint Housing Dept

Teton County

- ☐ Planning Division

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- ☐ Surveyor- *Nelson*
- ☐ Assessor
- ☐ Clerk and Recorder
- ☐ Road and Levee

State of Wyoming

- ☐ Teton Conservation
- ☐ WYDOT
- ☐ TC School District #1
- ☐ Game and Fish
- ☐ DEQ

Federal Agencies

- ☐ Army Corp of Engineers

Utility Providers

- ☐ Qwest
- ☐ Lower Valley Energy
- ☐ Bresnan Communications

Special Districts

- ☒ START
- ☒ Jackson Hole Fire/EMS
- ☐ Irrigation Company

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| <p>Date: February 22, 2019</p> <p>Item #: P19-041</p> <hr/> <p>Planner: Brendan Conboy</p> <p>Phone: 733-0440 ext. 1302</p> <p>Fax: 734-3563</p> <p>Email: bconboy@jacksonwy.gov</p> <hr/> <p>Owner Town of Jackson PO Box 1687 Jackson, WY 83001</p> <p>Applicant: AT&T Wireless – Tamara Shiveley 1152 W. 2400 S. Suite C West Valley City, UT 84119</p> | <p style="text-align: center;">REQUESTS:</p> <p>The applicant is submitting a request for a Conditional Use Permit for an antenna for the property located at 160 S. Millward St., legally known as Lots 7, 8, 9, 10 WORT-2. (parking garage)</p> <p>For questions, please call Tyler Brendan Conboy at 733-0440, x1302 or email to the address shown below. Thank you.</p> |
| <p>Please respond by: March 8, 2019 (Sufficiency) March 15, 2019 (with Comments)</p> | |

RESPONSE: For Departments not using Trak-it, please send responses via email to:
tstolte@jacksonwy.gov



PLANNING PERMIT APPLICATION
Planning & Building Department

150 E Pearl Ave. | ph: (307) 733-0440
P.O. Box 1687 | www.townofjackson.com
Jackson, WY 83001

For Office Use Only

Fees Paid _____ Date & Time Received _____
Application #s _____

Please note: Applications received after 3 PM will be processed the next business day.

PROJECT.

IDL04511 FA 14284658
Name/Description: Town of Jackson Parking Garage
Physical Address: 160 South Millward Street
Lot, Subdivision: Lots 7, 8, 9, 10 WORT-2 (Parking Garage) PIDN: _____

PROPERTY OWNER.

Name: Town of Jackson Phone: 307.733.3932
Mailing Address: PO Box 1687 Jackson, WY ZIP: 83001
E-mail: _____

APPLICANT/AGENT.

Name: AT&T Wireless - Tamara Shiveley Phone: 801.230.4871
Mailing Address: 1152 W. 2400 S. Suite C West Valley City UT ZIP: 84119
E-mail: tamaras@shiveassoc.com

DESIGNATED PRIMARY CONTACT.

____ Property Owner ☒ Applicant/Agent

TYPE OF APPLICATION. Please check all that apply; review the type of application at www.townofjackson/200/Planning

Use Permit

____ Basic Use
☒ Conditional Use
____ Special Use

Relief from the LDRs

____ Administrative Adjustment
____ Variance
____ Beneficial Use Determination
____ Appeal of an Admin. Decision

Physical Development

____ Sketch Plan
____ Development Plan
____ Design Review

Subdivision/Development Option

____ Subdivision Plat
____ Boundary Adjustment (replat)
____ Boundary Adjustment (no plat)
____ Development Option Plan

Interpretations

____ Formal Interpretation
____ Zoning Compliance Verification

Amendments to the LDRs

____ LDR Text Amendment
____ Map Amendment

Miscellaneous

____ Other: _____
____ Environmental Analysis

PRE-SUBMITTAL STEPS. To see if pre-submittal steps apply to you, go to www.townofjackson.com/200/Planning and select the relevant application type for requirements. Please submit all required pre-submittal steps with application.

Pre-application Conference #: P18-324 Environmental Analysis #: _____
Original Permit #: _____ Date of Neighborhood Meeting: _____

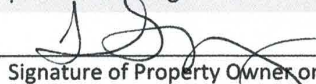
SUBMITTAL REQUIREMENTS. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Partial or incomplete applications will be returned to the applicant. Go to www.townofjackson.com/200/Planning and select the relevant application type for submittal requirements.

Have you attached the following?

- ☒ **Application Fee.** Fees are cumulative. Go to www.townofjackson.com/200/Planning and select the relevant application type for the fees.
- ☒ **Notarized Letter of Authorization.** A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. Please see the Letter of Authorization template at www.townofjackson.com/DocumentCenter/View/102/Town-Fee-Schedule-PDF.
- ☒ **Response to Submittal Requirements.** The submittal requirements can be found on the TOJ website for the specific application. If a pre-application conference is required, the submittal requirements will be provided to applicant at the conference. The submittal requirements are at www.townofjackson.com/200/Planning under the relevant application type.

Note: Information provided by the applicant or other review agencies during the planning process may identify other requirements that were not evident at the time of application submittal or a Pre-Application Conference, if held. Staff may request additional materials during review as needed to determine compliance with the LDRs.

Under penalty of perjury, I hereby certify that I have read this application and associated checklists and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.



Signature of Property Owner or Authorized Applicant/Agent
Tamara Shiveley

Name Printed

2.15.19

Date
site acquisition

Title

CONDITIONAL USE PERMIT APPLICATION FOR WIRELESS COMMUNICATION FACILITY

Submitted to Town of Jackson
Planning Division
February 18, 2019

1. GENERAL INFORMATION

Applicant: New Cingular Wireless, PCS LLC ("AT&T" or the "Applicant")
4393 Riverboat Road, Ste. 400
Taylorsville, UT 84123

Representative: Tamara Shiveley
tamaras@shiveassoc.com 801-230-4877

Property Owner: Town of Jackson

Site Address: 160 South Millward Ave. Jackson, WY 83001

APN:

Name of Project: Town of Jackson Parking Garage IDL04511 RELO FA 14284658

Zoning: Public/Semi-Public (PSP)

2. PROJECT DESCRIPTION

Request and Justification: AT&T is upgrading equipment all over the Jackson area and throughout the State of Wyoming in order to support the federal directive to build FirstNet capable sites. FirstNet is a dedicated communication network for first responders. After 9/11, the 9/11 Commission recommended the establishment of a single, interoperable network for public safety and FirstNet was created as a result. FirstNet's mission is to build and deploy the first-ever high-speed nationwide wireless broadband network dedicated to first responders. FirstNet helps first responders respond effectively and efficiently and stay safe while helping others during day-to-day operations and disaster response and recover and when managing large events. In order to deploy FirstNet service, wireless infrastructure is required. The proposed facility will include FirstNet antennas and broadcast FirstNet service.

In addition to the FirstNet directive, AT&T is attempting to improve the coverage and capacity in the Town of Jackson to meet the increase in demand. As you know, Jackson is a desirable vacation destination and each summer large amounts of tourists visit the area bringing with them their wireless devices. These devices require large amounts of data to transmit videos, photos, emails and downloads. This increased demand for data requires wireless carriers to upgrade wireless equipment to meet the ever changing technology.

New Cingular Wireless, PCS LLC ("AT&T") currently has a wireless communication facility located in this area on the rooftop at 50 Broadway. Based on changes to the Land Development Regulations, this site is in a zone no longer allowed for wireless communications sites. AT&T had previously expanded the equipment at this location without obtaining permitting from the Town of Jackson and therefore was deprived of its legal status to remain. AT&T needs to now relocate this site to an allowable zone.

The only allowable zone for wireless communication near this site suitable for a replacement is the Public/Semi-Public (P/SP) zone. Verizon has recently built a co-locatable site on the Town of Jackson Parking Garage. AT&T is working with Verizon to move our equipment to this location and seeking permitting from the Town of Jackson. Whereas Verizon was approved for a co-locatable wireless communication site with an equipment area for two carriers, (Verizon and one other), this co-location approval would normally be a Basic Use Process per Town of Jackson Land Development Regulations; however the area Verizon left for a second carrier in the equipment room is not suitable for AT&T's equipment given the door placement, clearances and equipment space needs. AT&T is therefore requesting through this Conditional Use Permit, and a lease with the Town of Jackson, approval for a 6'4" x 10" equipment space located in an existing storage area in the Third Floor Elevator room. A partition wall would be added with the metal door, heater and security camera relocated, to create an additional 6'4" x 8' 2" space to mirror the space on the fourth floor approved by Verizon, for a future carrier. The future carrier area previously approved by Verizon and the future carrier area created with AT&T's application would provide sufficient equipment area should a third carrier apply for co-location.

This relocation will meet AT&T coverage needs in this area of town. Coverage Maps are attached to this application as Exhibit 1.

Alternate Sites Considered: AT&T has identified the Verizon site on the Town of Jackson Parking Garage as the only suitable existing facility that will provide the coverage objectives being met by AT&T's current site at 50 E Broadway. AT&T believes this site will meet the Town of Jackson's desire to minimize the number of new sites by co-locating onto an existing site. In addition, the co-location will be onto a stealth site where all antennas will be behind a stealth screen that has already been approved by the Town of Jackson and the electronic equipment will be located in an existing storage room that will not be visible to the general public.

Determination of Need: As noted above, AT&T must find an alternative location for the current site at 50 E Broadway that will support FirstNet capabilities and replace the coverage and capacity demands within this section of the Town of Jackson. The proposed site at 160 Millward Street is the best available location to serve this coverage area.

3. ANALYSIS OF LAWS APPLICABLE TO THIS APPLICATION

Federal, state, and local laws apply to this application.

While the federal Telecommunications Act acknowledges a local jurisdiction's zoning authority over wireless facilities, it limits the exercise of that authority in several important ways.

- A local regulation may not prohibit, or have the effect of prohibiting, the provision of wireless services. 47 U.S.C. §332(c)(7)(A) and (B)(i)(II).
- A jurisdiction is prohibited from considering the environmental effects of radio frequency emissions (including health effects) of the WCF site if the site will operate in compliance with

federal regulations. 47 U.S.C. §332(c)(7)(B)(iv).

- A jurisdiction may not discriminate among providers of functionally equivalent services. A jurisdiction must be able to provide plausible reasons for disparate treatment of different providers' applications for similarly situated facilities. 47 U.S.C. §332(c)(7)(B)(i)(I).
- The Telecommunications Act requires local jurisdictions to act upon applications for wireless communications sites within a "reasonable" period of time. The shot clock applicable to this application is 150 days.¹

The Facility will operate in accordance with the Federal Communications Commission's Radio Frequency emissions regulations. Therefore, issues regarding environmental effects are preempted under federal law.

This application is also subject to and complies with the Town of Jackson Land Development Regulations, including Article 6, Division 6.1.10.D Wireless Communication Facilities.

4. PROPOSED DEVELOPMENT PROGRAM

Existing Condition: The existing building is used as the Town of Jackson public parking garage. Verizon has a previously approved Conditional Use Permit for a stealth wireless communication facility that has been built on the top of the Parking Garage on the elevator penthouse. This stealth façade has been constructed to appear to be an extension of the existing elevator penthouse. (See Figure 1)

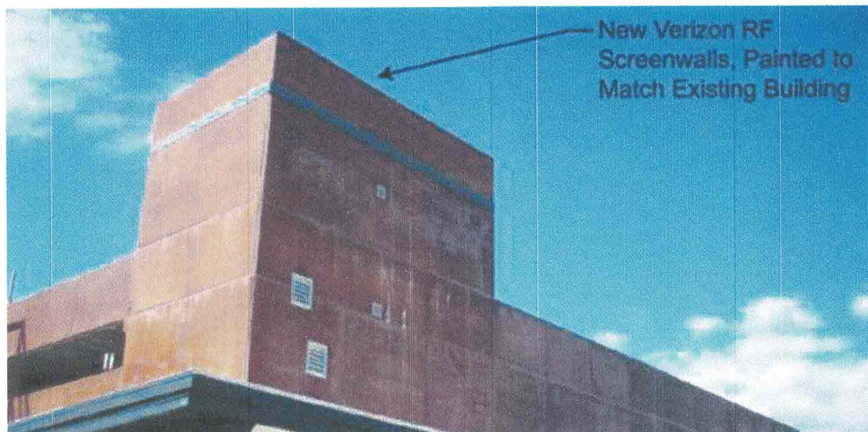


Figure 1: Photo simulation of Verizon's stealth wireless facility. AT&T is proposing to co-locate antennas behind this stealth screening.

¹The FCC rules clarify that the shot clock begins to run when the application is submitted and further state that "[a] determination of incompleteness tolls the clock only if the local government provides notice to the applicant within 30 days that the application is incomplete and while specifically delineating all missing information, and specifying the code provision, ordinance or application instruction or other publically-stated procedure requiring that the information be submitted. Following a resubmission the clock can be tolled again only if the local government notifies the applicant within 10 days that the supplemental submission did not provide the information identified in the original notice." See *FCC Report and Order, FCC 14-153. Acceleration of Broadband Deployment by Improving Wireless Facilities Siting Policies. October 17, 2014.*

TOTAL LEASE AREA SQUARE FOOTAGE = 250.457

8'-6"

3'-9"

4'-7"

8'-0"

8'-4"

9'-10"

8'-0"

88.886 sq. ft
AT&T LEASE
AREA

70.833 sq. ft
AT&T LEASE
AREA

90.958 sq. ft
AT&T LEASE
AREA

AT&T is requesting CUP approval by the Town of Jackson to locate its electronic equipment within a 6'4" x 10' section of the existing storage area in the elevator room on the third floor of the garage (See Figure 3 as well as page A-2 of the attached construction drawings). AT&T is proposing to add a partition wall and relocate the existing metal door, heater, and security camera in order to create space for an additional future carrier in this room as described above. The electronic equipment will be secured behind the locked door and not accessible to the general public. AT&T is also proposing to locate the HVAC equipment within the pre-cast web of the parking garage (see Figure 4). The HVAC units measure

37.1"x44.5"x17.1" and will fit entirely within the pre-cast web in the ceiling of the third floor of the parking garage. This location was chosen by the public works department.

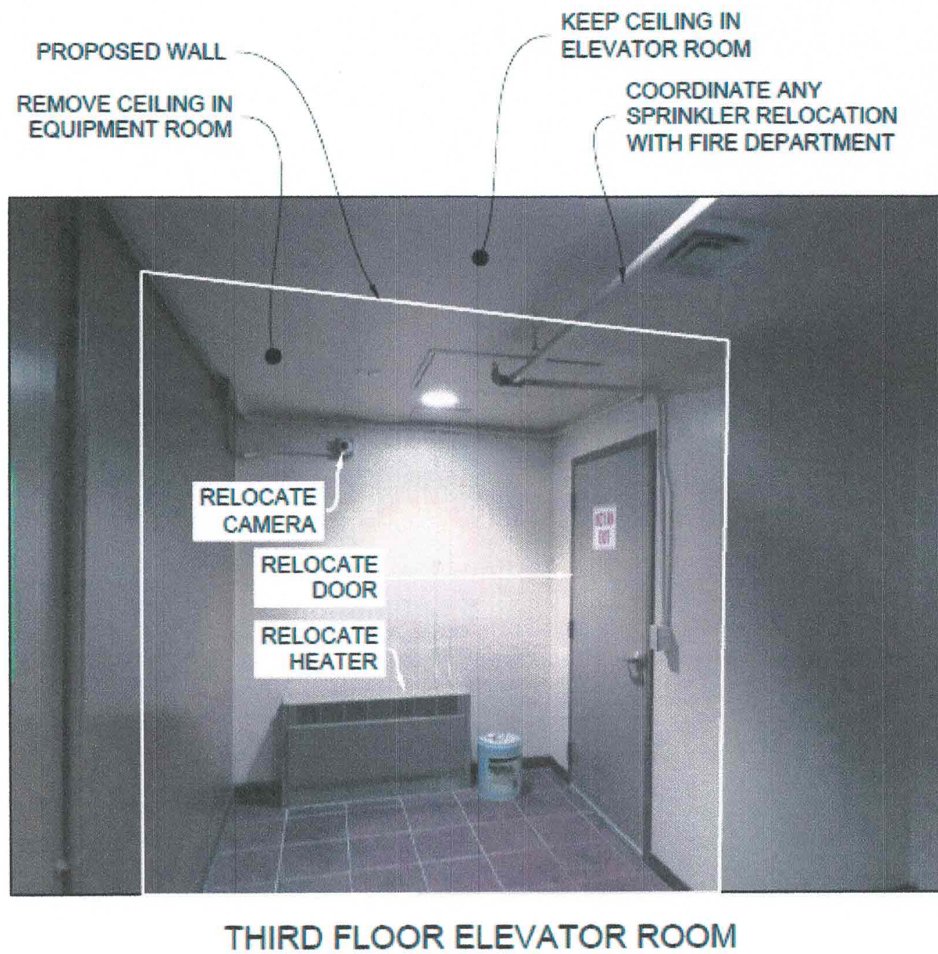


Figure 3: Proposed location for AT&T's electronic equipment.



THIRD FLOOR PARKING GARAGE
(LOOKING NORTH)

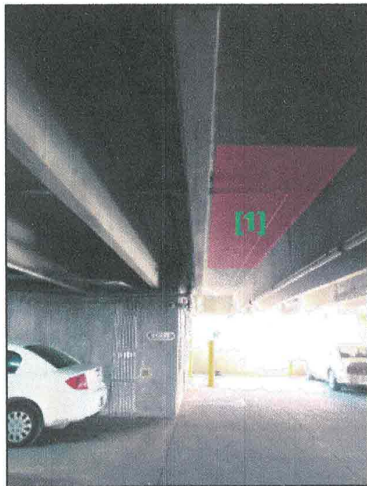


Figure 4: Proposed location for AT&T's HVAC equipment.

Height and floor area: Described above

Setbacks: There are no setbacks applicable to the roof mounted antennas as they are being proposed within the confines of the existing building and the existing stealth wireless communication site built by Verizon. Additionally there are no setbacks applicable for the proposed equipment room area as it is also being located within the walls of the existing building.

Utilities:

AT&T will be utilizing existing utilities. AT&T will swap Verizon's single meter pack with a multiple electric meter stack as required by Lower Valley Energy. AT&T will follow the same conduit route placed

by Verizon to our equipment area and antenna area and paint to match existing structure. AT&T will utilize a step down transformer (See page A-5 of construction drawings).

5. SITE AND FLOOR PLANS

The enclosed site plans meet the minimum standards established in the Administrative Manual. Sheet T-1 includes project data;

- GN-1 – GN-6 include General Notes
- SV-1 includes a professional land survey of the subject property;
- A-1 includes an overall site plan;
- A-2 includes an equipment plan for the proposed wireless facility;
- A-2.1 includes an HVAC ducting plan;
- A-3 and A-4 includes proposed antenna elevations and antenna plans;
- A-4 includes utility routing;
- R-1 includes equipment details;
- R-2 includes HVAC details
- G-1 includes grounding details;

The only changes to the floor plan will be to add a partition wall and relocate the existing metal door in the third floor elevator room to accommodate AT&T's equipment and provide an area for a future carrier. Layouts for the antenna and equipment area are included within the site plans.

5. POSTED NOTICE

When hearing dates are scheduled, Applicant will prepare required signs and post notice as required by Sec. 8.2.14.C.4.

6. REVIEW CRITERIA

Pursuant to the requirements outlined in the Pre-Application Conference Summary, the following items are addressed below.

GENERAL INFORMATION

Planning Permit Application has been provided.

Notarized Letter of Authorization has been provided.

Application Fees have been paid by enclosed Check No. 303 in the amount of \$2,500.00.

Review Fees Applicant acknowledges responsibility for payment of review fees necessitated by the review of the application.

Mailed Notice Fee Applicant acknowledges responsibility for payment of mailed notices in excess of 25 notices.

Digital Format Applicant has submitted all application materials in digital format on the enclosed CD.

Response to Submittal Checklist Applicant has provided responses to the comments identified in the Pre-Application Conference Summary in the text of this narrative.

Title Report per the Pre-Application Meeting, this is not required.

Narrative description of the proposed development This has been provided herein (see "Project Description," above).

Proposed Development Program This has been provided herein (see "Proposed Development Program," above).

Site Plan The enclosed site plan set is based on revisions discussed at the Pre-Application Conference

Floor Plans The only proposed changes to the floor plan of the existing building are the partition wall and relocations of door, heater and security camera as described above.

Neighborhood Meeting Summary per the Pre-Application Meeting, this is not required.

Posted Notice Addressed above

SUBMITTAL CHECKLIST: Subsection B, Physical Development:

The following items are required to be addressed:

Structure Mass and Location and Maximum Scale of Development: The existing building is used as the Town of Jackson public parking garage. Verizon has a previously approved Conditional Use Permit for a stealth wireless communication facility that has been built on the top of the Parking Garage on the elevator penthouse. This stealth screen wall has been constructed to appear to be an extension of the existing elevator penthouse. AT&T's project will not visibly change the stealth screen wall in any way. AT&T will be co-locating onto the existing structure and installing antennas behind the existing stealth screen wall. There will be no visible change to the general public.

Building Design: The existing parking garage is a contemporary design with concrete facade. A portion of the south façade is obscured by the multi-story glass and metal structure which encloses the hydroponics facility, "Vertical Harvest." The Verizon screen wall addition mimics the design of the existing elevator penthouse and is intended to appear as a logical extension of the penthouse. AT&T's co-location will not make any changes to the building design other than the partition wall addition and door, heater and camera relocations in the third floor elevator room as described above.

Site Development: No new driveways or access points are proposed. The site will be accessed from Simpson Street, in the existing driveway access to the Parking Garage. No new easements are proposed. It is possible that during construction a crane will be needed to transport building materials to the roof; however this will be determined at a pre-construction meeting with Town building officials. Construction of this site is estimated to take approximately 60 to 90 days. Staging for construction materials will be coordinated with the Town of Jackson and will not obstruct or impact the general public or Town of Jackson Operations.

Fencing: No fencing will be necessary at this project as the electronic equipment will be enclosed inside the third floor elevator room. This area will be secured with a lock. With no fencing, no setbacks associated with fencing apply.

Wildlife Friendly Fencing: Not applicable, per Pre-Application Conference Summary

Environmental Standards: Not applicable, per Pre-Application Conference Summary

SUBMITTAL CHECKLIST: Subsection D, Development Options: Not applicable, per Pre-Application Conference Summary

SUBMITTAL CHECKLIST: Subsection E, Additional Zone-Specific Standards: Not applicable, per Pre-Application Conference Summary

SUBMITTAL CHECKLIST: Article 4, Special Purpose Zones: Not applicable, per Pre-Application Conference Summary

SUBMITTAL CHECKLIST: Article 5, Physical Development Standards Applicable in all Zones:

The following items are required to be addressed:

Division 5.1, General Environmental Standards: Not applicable, per Pre-Application Conference Summary

Division 5.2, Environmental Standards Applicable in Specific Areas: Not applicable, per Pre-Application Conference Summary

Division 5.3, Scenic Standards: This site will not include exterior lighting per Div. 5.3.1 and is not in a Scenic Resources Overlay per Div. 5.3.2.

Division 5.4, Natural Hazard Protection Standards: Not applicable, per Pre-Application Conference Summary

Division 5.5, Landscaping Standards: All antennas will be located behind “stealth” screens on the existing building. The electronic equipment will be concealed inside the third floor elevator room remodeled for the use of AT&T as an electronic equipment room and space for an additional carrier’s electronic equipment. No landscaping will be removed or required as the project is within the confines of the public parking garage.

Division 5.6, Sign Standards: Not applicable, per Pre-Application Conference Summary

Division 5.7, Grading, Erosion Control and Stormwater Management: Not applicable, per Pre-Application Conference Summary

Division 5.8, Design Guidelines: No new materials are being proposed as the co-location will be behind the existing stealth screen previously approved by the Town of Jackson and installed by Verizon. The materials used for the partition wall addition will match the existing walls inside the parking garage. The existing metal door and heater will be relocated. In summary, the proposed site plans are in compliance with Design Guidelines set forth by the Town of Jackson.

SUBMITTAL CHECKLIST: Article 6, Use Standards Applicable in all Zones:

The following items are required to be addressed:

Division 6.1, Allowed Uses: The proposed site is located in the (P/SP) zone district and wireless communication sites are an allowed use.

Division 6.2, Parking and Loading Standards: The parking, loading and maintenance requirements of this section do not apply because the proposed site will be an unmanned, unoccupied space. The site will be visited only occasionally by one technician in one vehicle for a short period of time for monitoring and maintenance of the electronic equipment.

Division 6.3, Employee Housing Requirements: Not applicable, per Pre-Application Conference Summary.

Division 6.4, Operational Standards: There will be no outside storage; all equipment and materials associated with the site will be kept in the designated equipment area shown on Sheet A-2 of the site plans. The unoccupied site will generate no refuse or recycling; it will be visited only occasionally by an AT&T technician to monitor and maintain equipment. The site will not generate any significant noise and no vibration. All AT&T facilities are monitored remotely 24/7; therefore the likelihood of fire, explosive hazards or electrical disturbances is minimal. There will be no generator on site.

SUBMITTAL CHECKLIST: Article 7, Development option and Subdivision Standards Applicable in all Zones:

The following items are required to be addressed:

Division 7.1, Development Option Standards: Not applicable, per Pre-Application Conference Summary

Division 7.2, Subdivision Standards: Not applicable, per Pre-Application Conference Summary

Division 7.3, Open Space Standards: Not applicable, per Pre-Application Conference Summary

Division 7.4, Affordable Housing Standards: Per the Pre-Application Conference Summary notes, "Applicant shall provide a Housing Mitigation Plan consistent with the Housing Department Guidelines. It is likely that no requirement exists, but the paperwork must be filled out and provided with the CUP application." Enclosed with application.

Division 7.5, Development Exaction Standards: Not applicable, per Pre-Application Conference Summary

Division 7.6, Transportation Facility Standards: Not applicable, per Pre-Application Conference Summary

Division 7.7, Required Utilities: The proposed site is an unmanned, unoccupied facility which requires only electric power and fiber optic connection for operation. No water, sewer, or irrigation will be required. There will be no generator on site.

Additional Comments: Town of Jackson requested that a draft of all lease agreements with the Town shall be submitted with the Conditional Use Permit. The final leases shall be signed prior to approval of the associated building and electrical permits. AT&T provided a lease draft to the Town of Jackson which was redlined by Town of Jackson Legal Department. The lease draft is currently with AT&T legal to respond to the redlines presented by the Town of Jackson.

GENERAL STANDARDS AND DESIGN REQUIREMENTS:

The following standards are required pursuant to Sec.6.1.10.D.3.f:

- i) **Must be Stealth:** The application meets this requirement with all antennas and equipment concealed from public view. The proposed project will be a co-location behind an existing stealth screen wall. Antennas and equipment will not be visible from the street. The "stealth" addition has been previously approved by the Town of Jackson and installed by Verizon. It will not be obvious that a wireless communication site is located there, i.e., the presence, purpose, or nature of the facility is not readily apparent to a reasonable observer.
- ii) **Standards to be applied include the following:**

- a. **Determination of Need** – Please see “Alternatives Sites Considered” and “Determination of Need” sections of this report.
- b. **Concealment Element** – The proposed project uses an existing stealth screen wall co-location opportunity with no new design elements.
- c. **Height** – The project is proposed behind an existing 5 ft. screen wall with no changes to the height.
- d. **Setbacks** – No setbacks are applicable as the proposed facility is within the confines of the existing Town of Jackson Parking Garage and Verizon wireless communications facility. No fencing will be necessary as the electronic equipment will be located inside the third floor elevator room.
- e. **Other conditions** – The proposed facility is existing and will be maintained by Verizon per their CUP approval to be visually compatible with adjoining terrain and structures. The proposed site will not be used for the storage of excess equipment and there will be no outdoor storage. All equipment associated with the site will be contained in the designated equipment area as previously discussed.
- f. **Landscaping** – there is no landscaping required as the project is completely within the confines of the Town of Jackson Parking Garage.
- g. **Signage** – No commercial signage will be displayed at the proposed facility. Signage will be limited to that required by federal regulatory agencies.
- h. **Lighting** – No additional lighting is proposed for this facility.
- i. **Quantity limit** – There is a limit of one (1) tower per legally created parcel of property per Town of Jackson LDRs. There will be no towers on this parcel only co-location onto an existing roof mounted wireless communication facility. Co-location onto existing wireless communication sites is encouraged by the Town of Jackson.
- j. **Emergency generator** - AT&T will not have a generator on site.
- k. **Noise level** – The site will not generate any significant noise and no vibration.
- l. **Visibility** – Antennas will be completely concealed behind the existing stealth screen wall. As noted above, all electronic equipment will be concealed within the third floor elevator room. The only visible element will be the 37.1”x44.5”x17.1” HVAC units concealed between the deck beams on the third floor ceiling of the parking garage.
- m. **Notice** – The facility will be in compliance with all requirements for public hearings. When dates for the required public hearings are scheduled, Applicant will order notice signs to be posted at designated locations on the property.
- n. **Access** - No part of the facility will obstruct access or cause the existing building to fail to comply with the American Disabilities Act.
- o. **Security** – Opportunities for unauthorized access will be minimized with entrance to the electronic equipment area locked. In addition, AT&T facilities are monitored remotely 24/7, providing additional security for the site.
- p. **Building Design** – There are no proposed changes to the existing “stealth” wall structure. As noted above, it will not be obvious that a wireless communication site is located on the roof, i.e. the presence, purpose or nature of the facility is not readily apparent to a reasonable observer.

7. CONDITIONAL USE PERMIT REQUIREMENTS:

The following findings must be made prior to approval of a conditional use permit:

- **The application is compatible with the desired future character of the area:** As demonstrated in the project description and determination of need sections of this application, this wireless site is necessary to provide FirstNet capabilities and maintain user demands for coverage and capability in this area. The design of the previously approved and installed stealth screen walled wireless facility onto the existing building blends well with and does not change the character of the surrounding area.
- **The application complies with the use specific standards of Division 6.1:** Jackson Land Development Regulations allow wireless communication sites in the P/SP zone district.
- **The application minimizes adverse visual impacts:** As described throughout the application, this site was previously approved and designed to be within Town of Jackson LDRs and to replicate the exterior finishes of the existing building as well as architecturally appear to be a logical extension of the building. AT&T will only be co-locating behind the existing stealth screen wall and utilizing existing space in the storage area of the third floor elevator room.
- **The application minimizes adverse environmental impacts:** There will be no adverse environmental impacts associated with this development. The proposed site will be unoccupied and requires only minimal electric utility service for operation. There will be no ground disturbance associated with the construction of this site.
- **The application minimizes adverse impacts from nuisances:** The proposed site will not generate any significant noise, no dust, odor or other impacts that could be considered a nuisance.
- **The application minimizes adverse effects on public facilities:** There will be minimal impact on public facilities. This site requires only minimal electrical service. The site will be unoccupied and requires no water, sewer, trash collection or other public services. The site will generate no traffic; it will be visited only occasionally by a sole technician to monitor and maintain the equipment. AT&T facilities are monitored remotely 24/7 and standard operating procedures minimize security risks.
- **The application complies with all other relevant standards of these LDRs and all other Town Ordinances:** The proposed development will comply with all Land Development Regulations, building code requirements and other ordinances.
- **The application is in substantial conformance with all standards or conditions of any prior applicable permits or approvals:** Applicant believes the proposed plans meet or exceed all requirements of applicable permits and required approvals.

In summary, the application satisfies the criteria established for Conditional Use Permit findings.

"FCC SHOT CLOCK"

AT&T requests that the Town of Jackson issue a written decision granting AT&T's request within (150) days of the date this application is submitted pursuant to *Petition for Declaratory Ruling to Clarify Provisions of Section 332(c)(7) to Ensure Timely Siting Review*, Declaratory Ruling, 24 FCC Rcd 13994, para. 46 (2009 Declaratory Ruling). If applicable, within fourteen (14) days of the date the application is submitted, AT&T requests the Town to inform AT&T in writing of the specific reasons why the application is incomplete and does not meet the submittal requirements; and in doing so, to please specifically identify the code provision, ordinance, instruction or public procedure that requires the information be submitted.

7. CONCLUSION

AT&T respectfully requests the Town of Jackson to grant conditional use permit approval for the above described project. The proposed site will be part of the FirstNet directive by the federal government as well as the more comprehensive AT&T wireless network and approval of this application will allow AT&T to meet its federally mandated obligations under the license granted by the Federal Communications Commission (FCC) pursuant to the Telecommunications Act of 1996.

LETTER OF AUTHORIZATION

Cellular Inc Network Corp dba Verizon Wireless, "Owner" whose address is: One Verizon Way, Mail Stop 4AW100 Basking Ridge New Jersey 07920

(NAME OF ALL INDIVIDUALS OR ENTITY OWNING THE PROPERTY)

Cellular Inc Network Corp dba Verizon Wireless, as the owner of property

more specifically legally described as: a portion of the building located at 160 S Milward Street Jackson WY leased from the Town of Jackson for the purpose of constructing a

Wireless Communication Facility

(If too lengthy, attach description)

HEREBY AUTHORIZES Tamara Shiveley in behalf of AT&T Wireless to obtain its own Basic Use Permit for wireless co-location as

agent to represent and act for Owner in making application for and receiving and accepting on Owners behalf, any permits or other action by the Town of Jackson, or the Town of Jackson Planning, Building, Engineering and/or Environmental Health Departments relating to the modification, development, planning or replatting, improvement, use or occupancy of land in the Town of Jackson. Owner agrees that Owner is or shall be deemed conclusively to be fully aware of and to have authorized and/or made any and all representations or promises contained in said application or any Owner information in support thereof, and shall be deemed to be aware of and to have authorized any subsequent revisions, corrections or modifications to such materials. Owner acknowledges and agrees that Owner shall be bound and shall abide by the written terms or conditions of issuance of any such named representative, whether actually delivered to Owner or not. Owner agrees that no modification, development, platting or replatting, improvement, occupancy or use of any structure or land involved in the application shall take place until approved by the appropriate official of the Town of Jackson, in accordance with applicable codes and regulations. Owner agrees to pay any fines and be liable for any other penalties arising out of the failure to comply with the terms of any permit or arising out of any violation of the applicable laws, codes or regulations applicable to the action sought to be permitted by the application authorized herein.

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.

OWNER:

Maren Crohan for Verizon Wireless 6-28-18
(SIGNATURE) (SIGNATURE OF CO-OWNER)

Title: Sr. Manager - Network Real Estate

(if signed by officer, partner or member of corporation, LLC (secretary or corporate owner) partnership or other non-individual Owner)

STATE OF Kansas

)

)SS.

COUNTY OF Johnson

)

The foregoing instrument was acknowledged before me by Lisa M. Rogers this 28 day of JUNE, 2018.

WITNESS my hand and official seal.

Lisa M. Rogers
(Notary Public)

My commission expires: 2/12/2021

(Seal)





AT&T Mobility
2890 South 25th East
Idaho Falls, ID 83404
www.att.com

November 13, 2018

Whom It May Concern at the Town of Jackson, WY, Planning Department,

AT&T's proposed wireless facility at 160 South Millward, Jackson, WY 83001 (AT&T site FA Code 14284658) will comply with all Federal Communications Commission ("FCC") Radio Frequency ("RF") exposure rules.

The FCC rules set the maximum permissible exposure allowable from RF transmissions for the general population. The FCC has determined that a person may be exposed to RF emissions below those exposure limits with no harmful effects. The FCC's OET Bulletin 65 (Evaluating Compliance with FCC Guidelines for Human Exposure to Radiofrequency Electromagnetic Fields) provides guidance in determining RF exposure levels.

Additionally, the FCC has written OET Bulletin 56 (Questions and Answers about Biological Effects and Potential Hazards of Radiofrequency Electromagnetic Fields), an excellent document on RF safety which can be downloaded from <http://www.fcc.gov/encyclopedia/radio-frequency-safety>

If I can be of further assistance in this matter, please do not hesitate to contact me by phone at (208)317-0011 or by email, jr129e@att.com.

Best regards,

A handwritten signature in cursive script that reads "J. Shad Rydalch".

J. Shad Rydalch
AT&T Senior Specialist Radio Access Network Engineer
RF Safety for Rocky Mountain Region
2890 S 25th East, Idaho Falls, Idaho 83404
m 208.317.0011 | jr129e@att.com



AT&T Mobility
2890 South 25th East
Idaho Falls, ID 83404
www.att.com

November 13, 2018

Whom It May Concern at the Town of Jackson, WY, Planning Department,

AT&T's proposed wireless facility at 160 South Millward, Jackson, WY 83001 (AT&T site FA Code 14284658) will comply with all American National Standards Institute (ANSI) standards for electromagnetic radiation adopted by the Federal Communications Commission (FCC) for wireless telecommunications facilities.

The proposed AT&T wireless telecommunication facility will comply at all times with FCC regulations prohibiting localized interference with reception of television and radio broadcasts.

The proposed AT&T wireless telecommunication facility will not interfere with public safety frequencies servicing the town and its residents.

If I can be of further assistance in this matter, please do not hesitate to contact me by phone at (208)317-0011 or by email, jr129e@att.com.

Best regards,

A handwritten signature in cursive script that reads "J. Shad Rydalch".

J. Shad Rydalch
AT&T Senior Specialist Radio Access Network Engineer
RF Safety for Rocky Mountain Region
2890 S 25th East, Idaho Falls, Idaho 83404
m 208.317.0011 | jr129e@att.com



Contracted to  AT&T Mobility

Town of Jackson Planning Department
150 E. Pearl Avenue
Jackson, WY 83001

February 18, 2019

RE: Compliance with Applicable Codes - AT&T project Town of Jackson Parking Garage IDL04511 FA 14284658 located at 160 South Millward Ave., Jackson, WY 83001

This letter is submitted in accordance with Sec. 6.1.10.D.3.d.vii of the Town of Jackson Land Development Regulations. AT&T affirms that the proposed Base Station known as "Town of Jackson Parking Garage IDL04511 FA 14284658", to be co-located on the rooftop of the existing building at 160 South Millward Avenue, will be constructed and maintained in compliance with all applicable non-discretionary structural, electrical, energy, building and safety codes.

Respectfully Submitted,

A handwritten signature in black ink, appearing to read 'T Shiveley'.

Tamara Shiveley
Real Estate Specialist
Shiveley and Associates, Inc.
Consultant to AT&T
801-230-4877
tamaras@shiveassoc.com

HOUSING MITIGATION PLAN

For CUP Application for Wireless Telecommunications Site at 160 S. Millward Ave.

AT&T is proposing to co-locate onto an existing unmanned wireless communication site at 160 S. Millward Ave. in Jackson. The antennas will be placed in the Verizon stealth addition on the existing Town of Jackson parking garage. There will be no square footage related to this project.

.000246 X 0 sq. ft. = 0

AT&T believes it does not qualify to provide housing given that there is no square footage and the site is unmanned.

Exhibit 1

Coverage Maps



Rethink Possible

Relocation of AT&T facilities to Town of Jackson Parking Garage

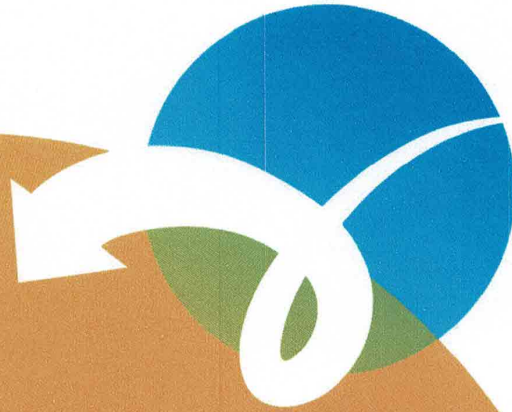
IDL04511

FA 14284658

Prepared by J. Shad Rydalch

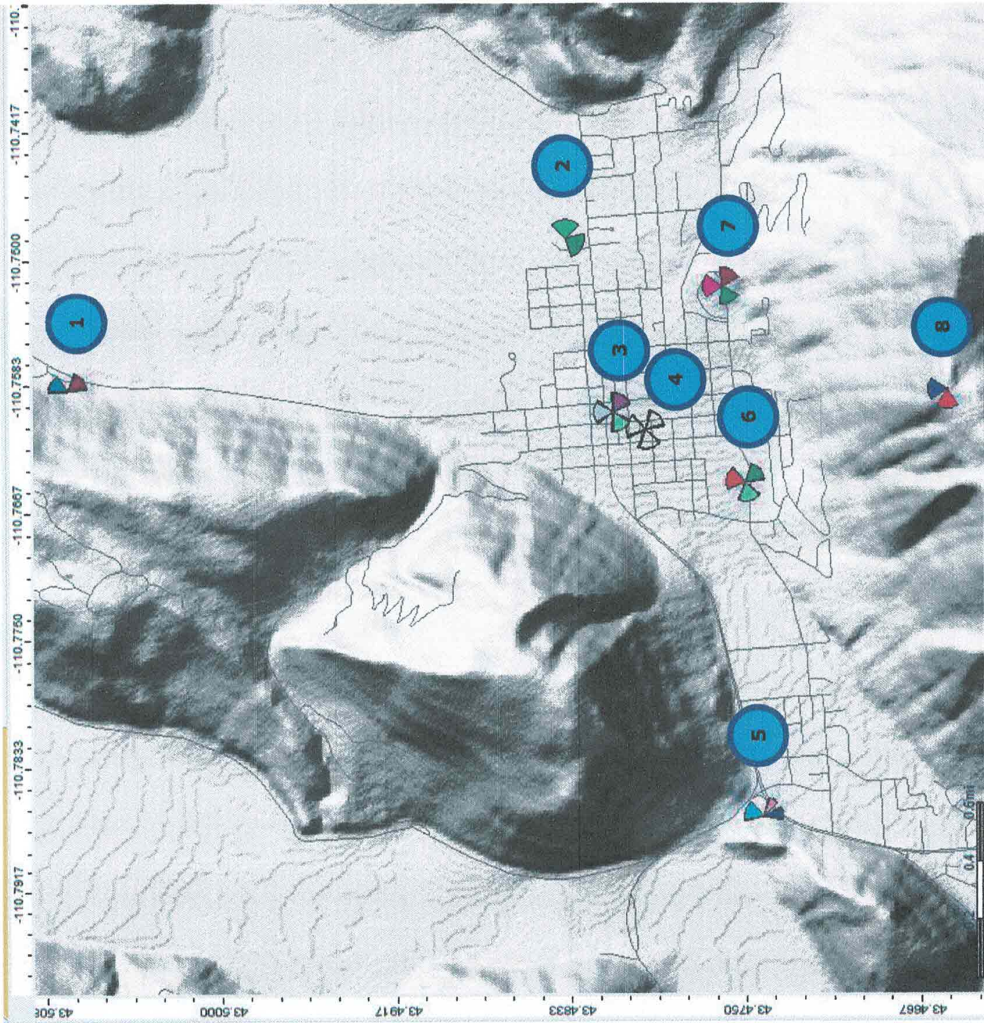
AT&T Senior Specialist Radio Access Network Engineer

11/13/2018



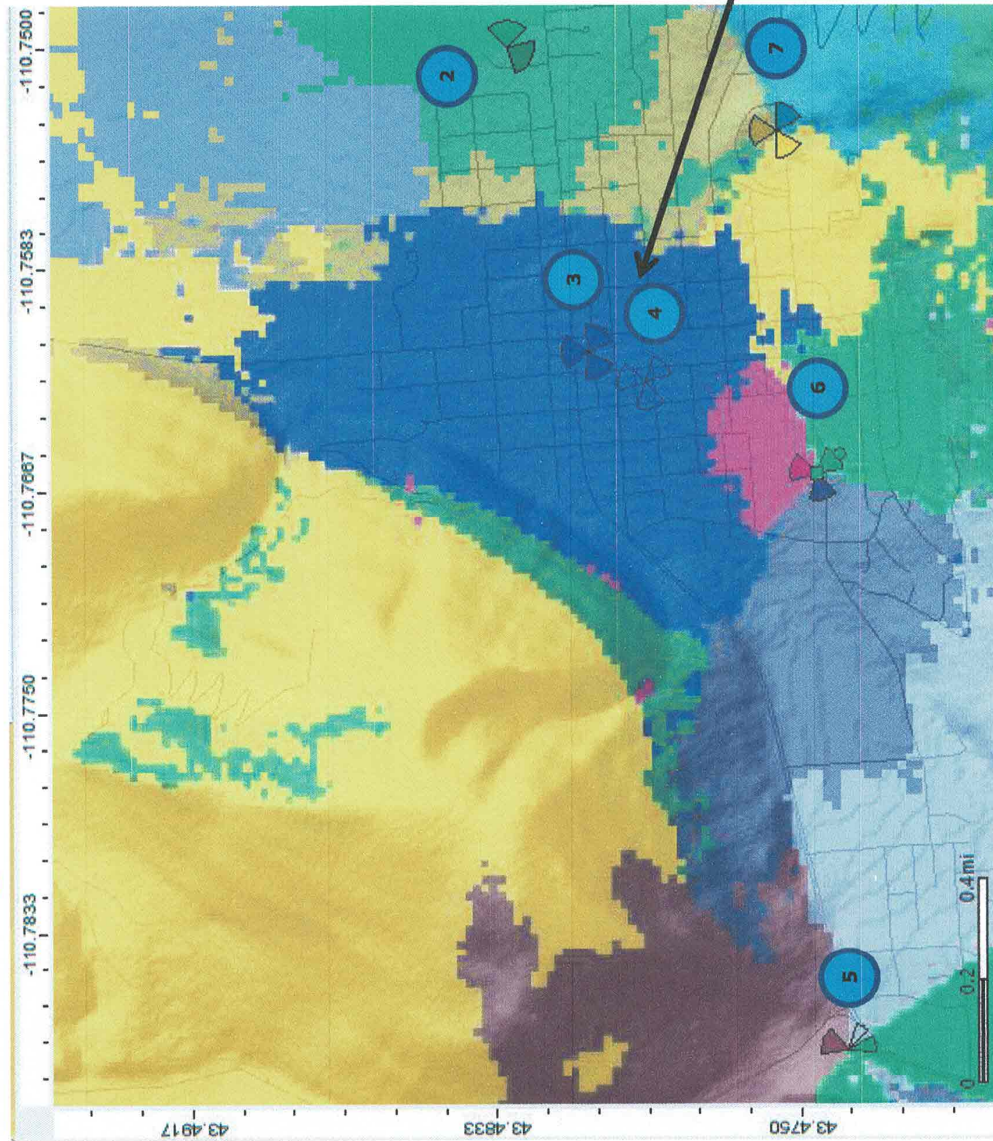
© 2010 AT&T Intellectual Property. All rights reserved. AT&T and the AT&T logo are trademarks of AT&T Intellectual Property.

AT&T Facility Locations



- 1) Flat Creek
- 2) Hospital
- 3) Theater
- 4) Parking Garage
- 5) Storage Units
- 6) Fairgrounds
- 7) Snow King Lodge
- 8) Snow King Mtn

Coverage offered by current sites



- 1) Flat Creek (off map)
- 2) Hospital
- 3) Theater
- 4) Parking Garage
- 5) Storage Units
- 6) Fairgrounds
- 7) Snow King Lodge
- 8) Snow King Mtn (off map)

Blue shows Coverage footprint of existing facility on theater roof top

AT&T Proprietary (Internal Use Only)

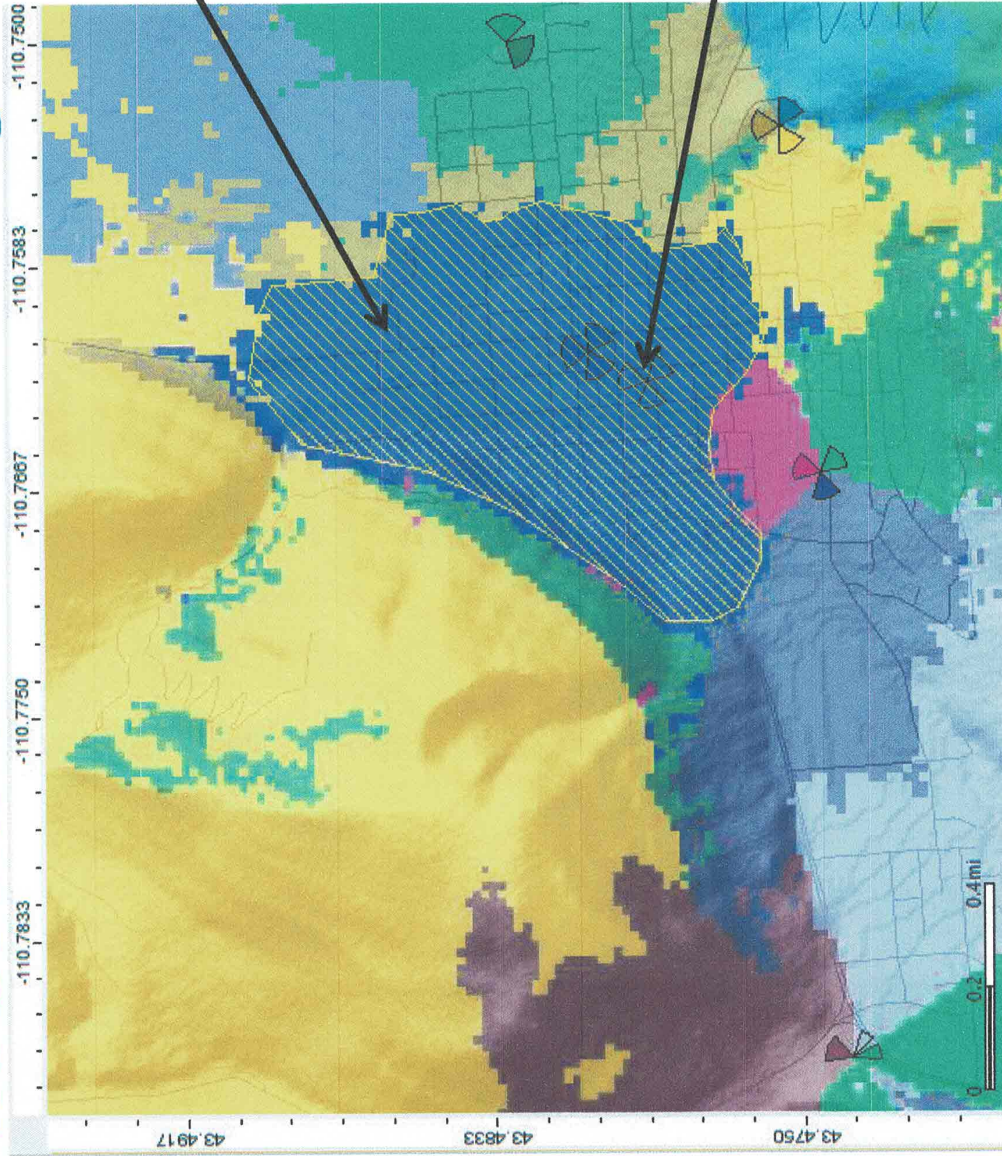


Not for use or disclosure outside the AT&T companies except under written agreement

We are interested in maintaining coverage

Yellow Diagonal Lines: We are interested in maintaining coverage offered by existing facility at theater

Blue shows coverage footprint of existing facility at theater

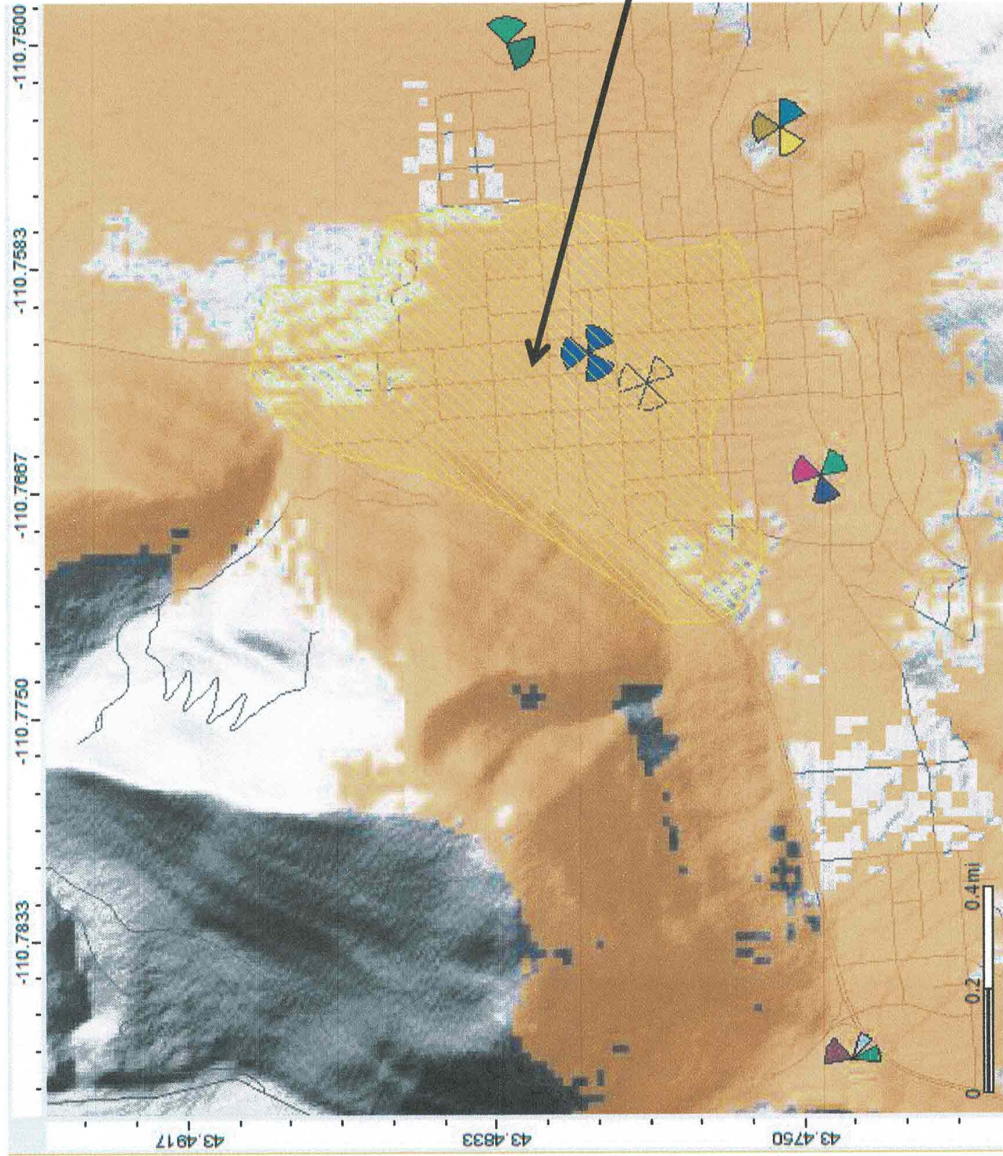


AT&T Proprietary (Internal Use Only)



Not for use or disclosure outside the AT&T companies except under written agreement

Current good indoor coverage



Orange:
Identifies where
prediction
models show we
have acceptable
indoor coverage

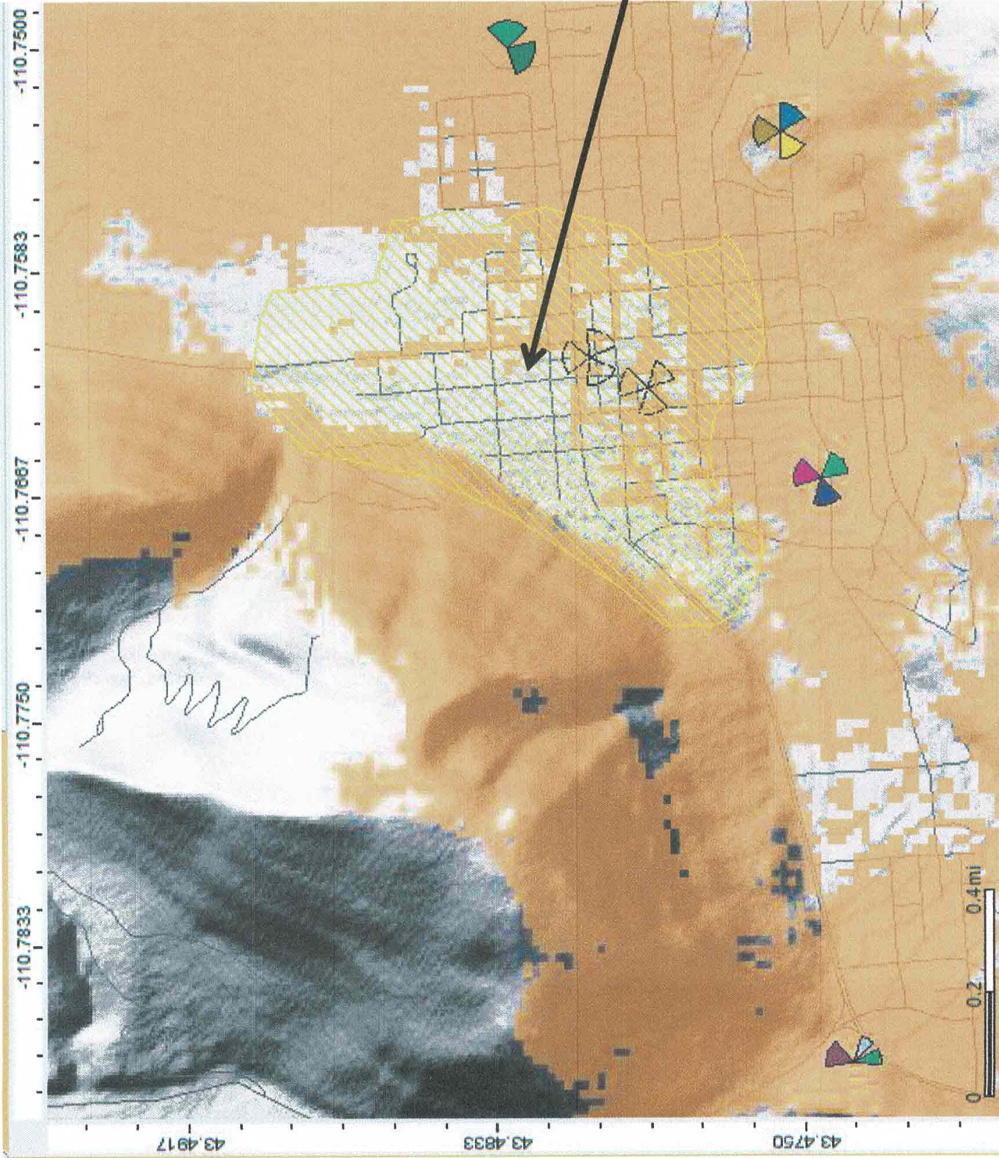
Yellow Diagonal
Lines: current
coverage footprint
offered by facility
at theater

AT&T Proprietary (Internal Use Only)



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Without replacement facility



Orange:
Identifies where
prediction
models show we
have acceptable
indoor coverage.

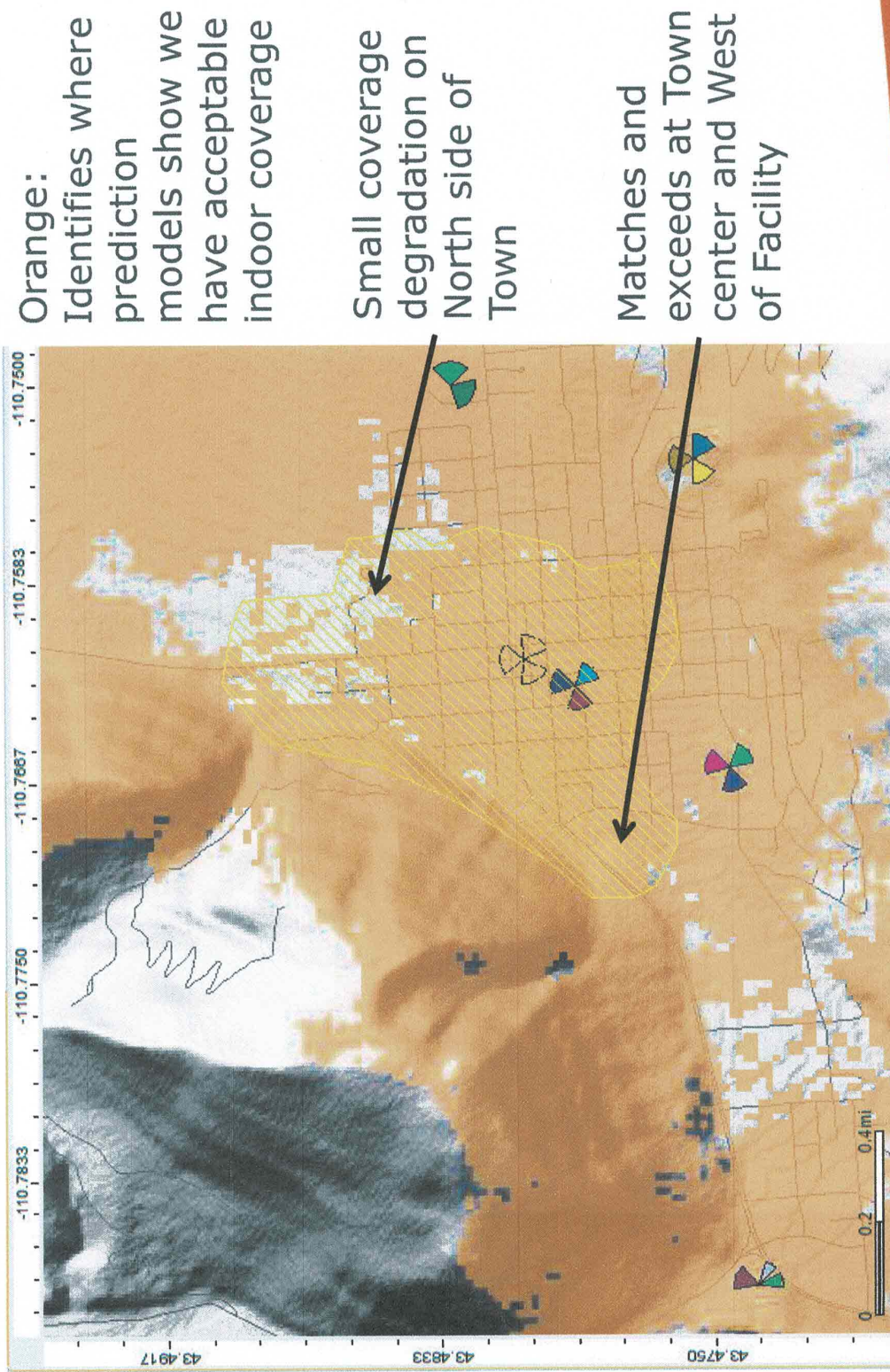
Yellow Diagonal
Lines: current
coverage footprint
offered by facility
at theater



AT&T Proprietary (Internal Use Only)

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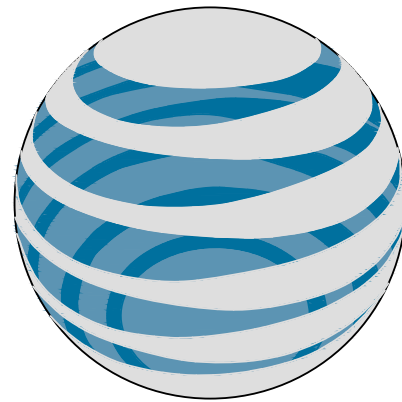
Parking Garage good indoor coverage



AT&T Proprietary (Internal Use Only)



Not for use or disclosure outside the AT&T companies except under written agreement



at&t

IDL04511 RELO
TOWN OF JACKSON PARKING GARAGE
FA#: 14284658


56.5' ROOFTOP

PTN# 3770A0FQYD
NEW SITE BUILD

| SITE INFORMATION | |
|--------------------------------|--|
| SITE ADDRESS: | 160 S MILLWARD STREET JACKSON, WY 83001 |
| COUNTY: | TETON |
| COORDINATES: | 43.4776580° / -110.7642330° (FOR NAVIGATION ONLY) |
| PROPERTY LANDLORD OR OWNER: | TOWN OF JACKSON |
| JURISDICTION: | TOWN OF JACKSON |
| OCCUPANCY GROUP | UNMANNED |
| CONSTRUCTION TYPE | II-B |
| POWER COMPANY: | LOWER VALLEY ENERGY |
| TELCO COMPANY: | CENTURY LINK |
| A.D.A. COMPLIANCE: | FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION |

| CONTACT INFORMATION | |
|--------------------------------|--|
| APPLICANT: | AT&T 4393 RIVERBOAT ROAD, SUITE 400 TAYLORSVILLE, UTAH 84123 PHONE: 801.458.8888 CONTACT: BYRON BOSSHARDT |
| PROJECT MANAGER: | GENERAL DYNAMICS WIRELESS SERVICES, LLC. 1152 W. 2400 S., SUITE C SALT LAKE CITY, UT 84119 PHONE: 801.201.0566 CONTACT: ROCKY MATTISON |
| ARCHITECTURE & ENGINEERING: | GEOSTRUCTURAL, LLC. PO BOX 2621 BOISE, ID 83701 PHONE: 530.539.4787 CONTACT: DON GEORGE |

VICINITY MAP



DRIVING DIRECTIONS

From Jackson Airport:
Turn right at the 1st cross street onto US-191 S/US-26 W/US-89 S (8.8 mi)
Turn right onto W Broadway (0.1 mi)
Turn left onto S Milward St (0.1 mi)
Enter parking garage and go to the top level
Site is in the elevator room door on right

| APPROVALS | |
|-------------------------|-------|
| RF MANAGER | _____ |
| CONSTRUCTION MANAGER | _____ |
| SITE ACQ. MANAGER | _____ |
| PROPERTY OWNER | _____ |
| OPERATIONS MANAGER | _____ |

SCOPE OF WORK

PROPOSED:

5' SCREEN WALL (BY VERIZON)

(9) SBNHH-1D65A 4.6' TALL ANTENNAS
(3) NNHH-65A-R4 4.6' TALL ANTENNAS
(3) B25 RRH4x30-4R
(3) RRH4x25-WCS-4R
(6) AIRSCALE DUAL RRH 4T4R B25/60 320W AHFIB
(3) DC/FIBER DISTRIBUTION BOXS

EQUIPMENT IN EXISTING BUILDING

DO NOT SCALE DRAWINGS

CONTRACTOR SHALL VERIFY ALL PLANS, EXISTING DIMENSIONS,
CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE
ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING
WITH THE WORK OR BE RESPONSIBLE FOR THE SAME.


CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN
ACCORDANCE WITH THE CURRENT EDITIONS OF ALL GOVERNING CODES
AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. WORK
PERFORMED IN VIOLATION OF THESE CODES IS NOT ALLOWED.

FCC COMPLIANCE

RADIATION FROM THIS FACILITY WILL NOT INTERFERE WITH OPERATION
OF OTHER COMMUNICATION DEVICES.

DIG LINE





| SHEET INDEX | |
|-------------|--------------------|
| SHEET | DESCRIPTION |
| T-1 | TITLE SHEET |
| GN-1 - GN-6 | GENERAL NOTES |
| SV-1 | SITE SURVEY |
| A-1 | SITE PLAN |
| A-2 | EQUIPMENT PLAN |
| A-2.1 | HVAC DUCTING PLAN |
| A-3 | ANTENNA ELEVATIONS |
| A-4 | ANTENNA PLANS |
| A-4 | UTILITY ROUTING |
| R-1 | EQUIPMENT DETAILS |
| R-2 | HVAC DETAILS |
| G-1 | GROUNDING DETAILS |



GENERAL DYNAMICS
Information Technology



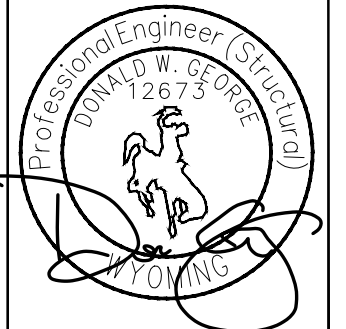
GEOSTRUCTURAL

PO BOX 2621, BOISE, ID 83701
P: 530.539.4787
E: CONTACT@GEOSTRUCTURAL.COM
WWW.GEOSTRUCTURAL.COM

| REVISIONS | | | |
|-----------|----------|--------------------------|-----|
| REV | DATE | DESCRIPTION | INT |
| | | | |
| | | | |
| 2 | 01/31/19 | REVISED PER PUBLIC WORKS | GGD |
| 1 | 01/22/19 | REVISED PER ZONING | GGD |
| 0 | 11/12/18 | ISSUED FOR ZONING | GGD |
| B | 11/06/18 | EQUIPMENT TO 3rd FLOOR | GGD |
| A | 09/19/18 | ISSUED FOR REVIEW | GGD |

CHECKED BY: GGD

THE INFORMATION CONTAINED IN THIS SET OF
DOCUMENTS IS PROPRIETARY BY NATURE. ANY
USE OR DISCLOSURE OTHER THAN THAT WHICH
RELATES TO THE CLIENT NAMES IS STRICTLY
PROHIBITED.



SITE INFORMATION:

TOWN OF JACKSON
PARKING GARAGE
IDL04511 RELO

NEW SITE BUILD

160 S MILLWARD STREET
JACKSON, WY 83001

SHEET TITLE:

TITLE SHEET

SHEET NUMBER:

T-1

CONSTRUCTION NOTES:

1.

FOR THE PURPOSE OF CONSTRUCTION DRAWINGS THE FOLLOWING DEFINITIONS SHALL APPLY:

GENERAL CONTRACTOR: GENERAL DYNAMICS
SUBCONTRACTOR: ASSIGNED CONTRACTOR
2.

ALL SITE WORK SHALL BE COMPLETED AS INDICATED ON THE DRAWINGS AND AT&T PROJECT SPECIFICATIONS.
3.

GENERAL CONTRACTOR AND SUBCONTRACTOR SHALL VISIT THE SITE AND SHALL FAMILIARIZE HIMSELF WITH ALL CONDITIONS AFFECTING THE PROPOSED WORK AND SHALL MAKE PROVISIONS. GENERAL CONTRACTOR AND SUBCONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH ALL CONTRACT DOCUMENTS, FIELD CONDITIONS, DIMENSIONS, AND CONFIRMING THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER PRIOR TO THE COMMENCEMENT OF WORK.
4.

ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. GENERAL CONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES REGULATIONS, AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF WORK.
5.

ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES, AND APPLICABLE REGULATIONS.
6.

UNLESS OTHER WISE, THE WORK SHALL INCLUDE FURNISHING, MATERIALS, EQUIPMENT, APPURTENANCES, AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
7.

PLANS ARE NOT TO BE SCALED. THESE PLANS ARE INTENDED TO BE A DIAGRAMMATIC OUTLINE ONLY UNLESS OTHERWISE NOTED. DIMENSIONS SHOWN ARE TO BE FINISH SURFACES UNLESS OTHERWISE NOTED. SPACING BETWEEN EQUIPMENT IS THE MINIMUM REQUIRED CLEARANCE. THEREFORE, IT IS CRITICAL TO FIELD VERIFY DIMENSIONS, SHOULD THERE BE ANY QUESTIONS REGARDING THE CONTRACT DOCUMENTS, THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ARCHITECT/ENGINEER PRIOR TO PROCEEDING WITH THE WORK. DETAILS ARE INTENDED TO SHOW DESIGN INTENT. MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF WORK AND PREPARED BY THE ARCHITECT/ENGINEERPRIOR TO PROCEEDING WITH WORK.
8.

THE SUBCONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
9.

IF THE SPECIFIED EQUIPMENT CANNOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE SUBCONTRACTOR SHALL PROPOSE AN ALTERNATIVE SPACE FOR APPROVAL BY THE ARCHITECT/ENGINEER PRIOR TO PROCEEDING.
10.

GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF WORK AREA, ADJACENT AREAS AND BUILDING OCCUPANTS THAT ARE LIKELY TO BE AFFECTED BY THE WORK UNDER THIS CONTRACT. WORK SHALL CONFORM TO ALL OSHA REQUIREMENTS AND LOCAL JURISDICTION.
11.

GENERAL CONTRACTOR SHALL COORDINATE WORK AND SCHEDULE WORK ACTIVITIES WITH OTHER DISCIPLES.
12.

ERECTION SHALL BE DONE IN A WORK MANLIKE MANNER BY COMPETENT EXPERIENCED PRACTICE. ALL MEMBERS SHALL BE LAID PLUMB AND TRUE AS INDICATED ON THE DRAWINGS.
13.

SEAL PENETRATIONS THROUGH FIRE RATED AREAS WITH UL LISTED MATERIALS APPROVED BY LOCAL JURISDICTION. SUB CONTRACTOR SHALL KEEP AREA CLEAN, HAZARD FREE, AND DISPOSE OF ALL DEBRIS.
14.

WORK PREVIOUSLY COMPLETED IS REPRESENTED BY LIGHT SHADED LINES AND NOTES. THE SCOPE OF WORK FOR THIS PROJECT IS REPRESENTED BY DARK SHADED LINES AND NOTES. SUB CONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR OF ANY EXISTING CONDITIONS THAT DEViate FROM THE DRAWING PRIOR TO THE BEGINNING CONSTRUCTION.
15.

SUBCONTRACTOR SHALL PROVIDE WRITTEN NOTICE TO THE CONSTRUCTION MANAGER 48 HOURS PRIOR TO THE COMMENCEMENT OF WORK.
16.

THE SUBCONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGED PART SHALL BE REPAIRED AT SUBCONTRACTORS EXPENSE TO THE SATISFACTION OF THE OWNER.
17.

THE SUBCONTRACTOR SHALL CONTACT UTILITY LOCATING SERVICES PRIOR TO THE START OF CONSTRUCTION.
18.

GENERAL CONTRACTOR SHALL COORDINATE AND MAINTAIN ACCESS FOR ALL TRADES AND SUBCONTRACTORS TO THE SITE AND/OR BUILDING.
19.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURITY OF THE SITE FOR THE DURATION OF CONSTRUCTION UNTIL JOB COMPLETION.
20.

THE GENERAL CONTRACTOR SHALL MAINTAIN GOOD CONDITION ONE COMPLETE SET OF PLANS WITH ALL REVISION, ADDENDA, AND CHANGES ORDERS ON THE PREMISES AT ALL TIMES.
21.

THE GENERAL CONTRACTOR AND SUBCONTRACTOR SHALL PROVIDE PORTABLE FIRE EXTINGUISHERS WITH A RATING OF NOT LESS THAN 2-A OT 2-A:10-B:C AND SHALL BE WITHIN 25 FEET OF TRAVEL DISTANCE TO ALL PORTIONS OF WHERE THE WORK IS BEING COMPLETED DURING CONSTRUCTION.

22.

NO TOWN OF JACKSON OPERATED UTILITIES SHALL BE IMPACTED WITHOUT A PUBLIC RIGHT-OF-WAY PERMIT, COORDINATION AND APPROVAL BY THE TOWN OF JACKSON
23.

ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES SHALL BE PROTECTED AT ALL TIMES, AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY THE ARCHITECT/ENGINEER. EXTREME CAUTION SHOULD BE USED BY THE SUBCONTRACTOR WHEN EXCAVATING OR DRILLING PIERS AROUND OR NEAR UTILITIES. SUBCONTRACTOR SHALL PROVIDE SAFETY TRAINING FOR THE WORKING CREW. THIS SHALL INCLUDE BUT NOT BE LIMITED TO, A)FALL PROTECTION, B)CONFINED SPACE, C)ELECTRICAL SAFETY, D)TRENCHING & EXCAVATION.
24.

ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED, CAPPED, PLUGGED OR OTHERWISE DISCONNECTED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, AS DIRECTED BY THE RESPONSIBLE ARCHITECT/ENGINEER, AND SUBJECT TO THE APPROVAL OF THE OWNER AND/OR LOCAL UTILITIES.
25.

THE AREAS OF THE OWNERS PROPERTY DISTURBED BY THE WORK AND NOT COVERED BY THE TOWER, EQUIPMENT OF DRIVEWAY, SHALL BE GRADED TO A UNIFORM SLOPE, AND STABILIZED TO PREVENT EROSION.
26.

SUB CONTRACTOR SHALL MINIMIZE DISTURBANCE TO THE EXISTING SITE DURING CONSTRUCTION, EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION, SHALL BE IN CONFORMANCE WITH THE FEDERAL AND LOCAL JURISDICTION FOR EROSION AND SEDIMENT CONTROL.
27.

NO FILL OR EMBANKMENT MATERIAL SHALL BE PLACED ON FROZEN GROUNDING, FROZEN MATERIALS, SNOW OR ICE SHALL NOT BE PLACE IN ANY FILL OR EMBANKMENT.
28.

THE SUBGRADE SHALL BE BROUGHT TO A SMOOTH GRADE AND COMPACTED TO 95 PERCENT STANCE PROCTOR DENSITY UNDER PAVEMENT AND STRUCTURES AND 80 PERCENT STANDARD PROCTOR DENSITY IN OPEN SPACE, ALL TRENCHES IN PUBLIC RIGHT OF WAY SHALL BE BACKFILLED WITH FLOWABLE FILL OR OTHER MATERIAL, PRE-APPROVED BY THE LOCAL JURISDICTION.
29.

ALL NECESSARY RUBBISH, STUMPS, DEBRIS, STICKS, STONES AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LAWFUL MANNER.
30.

ALL BROCHURES, OPERATING AND MAINTENANCE MANUALS, CATALOGS, SHOP DRAWINGS, AND OTHER DOCUMENTS SHALL BE TURNED OVER THE THE GENERAL CONTRACTOR AT COMPLETION OF CONSTRUCTION AND PRIOR TO PAYMENT.
31.

SUBCONTRACTOR SHALL SUBMIT A COMPLETE SET OS AS-BUILT REDLINES TO THE GENERAL CONTRACTOR UPON COMPLETION OF PROJECT AND PRIOR TO FINAL PAYMENT.
32.

SUBCONTRACTOR SHALL LEAVE PREMISES IN A CLEAN CONDITION.
33.

THE PROPOSED FACILITY WILL BE UNMANNED AND DOES NOT REQUIRE POTABLE WATER OR SEWER SERVICE AND IS NOT FOR HUMAN HABITAT (NO HANDICAP ACCESS REQUIRED).
34.

OCCUPANCY IS LIMITED TO PERIODIC MAINTENANCE AND INSPECTION, APPROXIMATELY 2 TIMES PER MONTH, BY AT&T TECHNICIANS.
35.

NO OUTDOOR STORAGE OR SOLID WASTE CONTAINERS ARE PROPOSED.
36.

ALL MATERIAL SHALL BE FURNISHED AND WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST REVISION AT&T MOBILITY GROUNDING STANDARD "TECHNICAL SPECIFICATION FOR CONSTRUCTION OF GSM/GPGPRS WIRELESS SITES." INCASE OF A CONFLICT BETWEEN THE CONSTRUCTION SPECIFICATION AND THE DRAWINGS, THE DRAWINGS SHALL GOVERN.
37.

SUBCONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS REQUIRED FOR CONSTRUCTION. IF SUBCONTRACTOR CANNOT OBTAIN A PERMIT, THEY MUST NOTIFY THE GENERAL CONTRACTOR IMMEDIATELY.
38.

SUBCONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE ON A DAILY BASIS.
39.

INFORMATION SHOWN ON THESE DRAWINGS WAS OBTAINED FROM SITE VISITS AND/OR DRAWINGS PROVIDED BY THE SITE OWNER. CONTRACTORS SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL OF PROCEEDING WITH CONSTRUCTION.
40.

NO WHITE STROBIC LIGHTS ARE PERMITTED. LIGHTING IF REQUIRE, WILL MEET FAA STANDARDS AND REQUIREMENTS.
41.

ALL COAXIAL CABLE INSTALLATIONS TO FOLLOW MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.
42.

NO NOISE, SMOKE, DUST, OR VIBRATION WILL RESULT FROM THIS FACILITY. (DISREGARD THIS NOTE IF THIS SITE HAS A GENERATOR)
43.

NO ADDITIONAL PARKING TO BE PROPOSED. EXISTING ACCESS AND PARKING TO REMAIN, UNLESS NOTED OTHERWISE.
44.

NO LANDSCAPING IS PROPOSED AT THIS SITE, UNLESS NOTED OTHERWISE.

SITE WORK & DRAINAGE:

PART 1 - GENERAL

CLEARING, GRUBBING, STRIPPING, EROSION CONTROL, SURVEY, LAYOUT, SUBGRADE PREPARATION AND FINISH GRADING AS REQUIRED TO COMPLETE THE PROPOSED WORK SHOWN IN THESE PLANS.

- 1.1 REFERENCES:

A.

DOT (STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION-CURRENT EDITION)

B.

ASTM (AMERICAN SOCIETY FOR TESTING AND MATERIALS)

C.

OSHA (OCCUPATION SAFETY AND HEALTH ADMINISTRATION)
- 1.2 INSPECTION AND TESTING:

A.

FIELD TESTING OF EARTHWORK COMPACTION AND CONCRETE CYLINDERS SHALL BE PERFORMED BY SUBCONTRACTORS INDEPENDENT TESTING LAB. THIS WORK TO BE COORDINATE BY THE SUBCONTRACTOR.

B.

ALL WORK SHALL BE INSPECTED AND RELEASED BY THE GENERAL CONTRACTOR WHO PROPER PERFORMANCE OF THE WORK AS SPECIFIED AND/OR CALLED FOR ON THE DRAWINGS. IT IS THE SUBCONTRACTOR RESPONSIBILITY TO REQUEST TIMELY INSPECTIONS PRIOR TO PROCEEDING WITH FURTHER WORK THAT WOULD MAKE PARTS WORK INACCESSIBLE OR DIFFICULT TO INSPECT.
- 1.3 SITE MAINTENANCE AND PROTECTION:

A.

PROVIDE ALL NECESSARY JOB SITE MAINTENANCE FROM COMMENCEMENT OR WORK UNTIL COMPLETION OF THE SUBCONTRACT.

B.

AVOID DAMAGE TO THE SITE AND TO EXISTING FACILITIES, STRUCTURES, TREES, AND SCRUBS DESIGNATED TO REMAIN. TAKE PROTECTIVE MEASURES TO PREVENT EXISTING FACILITIES THAT ARE NOT DESIGNATED FOR REMOVAL FROM BEING DAMAGED BY THE WORK.

C.

KEEP SITE FREE OF ALL PONDING WATER.

D.

PROVIDE EROSION CONTROL MEASURES IN ACCORDANCE WITH STATE DOT AND EPA REQUIREMENTS.

E.

PROVIDE AND MAINTAIN ALL TEMPORARY FENCING, BARRICADES, WARNING SIGNALS AND SIMILAR DEVICES NECESSARY TO PROTECT AGAINST THEFT FROM PROPERTY DURING THE ENTIRE PERIOD OF CONSTRUCTION. REMOVE ALL SUCH DEVICES UPON COMPLETION OF THE WORK.

F.

EXISTING UTILITIES: DO NOT INTERRUPT EXISTING SERVING FACILITIES OCCUPIED BY THE OWNER OR OTHERS, EXCEPT WHEN PERMITTED IN WRITING BY THE ENGINEER AND THEN ONLY AFTER ACCEPTABLE TEMPORARY UTILITY SERVICES HAVE BEEN PROVIDED.

G.

PROVIDE A MINIMUM 48-HOUR NOTICE TO THE ENGINEER AND RECEIVE WRITTEN NOTICE TO PROCEED BEFORE INTERRUPTING ANY UTILITY SERVICE.

PART 2 - PRODUCTS

- 2.1

SUITABLE BACKFILL: ASTM D2321 (CLASS I, II, II OR IVA) FREE FROM FROZEN LUMPS, REFUSE, STONES, OR ROCKS LARGER THAT 3 INCHES IN ANY DIMENSION OR OTHER MATERIAL THAT MAY MAKE THE INORGANIC MATERIAL UNSUITABLE FOR BACKFILL.
- 2.2

NON-POROUS GRANULAR EMBANKMENT AND BACKFILL: ASTM D2321 (CLASS III, IVA ORIVB) COARSE AGGREGATE. FREE FROM FROZEN LIMPS, REFUSE, STONES OR ROCKS LARGER THAN 3 INCHES IN ANY DIMENSION OR OTHER MATERIAL THAT MAY MAKE THE INORGANIC MATERIAL UNSUITABLE FOR BACKFILL.
- 2.3

POROUS GRANULAR EMBANKMENT AND BACKFILL: ASTM 52321 (CLASS IA, IB OR II) COARSE AGGREGATE FREE FROM FROZEN LUMPS, REFUSE STONES OR ROCS LARGER THAN 3 INCHES IN ANY DIMENSION OR OTHER MATERIAL THAT MAY MAKE THE INORGANIC MATERIAL UNSUITABLE FOR BACKFILL
- 2.4

SELECT STRUCTURAL FILL: GRANULAR FILL MATERIAL MEETING THE REQUIREMENTS OF ASTM E850-95. FOR USE AROUND UNDER STRUCTURES WHERE STRUCTURAL FILL MATERIAL ARE REQUIRED.
- 2.5

GRANULAR BEDDING AND TRENCH BACKFILL: WELL-GRADED SAND MEETING THE GRADATION REQUIREMENTS OF ASTM D2467 (SE OR SW-SM)
- 2.6

COARSE AGGREGATE FOR ACCESS ROAD SUBBASE COURSE SHALL CONFORM ASTM D2940.
- 2.7

UNSUITABLE MATERIAL: HIGH AND MODERATELY PLASTIC SILTS AND CLAYS (LL>45) MATERIAL CONTAINING REFUSE, FROZEN LIMPS, DEMOLISHED BITUMINOUS MATERIAL, VEGETATIVE MATTER, WOOD, STONES IN EXCESS OF 3 INCHES IN ANY DIMENSION AND SOILS CLASSIFIED BY ASTM AS PT, MH, CH, OH, ML, AND DL.
- 2.8

GEOTEXTILE FABRIC: MIRAFI 500X OR APPROVED EQUAL.
- 2.9

PLASTIC MARKING TAPE: SHALL BE ACID AND ALKALI RESISTANT POLYETHYLENE FILM SPECIFICALLY MANUFACTURED FOR MARKING THE LOCATING UNDERGROUND UTILITIES 6 INCHES WIDE WITH A MINIMUM THICKNESS OF 0.004 INCHES, TAPE SHALL HAVE A MINIMUM STRENGTH OF 1500 PSI IN BOTH DIRECTIONS AND MANUFACTURED WITH INTEGRAL CONDUCTORS. FOIL BACKING OR OTHER MEANS TO PROTECT IT FROM CORROSION. TAPE COLOR SHALL BE RED FOR ELECTRIC UTILITIES AND ORANGE FOR TELECOMMUNICATION UTILITIES.



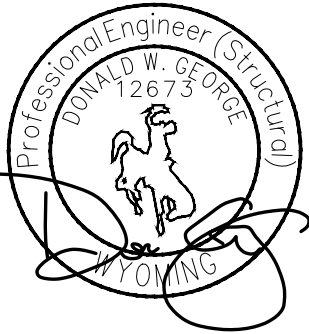
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SITE INFORMATION:

TOWN OF JACKSON
PARKING GARAGE
IDL04511 RELO

NEW SITE BUILD

160 S MILLWARD STREET
JACKSON, WY 83001

SHEET TITLE:

GENERAL NOTES

SHEET NUMBER:

GN-1

SITE WORK & DRAINAGE (CONT.)

PART 3 - EXECUTION

3.1 GENERAL:

- A.

BEFORE START GENERAL SITE PREPARATION ACTIVITIES, INSTALL EROSION AND SEDIMENT CONTROL MEASURES. THE WORK AREA SHALL BE CONSTRUCTED AND MAINTAINED IN SUCH CONDITION THAT IN THE EVENT OF RAIN THE SITE WILL BE DRAINED AT ANY TIME.
- B.

BEFORE ALL SURVEY, LAYOUT, STAKING, AND MARKING, ESTABLISH AND MAINTAIN ALL LINE, GRADES, ELEVATIONS AND BENCHMARKS NEED FOR EXECUTION OF THE WORK.
- C.

CLEAR AND GRUB THE AREA WITHIN THE LIMITS OF THE SITE. REMOVE TREES, BRUSH, STUMPS, RUBBISH AND OTHER DEBRIS AND VEGETATION RESTING ON OR PROTRUDING THROUGH THE SURFACE OF THE SITE AREA TO BE CLEARED.

1.

REMOVE THE FOLLOWING MATERIALS TO A DEPTH OF NO LESS THAN 12 INCHES BELOW THE ORIGINAL GROUND SURFACE: ROOTS, STUMPS, AND OTHER DEBRIS. BRUSH AND REFUSE EMBEDDED IN OR PROTRUDING THROUGH THE GROUND SURFACE, RAKE, DISK OR PLOW THE AREA TO A DEPTH OF NO LESS THAN 6 INCHES, AND REMOVE TO A DEPTH OR 12 INCHES ALL ROOTS AND OTHER DEBRIS THEREBY EXPOSED.

2.

REMOVE TOPSOIL MATERIAL COMPLETELY FROM THE SURFACE UNTIL THE SOIL NO LONGER MEETS THE DEFINITION OF TOPSOIL. AVOID MIXING TOPSOIL WITH SUBSOIL OR OTHER UNDESIRABLE MATERIALS.

3.

EXCEPT WHERE EXCAVATION TO GREATER DEPTH IS INDICATED TILL DEPRESSIONS RESULTING FROM CLEARING, GRUBBING AND DEMOLITION WORK COMPLETELY WITH SUITABLE FILL.

D.

REMOVE FROM THE SITE AND DISPOSE IN AN AUTHORIZED LANDFILL ALL DEBRIS RESULTING FROM CLEARING AND GRUBBING OPERATIONS BURNING WILL NOT BE PERMITTED.

E.

PRIOR TO EXCAVATING, THOROUGHLY EXAMINE THE AREA TO BE EXCAVATED AND/OR TRENCHED TO VERIFY THE LOCATIONS OF FEATURES ON THE DRAWINGS AND TO ASCERTAIN THE EXISTENCE AND LOCATION OF ANY STRUCTURE, UNDERGROUND STRUCTURE, OR OTHER ITEM THAT MIGHT INTERFERE WITH THE PROPOSED CONSTRUCTION. NOTIFY THE CONSTRUCTION MANAGER OF ANY OBSTRUCTIONS THAT WILL PREVENT ACCOMPLISHMENT OF THE WORK AS INDICATED ON THE DRAWINGS.

F.

SEPARATE AND STOCK PILE ALL EXCAVATED MATERIALS SUITABLE FOR BACKFILL, ALL EXCESS EXCAVATED AND UNSUITABLE MATERIALS SHALL BE DISPOSED OF OFF-SITE IN A LEGAL MANNER.
- 3.2 BACKFILL:
- A.

AS SOON AS PRACTICAL, AFTER COMPLETING CONSTRUCTION OF THE RELATED STRUCTURE, INCLUDING EXPIRATION OF THE SPECIFIED MINIMUM CURING PERIOD FOR CAST-IN-PLACE CONCRETE, BACKFILL THE EXCAVATION WITH APPROVED MATERIAL TO RESTORE THE REQUIRED FINISHED GRADE.

1.

PRIOR TO PLACING BACKFILL AROUND STRUCTURES, ALL FORMS SHALL BE REMOVED AND THE EXCAVATION CLEANED OF ALL TRASH, DEBRIS AND UNSUITABLE MATERIALS.

2.

BACKFILL BY PLACING AND COMPACTING SUITABLE BACKFILL MATERIAL OR SELECT GRANULAR BACKFILL MATERIAL WHEN REQUIRED IN UNIFORM HORIZONTAL LAYERS OF NO GREATER THAT 8-INCHES LOOSE THICKNESS AND COMPACTED. WHERE HAND OPERATED COMPACTORS ARE USED, THE FILL MATERIAL SHALL BE PLACED IN LIFTS NOT TO EXCEED 4 INCHES IN LOOSE DEPTH AND COMPACTED.

3.

WHENEVER THE DENSITY TESTING INDICATES THAT THE CONTRACTOR HAS NOT OBTAINED THE SPECIFIED DENSITY, THE SUCCEEDING LAYER SHALL NOT BE PLACED UNTIL THE SPECIFICATION REQUIREMENTS ARE MET UNLESS OTHERWISE AUTHORIZED BY THE GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL TAKE WHATEVER APPROPRIATE ACTION IS NECESSARY, SUCH AS DISKING AND DRYING, ADDING WATER, OR INCREASING THE COMPACTIVE EFFORT TO MEET THE MINIMUM COMPACTION REQUIREMENTS.

B.

THOROUGHLY COMPACT EACH LAYER OF BACKFILL TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY AS PROVIDED BY THE STANDARD PROCTOR TEST, ASTM D 698.
- 3.3 TRENCH EXCAVATION:
- A.

UTILITY TRENCHES SHALL BE EXCAVATED TO THE LINES AND GRADES SHOWN ON THE DRAWINGS OR AS DIRECTED BY THE GENERAL CONTRACTOR. PROVIDE SHORING, SHEETING AND BRACING AS REQUIRED TO PREVENT CAVING OR SLOUGHING OF THE TRENCH WALLS.

B.

EXTEND THE TRENCH WIDTH A MINIMUM OF 7 INCHES BEYOND THE OUTSIDE EDGE OF THE OUTERMOST CONDUIT.

C.

WHEN SOIL YIELDING, OR OTHERWISE UNSTABLE SOIL CONDITIONS ARE ENCOUNTERED. BACKFILL AT THE REQUIRED TRENCH TO A DEPTH OF NO LESS THAN 12 INCHES BELOW THE REQUIRED ELEVATION AND BACKFILL WITH GRANULAR BEDDING MATERIAL.
- 3.4 TRENCH BACKFILL:
- A.

PROVIDE GRANULAR BEDDING MATERIAL IN ACCORDANCE WITH THE DRAWING AND THE UTILITY REQUIREMENTS.

B.

NOTIFY THE GENERAL CONTRACTOR 24 HOURS IN ADVANCE OF BACKFILLING.

C.

CONDUCT UTILITY CHECK TESTS BEFORE BACKFILLING, BACKFILL AND COMPACT TRENCH BEFORE ACCEPTANCE TESTING.

D.

PLACE GRANULAR TRENCH BACKFILL UNIFORMLY ON BOTH SIDES OF THE CONDUITS IN 6-INCH UNCOMPACTED LIFTS UNTIL 12 INCHES OVER THE CONDUITS. SOLIDLY RAM AND TRAMP BACKFILL INTO SPACE AROUND CONDUITS.
- E.

PROTECT CONDUIT FROM LATERAL MOVEMENT, IMPACT DAMAGE OR UNBALANCED LOADING.

F.

ABOVE THE CONDUIT EMBEDMENT ZONE, PLACE AND COMPACT SATISFACTORY BACKFILL MATERIAL IN 8 INCH MAXIMUM LOOSE THICKNESS LIFTS TO RESTORE THE REQUIRED FINISHED SURFACE GRADE.

G.

COMPACT FINAL TRENCH BACKFILL TO A DENSITY EQUAL TO OR GREATER THAN THAT OF THE EXISTING UNDISTURBED MATERIAL IMMEDIATELY ADJACENT TO THE TRENCH BUT NO LESS THAN A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY AS PROVIDED BY THE STANDARD PROCTOR TEST, ASTM D 698.
- 3.5 AGGREGATE ACCESS ROAD:
- A.

CLEAR GRUB, STRIP AND EXCAVATE FOR THE ACCESS ROAD TO THE LINES AND GRADES INDICATED ON THE DRAWINGS. SCARIFY TO A DEPTH OF 6INCHES AND PROOF-ROLL. ALL HOLES, RUTS , SOFT PLACES AND OTHER DEFECTS SHALL BE CORRECTED.

B.

THE ENTIRE SUBGRADE SHALL BE COMPACTED TO NOT LESS THAN 95% OF THE MAXIMUM DRY DENSITY AS PROVIDED BY THE STANDARD PROCTOR TEST, ASTM D 1557.

C.

AFTER PREPARATION OF THE SUBGRADE IS COMPLETE THE GEOTEXTILE FABRIC (MIRAFI 500XI) SHALL BE INSTALLED TO THE LIMITS INDICATED ON THE DRAWINGS BY ROLLING THE FABRIC OUT LONGITUDINALLY ALONG THE ROADWAY THE FABRIC SHALL NOT BE DRAGGED ACROSS THE SUBGRADE. PLACE THE ENTIRE ROLL IN A SINGE OPERATION, ROLLING OUT AS SMOOTHLY AS POSSIBLE.

1.

OVERLAPS PARALLEL TO THE ROADWAY WILL BE PERMITTED AT THE CENTERLINE AND AT LOCATIONS BEYOND THE ROADWAY SURFACE WIDTH (I.E. WITHIN THE SHOULDER WIDTH) ONLY. NO LONGITUDINAL OVERLAPS SHALL BE LOCATED BETWEEN THE CENTERLINE AND THE SHOULDER. PARALLEL OVERLAPS SHALL BE A MINIMUM OF 3 FEET WIDE.

2.

TRANSVERSE (PERPENDICULAR TO THE ROADWAY) OVERLAPS AT THE END OF A ROLL, SHALL OVERLAPS IN THE DIRECTION OF THE AGGREGATE PLACEMENT (PREVIOUS ROLL ON TOP) AND SHALL HAVE A MINIMUM LENGTH OF 3 FEET.

3.

ALL OVERLAPS SHALL BE PINNED WITH STAPLES OF NAILS A MINIMUM O 10 INCHES LONG TO INSURE POSITIONING DURING PLACEMENT OF AGGREGATE. PIN LONGITUDINAL SEAMS AT 25 FOOT CENTERS AND TRANSVERSE SEAMS EVERY 5 FEET.

D.

THE AGGREGATE BASE AND SURFACE COURSES SHALL BE CONSTRUCTED IN LAYERS NOT GEOTEXTILE FABRIC SHALL BE END-DUMPED ON THE FABRIC FROM THE FREE END OF THE FABRIC OR OVER PREVIOUSLY PLACED AGGREGATE. THE FIRST LIFT SHALL BE BLADED DOWN TO A THICKNESS OF 8 INCHES PRIOR TO COMPACTION. AT NO TIME SHALL EQUIPMENT EITHER TRANSPORTING THE AGGREGATE OR GRADING THE AGGREGATE BE PERMITTED ON THE ROADWAY WITH LESS THAN 4 INCHES OF MATERIAL COVERING THE FABRIC.

E.

THE AGGREGATE SHALL BE IMMEDIATELY COMPACTED TO NOT LESS THAT 95% OF THE MAXIMUM DRY DENSITY AS PROVIDED BY THE PROCTOR TEST, ASTM D 1557 WITH A TAMPING ROLLER, OR WITH A PNEUMATIC-TIRED ROLLER, OR WITH A VIBRATORY MACHINE OR ANY COMBINATION OF THE ABOVE. THE TOP LAYER SHALL BE GIVEN A FINAL ROLLING WITH A THREE-WHELL OR TANDEM ROLLER.

3.6 FINISH GRADING:

A.

PERFORM ALL GRADING TO PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURES AND SMOOTH, EVEN SURFACE DRAINAGE OF THE ENTIRE AREA WITHIN THE LIMITS OF CONSTRUCTION, GRADING SHALL BE COMPATIBLE WITH ALL SURROUNDING TOPOGRAPHY AND STRUCTURES.

B.

UTILIZE SATISFACTORY FILL MATERIAL, RESULTING FROM THE EXCAVATION WORK IN THE CONSTRUCTION OF FILLS, EMBANKMENTS AND FOR REPLACEMENTS OF REMOVED UNSUITABLE MATERIALS.

C.

ACHIEVE FINISHED GRADE BY PLACING A MINIMUM OF 4 INCHES OF 1/2"-3/4" CRUSHED STONE ON TOP SOIL STABILIZER FABRIC.

D.

REPAIR ALL ACCESS ROADS AND SURROUND AREAS USED DURING THE COURSE OF THIS WORK TO THEIR ORIGINAL CONDITION.

3.7 ASPHALT PAVING ROAD:

A.

DIVISION 600-KDOT FLEXIBLE PAVEMENT (UPDATE PER LOCAL DOT)

B.

SECTION 403-MODOT ASPHALT CONCRETE PAVEMENT.

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SITE INFORMATION:

TOWN OF JACKSON
PARKING GARAGE
IDL04511 RELO

NEW SITE BUILD

160 S MILLWARD STREET
JACKSON, WY 83001

SHEET TITLE:

GENERAL NOTES

SHEET NUMBER:

GN-2

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ELECTRICAL NOTES:

PART 1 - GENERAL

- 1.1 CONTRACTOR RESPONSIBILITIES
- A.

CONTRACTOR SHALL INSPECT THE EXISTING SITE CONDITIONS PRIOR TO SUBMITTING BID. ANY QUESTIONS ARISING DURING THE BID PERIOD IN REGARDS TO THE SUBCONTRACTORS FUNCTIONS. THE SCOPE OF WORK, OR ANY OTHER ISSUE RELATED TO THIS PROJECT SHALL BE BROUGHT UP DURING THE BID PERIOD WITH THE PROJECT MANAGER FOR CLARIFICATION, NOT AFTER THE CONTRACT HAS BEEN AWARDED.
- B.

THE SUBCONTRACTOR SHALL OBTAIN PERMITS, LICENSES, MAKE ALL DEPOSITS, AND PAY ALL FEES REQUIRED FOR THE CONSTRUCTION PERFORMANCE FOR THE WORK UNDER THIS SECTION.
- C.

DRAWINGS SHOW THE GENERAL ARRANGEMENT OF ALL SYSTEMS AND COMPONENTS COVERED UNDER THIS SECTION. THE SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS. DRAWINGS SHALL NOT BE SCALED TO DETERMINED DIMENSIONS.
- 1.2 LAWS, REGULATIONS, ORDINANCES, STATUTES AND CODES:
- A.

ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE, AND ALL APPLICABLE LOCAL LAWS, REGULATIONS, ORDINANCES, STATUES AND CODES. CONDUIT BENDS SHALL BE THE RADIUS BEND FOR THE TRADE SIZE OF CONDUIT IN COMPLIANCE WITH THE LATEST EDITIONS OF NEC.
- 1.3 REFERENCES:
- A.

THE PUBLICATIONS LISTED BELOW ARE PART OF THIS SPECIFICATION. EACH PUBLICATION SHALL BE THE LATEST REVISION AND ADDENDUM IN EFFECT ON THE DATE. THIS SPECIFICATION IS ISSUED FOR THE CONSTRUCTION UNLESS OTHER WISE NOTED. EXCEPT AS MODIFIED BY THE REQUIREMENT SPECIFIED HEREIN OR THE DETAILS OF THE DRAWINGS. WORK INCLUDED IN THIS SPECIFICATION SHALL CONFORM TO THE APPLICABLE PROVISION OF THESE PUBLICATIONS.
1.

ANSI/IEEE (AMERICAN NATION STANDARDS INSTITUTE)
2.

ASTM (AMERICAN SOCIETY FOR TESTING AND MATERIALS)
3.

ICE (INSULATED CABLE ENGINEERS ASSOCIATION)
4.

NEMA (NATIONAL ELECTRICAL MANUFACTURES ASSOCIATION)
5.

NEPA (NATIONAL ENVIRONMENTAL PROTECTION ASSOCIATION)
6.

NFPA (NATIONAL FIRE PROTECTION ASSOCIATION)
7.

OSHA (OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION)
8.

UL (UNDERWRITERS LABORATORIES, INC.)
9.

AT&T MOBILITY GROUNDING STANDARD ND-00071
10.

IEEE (INSTITUTE OF ELECTRICAL AND ELECTRONICS ENGINEERS)
- 1.4 SCOPE OF WORK:
- A.

WORK UNDER THIS SECTION SHALL CONSIST OF FURNISHING ALL LABOR, MATERIAL, AND ASSOCIATED SERVICES REQUIRED TO COMPLETE REQUIRED CONSTRUCTION AND BE OPERATIONAL.
- B.

ALL ELECTRICAL EQUIPMENT UNDER THIS CONTRACT SHALL BE PROPERLY TESTED, ADJUSTED, AND ALIGNED BY THE SUBCONTRACTOR.
- C.

THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXCAVATING, DRAINING, TRENCHES, BACKFILLING, AND REMOVAL OF EXCESS DIRT.
- D.

THE SUBCONTRACTOR SHALL FURNISH TO THE OWNER WITH CERTIFICATES OF FINAL INSPECTION AND APPROVAL FROM THE INSPECTION AUTHORITIES HAVING JURISDICTION.
- E.

THE SUBCONTRACTOR SHALL PREPARE A COMPLETE SET OF AS-BUILT DRAWINGS, DOCUMENT ALL WIRING EQUIPMENT CONDITIONS, AND CHANCES WHILE COMPLETING THIS CONTRACT. THE AS-BUILT DRAWINGS SHALL BE SUBMITTED AT THE COMPLETION OF THE PROJECT.

PART 2 - PRODUCTS

- 2.1 GENERAL:
- A.

ALL MATERIALS AND EQUIPMENT SHALL BE UL LISTED, NEW AND FREE FROM DEFECTS.
- B.

AII ITEMS OF MATERIALS AND EQUIPMENT SHALL BE ACCEPTABLE TO THE AUTHORITY HAVING JURISDICTION AS SUITABLE FOR THE USE INTENDED.
- C.

ALL EQUIPMENT SHALL BEAR THE UNDERWRITERS LABORATORIES LABEL OR APPROVAL, AND SHALL CONFORM TO REQUIREMENT OF THE NATIONAL ELECTRICAL CODE.
- D.

ALL OVER CURRENT DEVICES HAVE AN INTERRUPTING CURRENT RATING EQUAL TO OR GREATER THAT THE SHORT CIRCUIT CURRENT TO WHICH THEY ARE SUBJECTED. 10000 AIC MINIMUM. VERIFY AVAILABLE SHORT CIRCUIT CURRENT DOES NOT EXCEED THE RATING OF ELECTRICAL EQUIPMENT.
- 2.2 MATERIALS AND EQUIPMENT:
- A.

CONDUIT:

1.
- RIGID METAL CONDUIT (RMC) SHALL BE HOTT-DIPPED GALVANIZED INSIDE AND OUTSIDE INCLUDING ENDS AND THREADS AND ENAMELED OR LACQUERED IN ADDITION TO GALVANIZING.
2.
- LIQUID TIGHT FLEXIBLE METAL CONDUIT SHALL BE UL LISTED.
3.
- CONDUIT CLAMPS, STRAPS AND SUPPORTS SHALL BE STEEL OR MALLEABLE IRON. ALL FITTINGS SHALL BE COMPRESSION AND CONCRETE TIGHT TYPE. GROUNDING BUSHINGS WITH INSULATED THROATS SHALL BE INSTALLED ON ALL CONDUIT TERMINATIONS.
4.
- NONMETALLIC CONDUIT AND FITTINGS SHALL BE SCHEDULE 40 PVC. INSTALL USING SOLVENT-CEMENT-TYPE JOINTS AS RECOMMENDED BY THE MANUFACTURER.
- B.
- CONDUCTORS AND CABLE:
1.

CONDUCTORS AND CABLE SHALL BE FLAME-RETARDANT, MOISTURE AND HEAT RESISTANT THERMOPLASTIC, SINGLE CONDUCTOR, COPPER, TYPE THHN/THWN-2, 600 VOLT, SIZE AS INDICATED, 12 AWG SHALL BE THE MINIMUM SIZE CONDUCTOR USED.
2.

10 AWG AND SMALLER CONDUCTOR SHALL BE SOLID OR STRANDED AND 6 AWG AND LARGER CONDUCTOR SHALL BE STRANDED.
3.

SOLDERLESS, COMPRESSION-TYPE CONNECTORS SHALL BE USED FOR TERMINATION OF ALL STRANDED CONDUCTORS.
4.

STRAIN-RELIEF SUPPORTS GRIPS SHALL BE HUBBELL KELLEMS OR APPROVED EQUAL. CABLES SHALL BE SUPPORTED IN ACCORDANCE WITH THE NEC AND CABLE MANUFACTURERS RECOMMENDATIONS.
5.

ALL CONDUCTORS SHALL BE TAGGED AT BOTH ENDS OF THE CONDUCTOR, AT ALL PULL BOXES, J-BOXES, EQUIPMENT AND CABINETS AND SHALL BE IDENTIFIED WITH APPROVED PLASTIC TAGS (ACTION CRAFT, BRADY, OR APPROVED EQUAL).
- C.
- DISCONNECT SWITCHES:
1.

DISCONNECT SWITCHES SHALL BE HEAVY DUTY, DEAD-FRONT, QUICK-MAKE, QUICK-BREAK, EXTERNALLY OPERABLE, HANDLE LOCKABLE AND INTERLOCK WITH COVER IN CLOSED POSITION RATING AS INDICATED, UL LABELED FURNISHED IN NEMA 3R ENCLOSURE, SQUARE-D OR APPROVED EQUAL.
- D.
- CHEMICAL ELECTROLYTIC GROUNDING SYSTEM:
1.

INSTALL CHEMICAL GROUND AS REQUIRED. THE SYSTEM SHALL BE ELECTROLYTIC MAINTENANCE FREE ELECTRODE CONSISTING OF RODS WITH A MINIMUM OF 2 AWG CU EXOTHERMALLY WELDED PIGTAIL, PROTECTIVE BOXES, AND BACKFILL MATERIAL. MANUFACTURER SHALL BE LYNCOLE XIT GROUND ROD TYPES K2-(*) CS OR K2L-(*) CS (*) LENGTH AS REQUIRED.
2.

GROUND ACCESS BOX SHALL BE A POLY-PLASTIC BOX FOR NON-TRAFFIC APPLICATIONS. INCLUDING BOLT DOWN FLUSH COVER WITH "BREATHHER" HOLES, XIT MODEL #XB-22. ALL DISCONNECT SWITCHES AND CONTROLLING DEVICES SHALL BE PROVIDED WITH ENGRAVED LAMICOID NAMEPLATES INDICATING EQUIPMENT CONTROLLED, BRANCH CIRCUITS ID NUMBERING, AND THE ELECTRICAL POWER SOURCE.
3.

BACKFILL MATERIAL SHALL BE LYNCONITE AND LYNCOLE GROUNDING GRAVEL.
- E.
- SYSTEM GROUNDING:
1.

ALL GROUNDING COMPONENTS SHALL BE TINNED AND GROUNDING CONDUCTOR SHALL BE 2 AWG BARE, SOLID, TINNED, COPPER, ABOVE GRADE GROUNDING CONDUCTORS SHALL BE INSULATED WHERE NOTED.
2.

GROUNDING BUSES SHALL BE BARE, TINNED, ANNEALED COPPER BARS OF RECTANGULAR CROSS SECTION. STANDARD BUS BARS MGB, SHALL BE FURNISHED AND INSTALLED BY THE SUBCONTRACTOR, THEY SHALL NOT BE FABRICATED OR MODIFIED IN THE FIELD. ALL GROUNDING BUSSES SHALL BE IDENTIFIED WITH MINIMUM 3/4" LETTERS BY WAY OF STENCILING OR DESIGNATION PLATE.
3.

CONNECTORS SHALL BE HIGH-CONDUCTIVITY, HEAVY DUTY, LISTED AND LABELED AS GROUNDED CONNECTORS FOR THE MATERIALS USED. USE TWO-HOLD COMPRESSION LUGS WITH HEAT SHRINK FOR MECHANICAL CONNECTIONS.
4.

EXOTHERMIC WELDED CONNECTIONS SHALL BE PROVIDED IN KIT FORM AND SELECTED FOR THE SPECIFIC TYPES, SIZES AND COMBINATIONS OF CONDUCTORS AND OTHER ITEMS TO BE CONNECTED.
5.

GROUND RODS SHALL BE COPPER-CLAD STEEL WITH HIGH-STRENGTH STEEL CORE AND ELECTROLYTIC-GRADE COPPER OUTER SHEATH, MOLTEN WELDED TO CORE, 5/8"X10'-0". ALL GROUNDING RODS SHALL BE INSTALLED WITH INSPECTION SLEEVES.
6.

INSTALL AN EQUIPMENT GROUNDING CONDUCTOR IN ALL CONDUITS IN COMPLIANCE WITH THE SPECIFICATIONS AND NEC. THE EQUIPMENT GROUNDING CONDUCTORS SHALL BE BONDED AT ALL JUNCTION BOXES, DISCONNECT SWITCHES, STARTERS AND EQUIPMENT CABINETS.
- F.
- OTHER MATERIALS:
1.

THE SUBCONTRACTOR SHALL PROVIDE OTHER MATERIALS, THOUGH NOT SPECIFICALLY DESCRIBED, WHICH ARE REQUIRED FOR A COMPLETELY OPERATIONAL SYSTEM AND PROPER INSTALLATION OF THE WORK.
2.

PROVIDE PULL BOXES AND JUNCTION BOXES WHERE SHOWN OR REQUIRED BY NEC.

- G.
- PANELS AND LOAD CENTERS:
1.

ALL PANEL DIRECTORIES SHALL BE TYPEWRITTEN.

PART 3 - EXECUTION

- 3.1 GENERAL:
- A.

ALL MATERIAL AND EQUIPMENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- B.

EQUIPMENT SHALL BE TIGHTLY COVERED AND PROTECTED AGAINST DIRT OR WATER, AND AGAINST CHEMICAL OR MECHANICAL INJURY DURING INSTALLATION AND CONSTRUCTION PERIODS.
- 3.2 LABOR AND WORKMANSHIP:
- A.

ALL LABOR FOR THE INSTALLATION OF MATERIALS AND EQUIPMENT FURNISHED FOR THE ELECTRICAL SYSTEM SHALL BE INSTALLED BY EXPERIENCED WIREMEN, IN A NEAT AND WORKMAN-LIKE MANNER.
- B.

ALL ELECTRICAL EQUIPMENT SHALL BE ADJUSTED, ALIGNED AND TESTED BY THE SUBCONTRACTOR AS REQUIRED TO PRODUCE THE INTENDED PERFORMANCE.
- C.

UPON COMPLETION OF WORK, THE SUBCONTRACTOR SHALL THOROUGHLY CLEAN ALL EXPOSED EQUIPMENT, REMOVE ALL LABELS AND ANY DEBRIS, CRATING OR CARTONS AND LEAVE THE INSTALLATION FINISHED AND READY FOR OPERATION.
- 3.3 COORDINATION:
- A.

THE SUBCONTRACTOR SHALL COORDINATE THE INSTALLATION OF ELECTRICAL ITEMS WITH THE OWNER-FURNISHED EQUIPMENT DELIVERY SCHEDULE TO PREVENT UNNECESSARY DELAYS IN THE TOTAL WORK.
- 3.4 INSTALLATION:
- A.

CONDUIT:
1.

ALL ELECTRICAL WIRING SHALL BE INSTALLED IN CONDUIT AS SPECIFIED. NO CONDUIT OR TUBING OF LESS THAN 3/4 INCH TRADE SIZE.
2.

PROVIDE RIGID PVC SCHEDULE 80 CONDUITS FOR ALL RISERS, RMC OTHERWISE NOTED. EMT MAY BE INSTALLED FOR EXTERIOR CONDUITS WHERE NOT SUBJECT TO PHYSICAL DAMAGE.
3.

THE INSTALLATION OF SCHEDULE 40 PVC AND RMC CONDUITS SHALL BE 24 INCHES MINIMUM DEPTH. ALL 90 DEGREE BENDS SHALL BE RMS. EXPANSION JOINTS ARE REQUIRED ON ALL CONDUIT RISERS.
4.

USE GALVANIZED FLEXIBLE STEEL CONDUIT WHERE DIRECT CONNECTION TO EQUIPMENT WITH MOVEMENT, VIBRATION, OR FOR ESE OF MAINTENANCE. USE LIQUID TIGHT, FLEXIBLE METAL CONDUIT FOR OUTDOOR APPLICATIONS. INSTALL GALVANIZED FLEXIBLE STEEL CONDUIT AT ALL POINTS OF CONNECTION TO EQUIPMENT MOUNTED ON SUPPORT TO ALLOW FOR EXPANSION AND CONTRACTION.
5.

A RUN OF CONDUIT BETWEEN BOXES OR EQUIPMENT SHALL NOT CONTAIN MORE THAN THE EQUIVALENT OF THREE QUARTER-BENDS. CONDUIT BEND SHALL BE MADE WITH THE UL LISTED BENDER OR FACTOR 90 DEGREE ELBOWS MAY BE USED.
6.

FIELD FABRICATED CONDUITS SHALL BE CUT SQUARE WITH A CONDUIT CUTTING TOOL AND REAMED TO PROVIDE A SMOOTH INSIDE SURFACE.
7.

PROVIDE INSULATED GROUNDING BUSHING FOR ALL CONDUITS.
8.

SUBCONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL CONDUITS DURING CONSTRUCTION. TEMPORARY OPENING IN THE CONDUIT SYSTEM SHALL BE PLUGGED OR CAPPED TO PREVENT ENTRANCE OF MOISTURE OR FOREIGN MATTER. SUBCONTRACTOR SHALL REPLACE ANY CONDUITS CONTAINING FOREIGN MATERIALS THAT CANNOT BE REMOVED.
9.

ALL CONDUITS SHALL BE SWABBED CLEAN BY PULLING AN APPROPRIATE SIZE MANDREL THROUGH THE CONDUIT BEFORE INSTALLATION OF CONDUCTORS AR CABLES. CONDUIT SHALL BE FREE OF DIRT AND DEBRIS.
10.

INSTALL PULL STRINGS IN ALL CLEAN EMPTY CONDUITS. IDENTIFY PULL STRINGS AT EACH END.
11.

INSTALL 2" HIGHLY VISIBLE AND DETECTABLE TAPE 12" ABOVE ALL UNDERGROUND CONDUITS AND CONDUCTORS.
12.

CONDUITS SHALL BE INSTALLED IN SUCH A MANNER AS TO INSURE AGAINST COLLECTION OF TRAPPED CONDENSATION.
13.

PROVIDE CORE DRILLING AS NECESSARY FOR PENETRATIONS TO ALLOW FOR RACEWAYS AND CABLES TO BE ROUTED THROUGH THE BUILDING. DO NOT PENETRATE STRUCTURAL MEMBERS. SLEEVES AND/OR PENETRATIONS IN FIRE RATED CONSTRUCTION SHALL BE EFFECTIVELY SEALED WITH FIRE RATED MATERIAL WHICH SHALL MAINTAIN THE FIRE RATING OF THE WALL OR STRUCTURE. FIRE STOPS AT FLOOR PENETRATIONS SHALL PREVENT PASSAGE OF WATER, SMOKE, FIRE, AND FUMES. ALL MATERIAL SHALL BE UL APPROVED FOR THIS PURPOSE.



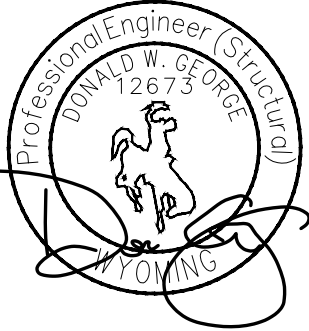
GENERAL DYNAMICS
Information Technology



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| B | 11/06/18 | EQUIPMENT TO 3rd FLOOR | | GGD |
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SITE INFORMATION:

TOWN OF JACKSON
PARKING GARAGE
IDL04511 RELO

NEW SITE BUILD

160 S MILLWARD STREET
JACKSON, WY 83001

SHEET TITLE:

GENERAL NOTES

SHEET NUMBER:

GN-3

ELECTRICAL NOTES (CONT.):

B. CONDUCTORS AND CABLE:

1. ALL POWER WIRING SHALL BE COLOR CODED AS FOLLOWS:

| DESCRIPTION | 208/240/120 VOLT SYSTEMS |
|-------------|--------------------------|
| PHASE A | BLACK |
| PHASE B | RED |
| PHASE C | BLUE |
| NEUTRAL | WHITE |
| GROUNDING | GREEN |

2. SPLICES SHALL BE MADE ONLY AT OUTLETS, JUNCTION BOXES, OR ACCESSIBLE RACEWAY CONDULETS APPROVED FOR THIS PURPOSE.
3. PULLING LUBRICANTS SHALL BE UL APPROVED, SHALL USE NYLON OR HEMP ROPE FOR PULLING CONDUCTOR OR CABLES INTO THE CONDUIT.
4. CABLES SHALL BE NEATLY TRAINED, WITHOUT INTERLACING, AND BE OF SUFFICIENT LENGTH IN ALL BOXES & EQUIPMENT TO PERMIT MAKING A NEAT ARRANGEMENT. CABLES SHALL BE SECURED IN A MANNER TO AVOID TENSION ON CONDUCTORS OF TERMINALS. CONDUCTORS SHALL BE PROTECTED FROM MECHANICAL INJURY AND MOISTURE. SHARP BENDS OVER CONDUIT BUSHINGS ARE PROHIBITED. DAMAGED CABLES SHALL BE REMOVED AND REPLACED AT THE SUBCONTRACTORS EXPENSE.

C. DISCONNECT SWITCHES:

1. INSTALL DISCONNECT SWITCHES LEVEL AND PLUMB. CONNECT TO WIRING SYSTEM AND GROUNDING SYSTEM AS INDICATED.

D. GROUNDING:

1. ALL METALLIC PARTS OF ELECTRICAL EQUIPMENT WHICH DO NOT CARRY CURRENT SHALL BE GROUNDED IN ACCORDANCE WITH THE REQUIREMENTS OF THE BUILDING MANUFACTURER, AT&T MOBILITY GROUNDING STANDARD ND-0071, ND-00135, AND THE NATIONAL ELECTRICAL CODE.
2. PROVIDE ELECTRIC GROUNDING AND BONDING SYSTEM INDICATED WITH ASSEMBLY OF MATERIALS, INCLUDING GROUNDING ELECTRODES, BONDING JUMPERS AND ADDITIONAL ACCESSORIES AS REQUIRED FOR A COMPLETE INSTALLATION.
3. ALL GROUNDING CONDUCTORS SHALL PROVIDE A STRAIGHT DOWNWARD PATH TO GROUND WITH GRADUAL BEND AS REQUIRED. GROUNDING CONDUCTORS SHALL NOT BE LOOPED OR SHARPLY BENT. ROUTE GROUNDING CONNECTIONS AND CONDUCTORS TO GROUND IN THE SHORTEST AND STRAIGHTEST PATHS POSSIBLE TO MINIMIZE TRANSIENT VOLTAGE RISES.
4. BUILDINGS AND/OR NEW TOWERS GREATER THAN 75 FEET IN HEIGHT AND WHERE THE MAIN GROUNDING CONDUCTORS ARE REQUIRED TO BE ROUTED TO GRADE. THE SUBCONTRACTOR SHALL ROUTE TWO GROUNDING CONDUCTORS FROM THE ROOFTOP, TOWERS, AND WATER TOWERS GROUNDING RING, TO THE EXISTING GROUNDING SYSTEM. THE GROUNDING CONDUCTORS SHALL NOT BE SMALLER THAN 2/0 AWG COPPER. ROOFTOP GROUNDING RING SHALL BE BONDED TO THE EXISTING GROUNDING SYSTEM. THE BUILDING STEEL COLUMNS LIGHTNING PROTECTION SYSTEM, AND BUILDING MAIN WATERLINE (FERROUS OR NONFERROUS METAL PIPING ONLY.)
5. TIGHTEN GROUNDING AND BONDING CONNECTORS. INCLUDING SCREWS, BOLTS, IN ACCORDANCE WITH MANUFACTURER'S PUBLISHED TORQUE TIGHTENING VALUES FOR CONNECTORS AND BOLTS, WHERE MANUFACTURER'S TORQUING REQUIREMENTS ARE NOT AVAILABLE, TIGHTEN CONNECTIONS TO COMPLY WITH TIGHTENING TORQUE VALUES SPECIFIED IN UL TO ASSURE PERMANENT AND EFFECTIVE GROUNDING.
6. SUBCONTRACTOR SHALL VERIFY THE LOCATIONS OF GROUNDING TIE-IN-POINTS TO THE EXISTING GROUNDING SYSTEM. ALL UNDERGROUND GROUNDING CONNECTIONS SHALL BE MADE BY THE EXOTHERMIC WELD PROCESS AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
7. ALL GROUNDING CONNECTIONS SHALL BE INSPECTED FOR TIGHTNESS, EXOTHERMIC WELDED CONNECTIONS SHALL BE APPROVED BY THE INSPECTOR HAVING JURISDICTION BEFORE BEING PERMANENTLY CONCEALED.
8. APPLY CORROSION-RESISTANCE FINISH TO FIELD CONNECTIONS AND PLACES WHERE FACTORY APPLIED PROTECTIVE COATINGS HAVE BEEN DESTROYED. USED KOPR-SHIELD ANIT-OXIDATION COMPOUND O ALL COMPRESSION GROUNDING CONNECTIONS.
9. A SEPARATE, CONTINUOUS, INSULATED EQUIPMENT GROUNDING CONDUCTOR SHALL BE INSTALLED IN ALL FEEDER AND BRANCH CIRCUITS.
10. BOND ALL INSULATED GROUNDING BUSHING WITH A BARE 6 AWG GROUNDING CONDUCTOR TO A GROUND BAR.
11. DIRECT BURIED GROUNDING CONDUCTORS SHALL BE INSTALLED AT A NOMINAL DEPTH OF 36" MINIMUM BELOW GRADE, OR 6" BELOW THE FROST LINE, USE GREATER OF THE TWO DISTANCES.
12. ALL GROUNDING CONDUCTORS EMBEDDED IN OR PENETRATING CONCRETE SHALL BE INSTALLED IN SCHEDULE 40 PVC CONDUIT.
13. THE INSTALLATION OF CHEMICAL ELECTROLYTIC GROUNDING SYSTEM IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. REMOVE SEALING TAPE FROM LEACHING AND BREATHER HOLES. INSTALL PROTECTIVE BOX FLUSH WITH GRADE.
14. DRIVE GROUND RODS UNTIL TOPS ARE A MINIMUM DISTANCE OF 36" DEPTH OR 6" BELOW FROST LINE, USING THE GREATER OF THE TWO DISTANCES.

15. IF COAX ON THE ICE BRIDGE IS MORE THAN 6 FT. FROM THE GROUNDING BAR AT THE BASE OF THE TOWER, A SECOND GROUNDING BAR WILL BE NEEDED AT THE END OF THE ICE BRIDGE, TO GROUND THE COAX CABLE GROUNDING KITS AND IN-LIN ARRESTERS.
16. SUB CONTRACTORS SHALL REPAIR, AND/OR REPLACE EXISTING GROUNDING SYSTEM COMPONENTS DAMAGED DURING CONSTRUCTION AT THE SUBCONTRACTORS EXPENSE.

3.5 ACCEPTANCE TESTING:

- A. CERTIFIED PERSONNEL USING CERTIFIED EQUIPMENT SHALL PERFORM REQUIRED TESTS AND SUBMIT WRITTEN TEST REPORTS UPON COMPLETION.
- B. WHEN MATERIAL AND/OR WORKMANSHIP IS FOUND NOT TO COMPLY WITH THE SPECIFIED REQUIREMENTS, THE NON COMPLYING ITEMS SHALL BE REMOVED FROM THE PROJECT SITE AND REPLACED WITH ITEMS COMPLYING WITH THE SPECIFIED REQUIREMENTS PROMPTLY AFTER RECEIPT OF NOTICE FOR NON-COMPLIANCE.
- C. TEST PROCEDURES:
1. ALL FEEDERS SHALL HAVE INSULATION TESTED AFTER INSTALLATION, BEFORE CONNECTION TO DEVICES. THE CONDUCTORS SHALL TEST FREE FROM SHORT CIRCUITS AND GROUNDS. TESTING SHALL BE FOR ONE MINUTE USING 1000V DC. PROVIDE WRITTEN DOCUMENTATION FOR ALL TEST LISTED TO SUBCONTRACTOR.
2. PRIOR TO ENERGIZING CIRCUITRY, TEST WIRING DEVICES FOR ELECTRICAL CONTINUITY AND PROPER POLARITY CONNECTIONS.
3. MEASURE AND RECORD VOLTAGES BETWEEN PHASES AND BETWEEN PHASE CONDUCTORS AND NEUTRALS. SUBMIT A REPORT OF MAXIMUM AND MINIMUM VOLTAGES.
4. PERFORM GROUNDING TEST TO MEASURE GROUNDING RESISTANCE OF GROUNDING SYSTEM USING THE IEEE STANDARD 3-POINT :FALL-OF-POTENTIAL" METHOD. PROVIDE PLOTTED TEST VALUES AND LOCATION SKETCH. NOTIFY THE ENGINEER IMMEDIATELY IF MEASURE VALUE IS OVER 5 OHMS.



GENERAL DYNAMICS
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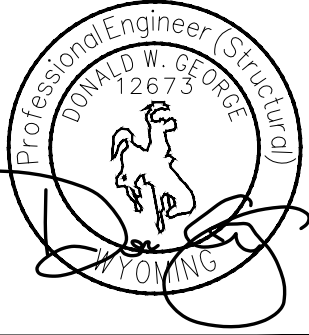
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| REVISIONS | | | | |
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TOWN OF JACKSON
PARKING GARAGE
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NEW SITE BUILD

160 S MILLWARD STREET
JACKSON, WY 83001

SHEET TITLE:

GENERAL NOTES

SHEET NUMBER:

GN-4

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| <div>GENERAL NOTES:</div> <div><div><div>1. THIS FACILITY IS EXEMPT FROM HANDICAP REQUIREMENTS PER 2010 CBC SECTION 1105B.3.4 EXCEPTION #1. THIS FACILITY IS NON-OCCUPIABLE SPACE AND ENTERED ONLY BY SERVICE PERSONNEL. THIS SPACE IS NOT FOR HUMAN OCCUPANCY.</div><div>2. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO SUBMITTING HIS BID. ANY DISCREPANCIES, CONFLICTS OR OMISSIONS SHALL BE REPORTED TO THE ENGINEER PRIOR TO SUBMITTING BIDS, AND PROCEEDING WITH ANY WORK.</div><div>3. THE CONTRACTOR SHALL NOTIFY ENGINEER OF ANY ERRORS, OMISSIONS, OR DISCREPANCIES AS THEY MAY BE DISCOVERED IN THE PLANS, SPECIFICATIONS, & NOTES PRIOR TO STARTING CONSTRUCTION. INCLUDING BUT NOT LIMITED BY DEMOLITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY ERRORS, OMISSION, OR INCONSISTENCY AFTER THE START OF CONSTRUCTION WHICH HAS NOT BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER AND SHALL INCUR ANY EXPENSES TO RECTIFY THE SITUATION. THE METHOD OF CORRECTION SHALL BE APPROVED BY THE ARCHITECT OR THE ENGINEER RESPONSIBLE OF THE PROJECT.</div><div>4. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR HAS THE RESPONSIBILITY TO LOCATE ALL EXISTING UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR OR SUBCONTRACTOR SHALL BEAR THE EXPENSE OF REPAIRING OR REPLACING ANY DAMAGE TO THE UTILITIES CAUSED DURING THE EXECUTION OF THE WORK. CONTACT USA DIG ALERT @ 800-227-2600.</div><div>5. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL PROTECT ALL AREAS FROM DAMAGE WHICH MAY OCCUR DURING CONSTRUCTION. ANY DAMAGE TO NEW OR EXISTING SURFACES, STRUCTURES OR EQUIPMENT SHALL BE IMMEDIATELY REPAIRED OR REPLACED TO THE SATISFACTION OF THE PROPERTY OWNER. THE CONTRACTOR SHALL BEAR THE EXPENSE OF REPAIRING OR REPLACING ANY DAMAGED AREAS.</div><div>6. A COPY OF THE APPROVED PLANS SHALL BE KEPT IN PLACE SPECIFIED BY THE GOVERNING AGENCY, AND BY LAW SHALL BE AVAILABLE FOR INSPECTION AT ALL TIMES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL CONSTRUCTION SETS REFLECT THE SAME INFORMATION AS THE APPROVED PLANS. THE CONTRACTOR SHALL ALSO MAINTAIN ONE SET OF PLANS AT THE SITE FOR THE PURPOSE OF DOCUMENTING ALL AS-BUILT CHANGES, REVISIONS, ADDENDA, OR CHANGE ORDERS. THE CONTRACTOR SHALL FORWARD THE AS-BUILT/HIRED DRAWINGS TO THE ARCHITECT OR THE ENGINEER RESPONSIBLE OF THE PROJECT AT THE CONCLUSION OF THE PROJECT.</div><div>7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE SITE WHILE THE WORK IS IN PROGRESS UNTIL THE JOB IS COMPLETE.</div><div>8. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE TEMPORARY POWER, WATER, AND TOILET FACILITIES AS REQUIRED BY THE PROPERTY OWNER OR GOVERNING AGENCY.</div><div>9. ALL CONSTRUCTION THROUGH THE PROJECT SHALL CONFORM TO THE LATEST C.B.C, AND ALL OTHER GOVERNING CODES, INCLUDING THE CALIFORNIA ADMINISTRATIVE CODES TITLE 8, 19, AND 24. THE MOST RESTRICTIVE CODE SHALL GOVERN.</div><div>10. THE CONTRACTOR AND SUB CONTRACTOR SHALL COMPLY WITH ALL LOCAL AND STATE REGULATIONS INCLUDING ALL OSHA REQUIREMENTS.</div><div>11. WHEN REQUIRED STORAGE OF MATERIALS OCCURS, THEY SHALL BE EVENLY DISTRIBUTED OVER THE FLOOR OR ROOF SO AS NOT TO EXCEED THE DESIGNED LIVE LOADS FOR THE STRUCTURE. TEMPORARY SHORTING OR BRACING SHALL BE PROVIDED WHERE THE STRUCTURE OR SOIL HAS NOT ATTAINED THE DESIGN STRENGTH FOR THE CONDITIONS PRESENT.</div><div>12. THE CONTRACTOR SHALL SUPERVISE AND COORDINATE ALL WORK, USING HIS PROFESSIONAL KNOWLEDGE AND SKILLS, HE IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, PROCEDURES, AND SEQUENCING AND COORDINATING ALL PORTIONS OF THE WORK UNDER THE PROJECT.</div><div>13. THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN AND PAY FOR ALL PERMITS, LICENSES AND INSPECTIONS WITH RESPECT TO THE WORK TO COMPLETE THE PROJECT, BUILDING PERMIT APPLICATIONS SHALL BE FILED BY THE OWNER OR AUTHORIZED AGENT. CONTRACTOR SHALL OBTAIN THE PERMIT AND MAKE FINAL PAYMENT OF SAID DOCUMENT.</div><div>14. ALL DIMENSIONS TAKE PRECEDENCE OVER SCALE. DRAWINGS ARE NOT TO BE SCALED UNDER ANY CIRCUMSTANCES.</div><div>15. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING, BRACING, FRAMING, HANGERS OR SUPPORTS FOR THE INSTALLATION OF ITEMS INDICATED ON THE DRAWINGS.</div><div>16. THE CONTRACTOR SHALL PROVIDE THE FIRE MARSHAL OR UL APPROVED MATERIALS TO FILL/SEAL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES.</div><div>17. NEW CONSTRUCTION ADDED TO EXISTING CONSTRUCTION SHALL BE MATCHED IN FORM, TEXTURE, MATERIAL, AND PAINT COLOR EXCEPT AS NOTED IN THE PLANS.</div><div>18. THE CONTRACTOR IS TO PROVIDE PORTABLE FIRE EXTINGUISHERS HAVING A MINIMUM 28: 10-B:C RATING WITHIN 75 FT. OF TRAVEL TO ALL PORTIONS OF THE CONSTRUCTION AREA. (2010 CC SECTION 906-1-1 & 7 AND SECTION 906.3.1)</div><div>19. MATERIALS TESTING SHALL BE TO THE LATEST STANDARDS AVAILABLE AS REQUIRED BY THE LOCAL GOVERNING AGENCY RESPONSIBLE FOR APPROVING THE RESULTS.</div><div>20. ALL GENERAL NOTES AND STANDARD DETAILS ARE THE MINIMUM REQUIREMENTS TO BE USED IN CONDITIONS WHICH ARE NOT SPECIFICALLY SHOWN OTHERWISE.</div><div>21. ALL DEBRIS AND REFUSE IS TO BE REMOVED FROM THE PROJECT. PREMISES SHALL BE LEFT N A CLEAN BROOM FINISHED CONDITION AT ALL TIMES.</div><div>22. BUILDING INSPECTORS AND/OR OTHER BUILDING OFFICIALS ARE TO BE NOTIFIED PRIOR TO ANY GRADING AND CONSTRUCTION EFFORT AS MANDATED BY THE GOVERNING AGENCY.</div><div>23. ALL SYMBOLS AND ABBREVIATIONS ARE CONSIDERED CONSTRUCTION INDUSTRY STANDARDS, IF A CONTRACTOR HAS A QUESTION REGARDING THEIR EXACT MEANING THE ARCHITECT OR THE ENGINEER RESPONSIBLE OF THE PROJECT SHALL BE NOTIFIED FOR CLARIFICATIONS.</div></div><div>GENERAL FIRE NOTES:</div><div><div><div>1. BUILDINGS UNDERGOING CONSTRUCTION, ALTERATION OR DEMOLITION SHALL BE IN ACCORDANCE WITH 2010 CFC SECTION 1401 AND ALL GOVERNING CODES.</div><div>2. ADDRESS SHALL BE PROVIDED FOR ALL NEW AND EXISTING BUILDINGS IN A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.(2010 CFC SECTION 505.1)</div><div>3. DECORATIVE MATERIALS SHALL BE MAINTAINED IN A FLAME-RETARDANT CONDITION.(2010 CFC SECTION 807-1.2)</div><div>4. PORTABLE FIRE EXTINGUISHERS: AT LEAST ONE FIRE EXTINGUISHER WITH A MINIMUM RATING OF 2-A-10B:C SHALL BE PROVIDED WITHIN 75 FEET MAXIMUM TRAVEL DISTANCE FOR EACH 6000 SQUARE FEET OR PORTION THEREOF ON EACH FLOOR.(2010 CFC SECTION 906.1.1 & 7 AND SECTION 906.3.1)</div></div></div></div> | 3 | |
| GENERAL NOTES | | 3 |

| | | |
|--------|------------------------------|------------|
| ABBR. | | DEFINITION |
| A.B. | ANCHOR BOLT | |
| ABV. | ABOVE | |
| ACCA | ANTENNA CABLE COVER ASSEMBLY | |
| ADDL | ADDITIONAL | |
| A.F.F. | ABOVE FINISHED FLOOR | |
| A.F.G. | ABOVE FINISHED GRADE | |
| ALUM. | ALUMINUM | |
| ALT. | ALTERNATE | |
| ANT. | ANTENNA | |
| APRX. | APPROXIMATE(LY) | |
| ARCH. | ARCHITECT(URAL) | |
| AWG. | AMERICAN WIRE GAUGE | |
| BLDG. | BUILDING | |
| BLK. | BLOCK | |
| BLKG. | BLICKING | |
| BM. | BEAM | |
| B.N. | BOUNDARY NAILING | |
| BRCW. | BARE TINNED COPPER WIRE | |
| B.O.F. | BOTTOM OF FOOTING | |
| B/U | BACK-UP CABINET | |
| CAB. | CABINET | |
| CANT. | CANTILEVER(ED) | |
| C.I.P. | CAST IN PLACE | |
| CLG. | CEILING | |
| CLR. | CLEAR | |
| COL. | COLUMN | |
| CONC. | CONCRETE | |
| CONN. | CONNECTION(OR) | |
| CONST. | CONSTRUCTION | |
| CONT. | CONTINUOUS | |
| d | PENNY (NAILS) | |
| DBL. | DOUBLE | |
| DEPT. | DEPARTMENT | |
| D.F. | DOUGLAS FIR | |
| DIA. | DIAMETER | |
| DIAG. | DIAGONAL | |
| DIM. | DIMENSION | |
| DWG. | DRAWING(S) | |
| DWL. | DOWEL(S) | |
| EA. | EACH | |
| EL. | ELEVATION | |
| ELEC. | ELECTRICAL | |
| ELEV. | ELEVATOR | |
| EMT. | ELECTRICAL METALLIC TUBING | |
| E.N. | EDGE NAIL | |
| ENG. | ENGINEER | |
| EQ. | EQUAL | |

| | | |
|---------------|----------------------------------|------------|
| ABBR. | | DEFINITION |
| EXP. | EXPANSION | |
| EXST.(E) | EXISTING | |
| EXT. | EXTERIOR | |
| FAB. | FABRICATION(OR) | |
| F.F. | FINISH FLOOR | |
| F.G. | FINISH GRADE | |
| FIN. | FINISH(ED) | |
| FLR. | FLOOR | |
| FDN. | FOUNDATION | |
| F.O.C. | FACE OF CONCRETE | |
| F.O.M. | FACE OF MASONRY | |
| F.O.S. | FACE OF STUD | |
| F.O.W. | FACE OF WALL | |
| F.S. | FINISH SURFACE | |
| FT.(') | FOOT (FEET) | |
| FTG. | FOOTING | |
| G. | GROWTH (CABINET) | |
| GA. | GAUGE | |
| GI. | GALVANIZED | |
| G.F.I. | GROUND FAULT CIRCUIT INTERRUPTER | |
| GLB.(GLU-LAM) | GLUE LAMINATED BEAM | |
| GPS | GLOBAL POSITIONING SYSTEM | |
| GRND. | GROUND | |
| HDR. | HEADER | |
| HGR. | HANGER | |
| HT. | HEIGHT | |
| ICGB. | ISOLATED COPPER GROUND BUS | |
| IN.(") | INCH(ES) | |
| INT. | INTERIOR | |
| LB.(#) | POUND(S) | |
| L.B. | LAG BOLTS | |
| L.F. | LINEAR FEET (FOOT) | |
| L. | LONG(ITUDINAL) | |
| MAS. | MASONRY | |
| MAX. | MAXIMUM | |
| M.B. | MACHINE BOLT | |
| MECH. | MECHANICAL | |
| MFR. | MANUFACTURER | |
| MIN. | MINIMUM | |
| MISC. | MISCELLANEOUS | |
| MTL. | METAL | |
| (N) | NEW | |
| NO.(#) | NUMBER | |
| N.T.S. | NOT TO SCALE | |
| O.C. | ON CENTER | |

| | | |
|---------|--------------------------|------------|
| ABBR. | | DEFINITION |
| OPNG. | OPENING | |
| P/C. | PRECAST CONCRETE | |
| PCS | PERSONAL COMM SERVICES | |
| PLY. | PLYWOOD | |
| PPC | POWER PROTECTION CABINET | |
| PRC | PRIMARY RADIO CABINET | |
| P.S.F. | POUNDS PER SQUARE FOOT | |
| P.S.I. | POUNDS PER SQUARE INCH | |
| P.T. | PRESSURE TREATED | |
| PWR. | POWER (CABINET) | |
| QTY. | QUANTITY | |
| RAD.(R) | RADIUS | |
| REF. | REFERENCE | |
| REINF. | REINFORCEMENT(ING) | |
| REQD. | REQUIRED | |
| RGS. | RIGID GALVANIZED STELL | |
| RRH. | REMOTE RADIO HEAD | |
| SCH. | SCHEDULE | |
| SHT. | SHEET | |
| SIM. | SIMILAR | |
| SPEC. | SPECIFICATION(S) | |
| SQ. | SQUARE | |
| S.S. | STAINLESS STEEL | |
| STD. | STANDARD | |
| STL. | STEEL | |
| STRUC. | STRUCTURAL | |
| TEMP. | TEMPORARY | |
| THK. | THICK(NESS) | |
| TMA | TOWER MOUNTED AMPLIFIER | |
| T.N. | TOE NAIL | |
| T.O.A. | TOP OF ANTENNA | |
| T.O.C. | TOP OF CURB | |
| T.O.F. | TOP OF FOUNDATION | |
| T.O.P. | TOP OF PLATE (PARAPET) | |
| T.O.S. | TOP OF STEEL | |
| T.O.W. | TOP OF WALL | |
| TYP. | TYPICAL | |
| U.G. | UNDERGROUND | |
| U.L. | UNDERWRITERS LABORATORY | |
| U.N.O. | UNLESS NOTED OTHERWISE | |
| V.I.F. | VERIFY IN FIELD | |
| W | WIDE (WIDTH) | |
| W/ | WITH | |
| W.P. | WEATHERPROOF | |
| WT. | WEIGHT | |
| ℄ | CENTERLINE | |
| ℄ | PLATE | |

 2 | || ABBREVIATIONS | | 2 |

| | | |
|------------------------|--|-----------------------------|
| NEW ANTENNA | | CENTERLINE |
| EXISTING ANTENNA | | PROPERTY/LEASE LINE |
| GROUND ROD | | MATCH LINE |
| GROUND BUS BAR | | WORK POINT |
| MECHANICAL GRND. CONN. | | GROUND CONDUCTOR |
| CAD WELD | | TELEPHONE CONDUIT |
| GROUND ACCESS WELL | | ELECTRICAL CONDUIT (POWER) |
| ELECTRIC BOX | | COAXIAL CABLE |
| TELEPHONE BOX | | OVERHEAD SERVICE CONDUCTORS |
| LIGHT POLE | | CHAIN LINK FENCING |
| FND. MONUMENT | | GRID REFERENCE |
| SPOT ELEVATION | | DETAIL REFERENCE |
| SET POINT | | ELEVATION REFERENCE |
| REVISION | | SECTION REFERENCE |

| | |
|------------------|--|
| GROUT OR PLASTER | |
| (E) BRICK | |
| (E) WOOD FRAME | |
| CONCRETE | |
| EARTH | |
| GRAVEL | |
| PLYWOOD | |
| SAND | |
| WOOD CONT. | |
| WOOD BLOCKING | |
| STEEL | |

 1 | || LEGEND | | 1 |


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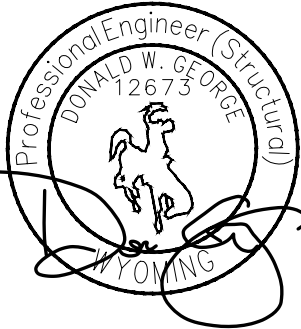
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SITE INFORMATION:

TOWN OF JACKSON
PARKING GARAGE
IDL04511 RELO

NEW SITE BUILD

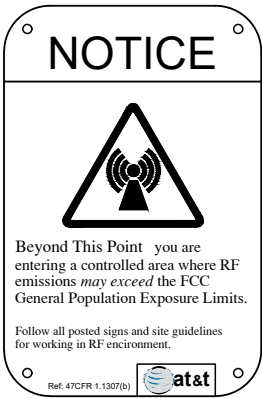
160 S MILLWARD STREET
JACKSON, WY 83001

SHEET TITLE:

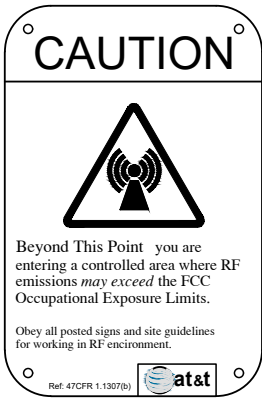
GENERAL NOTES

SHEET NUMBER:

GN-5



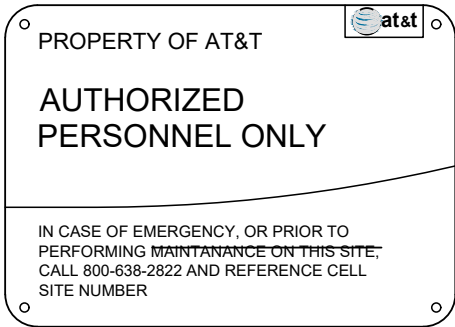
ALERTING SIGNS



ALERTING SIGNS



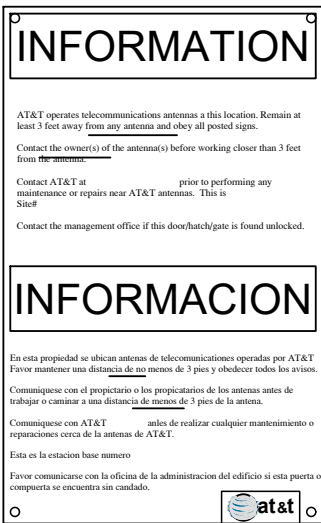
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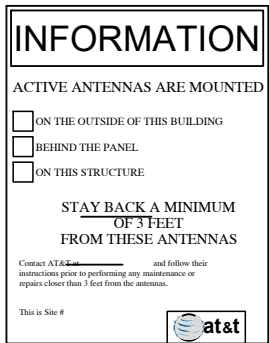
INFO SIGN #5



INFO SIGN #3



INFO SIGN #1



INFO SIGN #2

STAY BACK 3 FEET FROM ANTENNA

| GENERAL SIGNAGE GUIDELINES | | | | | | | | |
|--|--|---|-------------------------|-------------------------|---|----------|---|---|
| STRUCTURE TYPE | INFO SIGN #1 | INFO SIGN #2 | INFO SIGN #3 | INFO SIGN #4 | INFO SIGN #5 | STRIPING | NOTICE SIGN | CAUTION SIGN |
| TOWERS | | | | | | | | |
| MONOPOLE/MONOPINE/MONOPALM | ENTRANCE GATE SHELTER DOORS OR ON THE OUTDOOR CABINETS | CLIMBING SIDE OF THE TOWER | ON BACKSIDE OF ANTENNAS | ON BACKSIDE OF ANTENNAS | ON THE SHELTER DOOR OR ON ONE OUTDOOR EQUIPMENT CABINET | | | AT THE HEIGHT OF THE FIRST CLIMBING STEP, MIN. 9FT ABOVE GROUND |
| SCE TOWERS/TOWERS WITH HIGH VOLTAGE | ENTRANCE GATE SHELTER DOORS OR ON THE OUTDOOR CABINETS | CLIMBING SIDE OF THE TOWER | ON BACKSIDE OF ANTENNAS | ON BACKSIDE OF ANTENNAS | ON THE SHELTER DOOR OR ON ONE OUTDOOR EQUIPMENT CABINET | | | AT THE HEIGHT OF THE FIRST CLIMBING STEP, MIN. 9FT ABOVE GROUND |
| LIGHT POLES/FLAG POLES | ENTRANCE GATE SHELTER DOORS OR ON THE OUTDOOR CABINETS | ON THE POLE, NO LESS THAN 3FT BELOW THE ANTENNA | ON BACKSIDE OF ANTENNAS | ON BACKSIDE OF ANTENNAS | ON THE SHELTER DOOR OR ON ONE OUTDOOR EQUIPMENT CABINET | | | |
| UTILITY WOOD POLES (JPA) | ENTRANCE GATE SHELTER DOORS OR ON THE OUTDOOR CABINETS | ON THE POLE, NO LESS THAN 3FT BELOW THE ANTENNA | ON BACKSIDE OF ANTENNAS | ON BACKSIDE OF ANTENNAS | ON THE SHELTER DOOR OR ON ONE OUTDOOR EQUIPMENT CABINET | | IF GP MAX VALUE OF MPE AT ANTENNA LEVEL IS: 0-99%: NOTICE SIGN; OVER 99%: CAUTION SIGN AT NO LESS THAN 3FT BELOW ANTENNA AND 9FT ABOVE GROUND | |
| MICROCELLS MOUNTED ON NON-JPA POLES | ENTRANCE GATE SHELTER DOORS OR ON THE OUTDOOR CABINETS | ON THE POLE, NO LESS THAN 3FT BELOW THE ANTENNA | ON BACKSIDE OF ANTENNAS | ON BACKSIDE OF ANTENNAS | ON THE SHELTER DOOR OR ON ONE OUTDOOR EQUIPMENT CABINET | | NOTICE OR CAUTION SIGN AT NO LESS THAN 9FT ABOVE GROUND: ONLY IF THE EXPOSURE EXCEEDS 90% OF THE GENERAL PUBLIC EXPOSURE AT 6FT ABOVE GROUND | |
| ROOF TOPS | | | | | | | | |
| AT ALL ACCESS POINTS TO THE ROOF | X | | | | | | | |
| ON ANTENNAS | X | | X | X | | | | |
| CONCEALED ANTENNAS | X | X | | | | | | |
| ANTENNA MOUNTED FACING OUTSIDE BUILDING | X | X | | | | | | |
| ANTENNAS ON SUPPORT STRUCTURE | X | X | | | | | | |
| ROOFTOP GRAPH: | | | | | | | | |
| RADIATION AREA IS WITHIN 3FT FROM ANTENNA | X | ADJACENT TO EACH ANTENNA | | | | | DIAGONAL YELLOW STRIPING AS TO ROOF VIEW GRAPH | EITHER NOTICE OR CAUTION SIGN (BASED ON ROOFVIEW RESULTS) AT ANTENNAS/BARRIER |
| RADIATION IS BEYOND 3FT FROM ANTENNA | X | ADJACENT TO EACH ANTENNA | | | | | | |
| CHURCH STEEPLES | ACESS TO STEEPLE | ADJACENT TO EACH ANTENNAS IF ANTENNAS ARE CONCEALED | ON BACKSIDE OF ANTENNAS | ON BACKSIDE OF ANTENNAS | ON THE SHELTER DOOR OR ON ONE OUTDOOR EQUIPMENT CABINET | | | CAUTION SIGN AT THE ANTENNAS |
| WATER STATIONS | ACESS TO STEEPLE | ADJACENT TO EACH ANTENNAS IF ANTENNAS ARE CONCEALED | ON BACKSIDE OF ANTENNAS | ON BACKSIDE OF ANTENNAS | ON THE SHELTER DOOR OR ON ONE OUTDOOR EQUIPMENT CABINET | | | CAUTION SIGN AT THE ANTENNAS |
| NOTES FOR ROOFTOP SITES: 1. EITHER NOTICE OR CAUTION SIGNS NEED TO BE POSTED AT EACH SECTOR AS CLOSE AS POSSIBLE TO: THE OUTER EDGE OF THE STRIPED OFF AREA OR THE OUTER ANTENNAS OF THE SECTOR. 2. IF ROOF VIEW SHOWS: ONLY BLUE = NOTICE SIGN, BLUE AND YELLOW = CAUTION SIGN, ONLY YELLOW = CAUTION SIGN TO BE INSTALLED. 3. SHOULD THE REQUIRED STRIPING AREA INTERFERE WITH ANY STRUCTURES OR EQUIPMENT (A/C VENTS, ROOF HATCH, DOORS, OTHER ANTENNAS, DISHES, ETC.) 4. PLEASE NOTIFY AT&T TO MODIFY THE STRIPING AREA, PRIOR TO STARTING THE WORK. | | | | | | | | |



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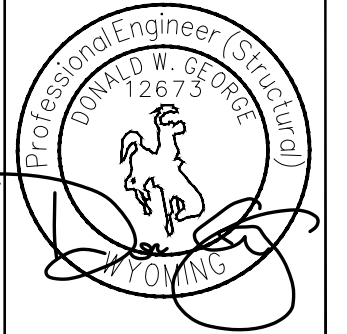
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TOWN OF JACKSON
PARKING GARAGE
IDL04511 RELO
NEW SITE BUILD

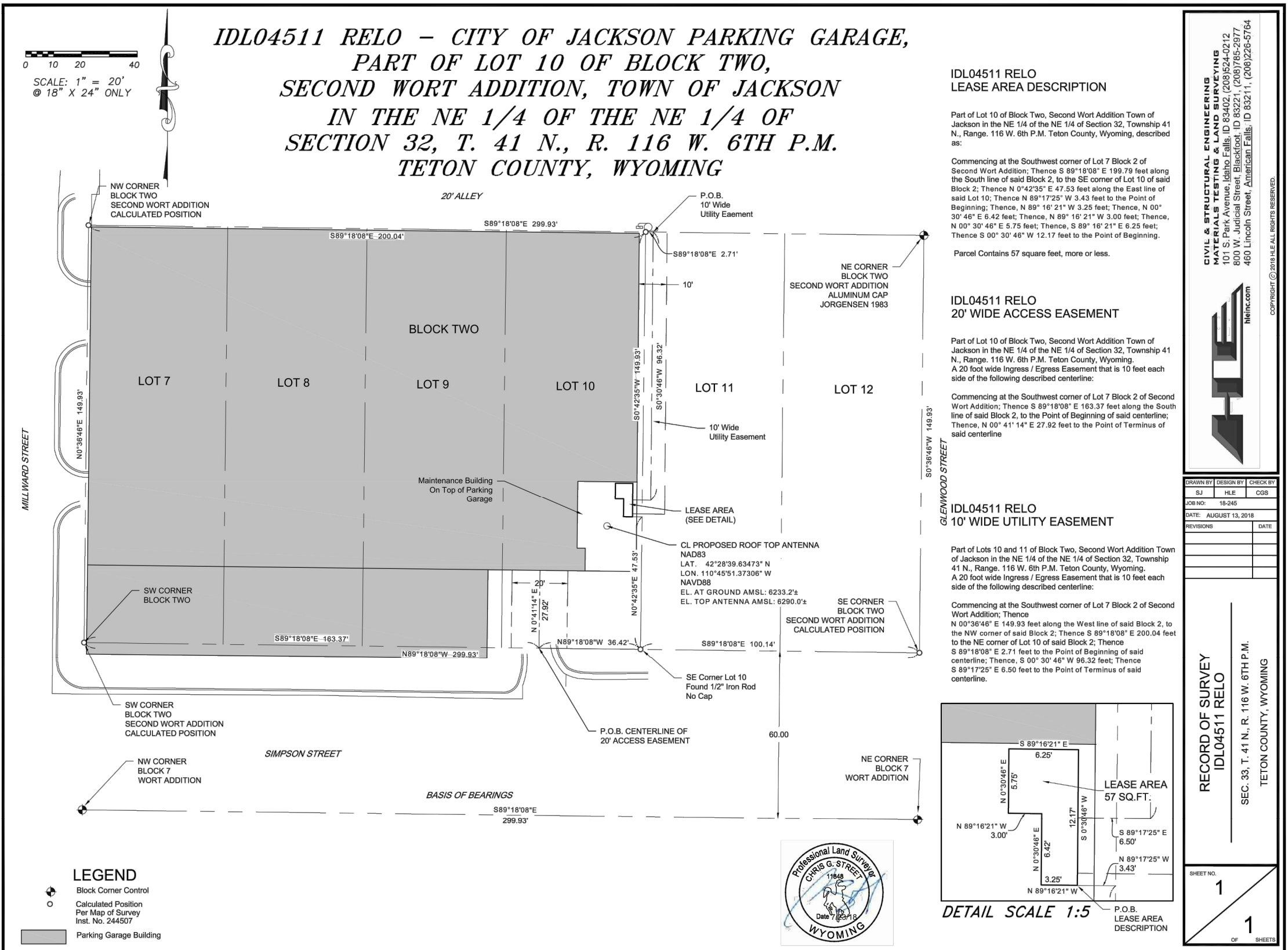
160 S MILLWARD STREET
JACKSON, WY 83001

SHEET TITLE:

GENERAL NOTES

SHEET NUMBER:

GN-6



IDL04511 RELO
LEASE AREA DESCRIPTION

Part of Lot 10 of Block Two, Second Wort Addition Town of Jackson in the NE 1/4 of the NE 1/4 of Section 32, Township 41 N., Range. 116 W. 6th P.M. Teton County, Wyoming, described as:

Commencing at the Southwest corner of Lot 7 Block 2 of Second Wort Addition; Thence S 89°18'08" E 199.79 feet along the South line of said Block 2, to the SE corner of Lot 10 of said Block 2; Thence N 0°42'35" E 47.53 feet along the East line of said Lot 10; Thence N 89°17'25" W 3.43 feet to the Point of Beginning; Thence, N 89° 16' 21" W 3.25 feet; Thence, N 00° 30' 46" E 6.42 feet; Thence, N 89° 16' 21" W 3.00 feet; Thence, N 00° 30' 46" E 5.75 feet; Thence, S 89° 16' 21" E 6.25 feet; Thence S 00° 30' 46" W 12.17 feet to the Point of Beginning.

Parcel Contains 57 square feet, more or less.

IDL04511 RELO
20' WIDE ACCESS EASEMENT

Part of Lot 10 of Block Two, Second Wort Addition Town of Jackson in the NE 1/4 of the NE 1/4 of Section 32, Township 41 N., Range. 116 W. 6th P.M. Teton County, Wyoming.

A 20 foot wide Ingress / Egress Easement that is 10 feet each side of the following described centerline:

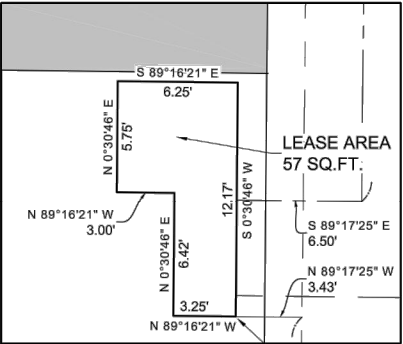
Commencing at the Southwest corner of Lot 7 Block 2 of Second Wort Addition; Thence S 89°18'08" E 163.37 feet along the South line of said Block 2, to the Point of Beginning of said centerline; Thence, N 00° 41' 14" E 27.92 feet to the Point of Terminus of said centerline

IDL04511 RELO
10' WIDE UTILITY EASEMENT

Part of Lots 10 and 11 of Block Two, Second Wort Addition Town of Jackson in the NE 1/4 of the NE 1/4 of Section 32, Township 41 N., Range. 116 W. 6th P.M. Teton County, Wyoming.

A 20 foot wide Ingress / Egress Easement that is 10 feet each side of the following described centerline:

Commencing at the Southwest corner of Lot 7 Block 2 of Second Wort Addition; Thence N 00°36'46" E 149.93 feet along the West line of said Block 2, to the NW corner of said Block 2; Thence S 89°18'08" E 200.04 feet to the NE corner of Lot 10 of said Block 2; Thence S 89°18'08" E 2.71 feet to the Point of Beginning of said centerline; Thence, S 00° 30' 46" W 96.32 feet; Thence S 89°17'25" E 6.50 feet to the Point of Terminus of said centerline.



DETAIL SCALE 1:5

CIVIL & STRUCTURAL ENGINEERING
MATERIALS TESTING & LAND SURVEYING
101 S. Park Avenue, Idaho Falls, ID 83402, (208)524-0212
800 W. Judicial Street, Blackfoot, ID 83221, (208)785-2977
460 Lincoln Street, American Falls, ID 83211, (208)226-5764

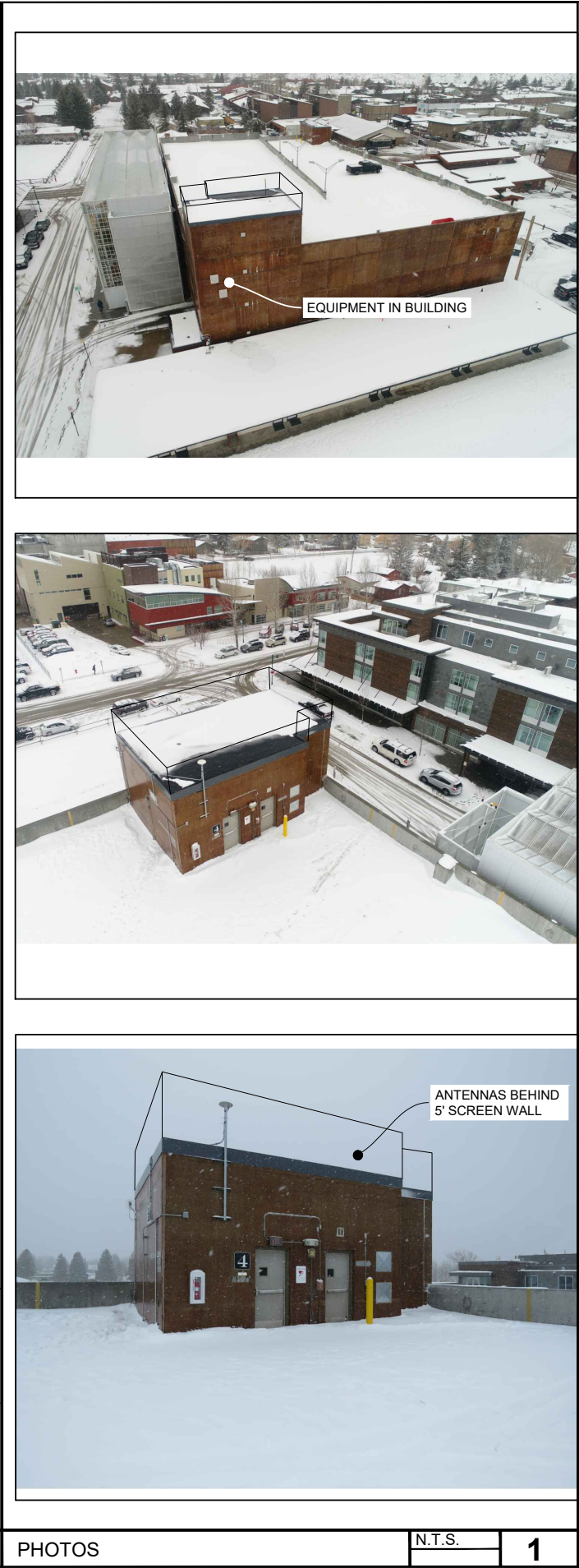
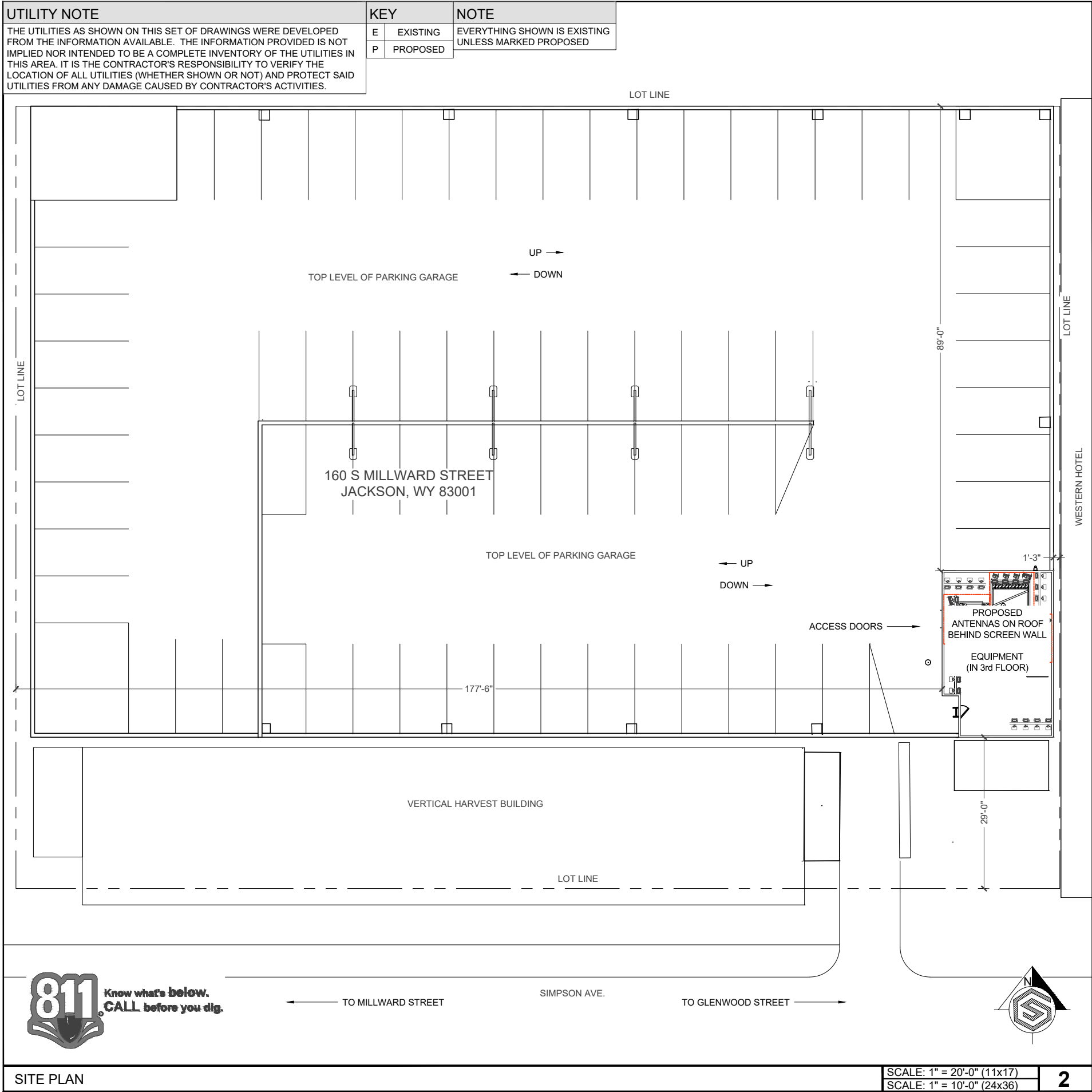


| DRAWN BY | DESIGN BY | CHECK BY |
|-----------------------|-----------|----------|
| SJ | HLE | CGS |
| JOB NO: 18-245 | | |
| DATE: AUGUST 13, 2018 | | |
| REVISIONS | | DATE |
| | | |
| | | |
| | | |

RECORD OF SURVEY
IDL04511 RELO

SEC. 33, T. 41 N., R. 116 W. 6TH P.M.
TETON COUNTY, WYOMING

| | |
|-----------|---|
| SHEET NO. | 1 |
| OF SHEETS | 1 |



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Professional Engineer (Structural)

DONALD W. GEORGE

12673

WYOMING

SITE INFORMATION:

TOWN OF JACKSON
PARKING GARAGE
IDL04511 RELO

NEW SITE BUILD

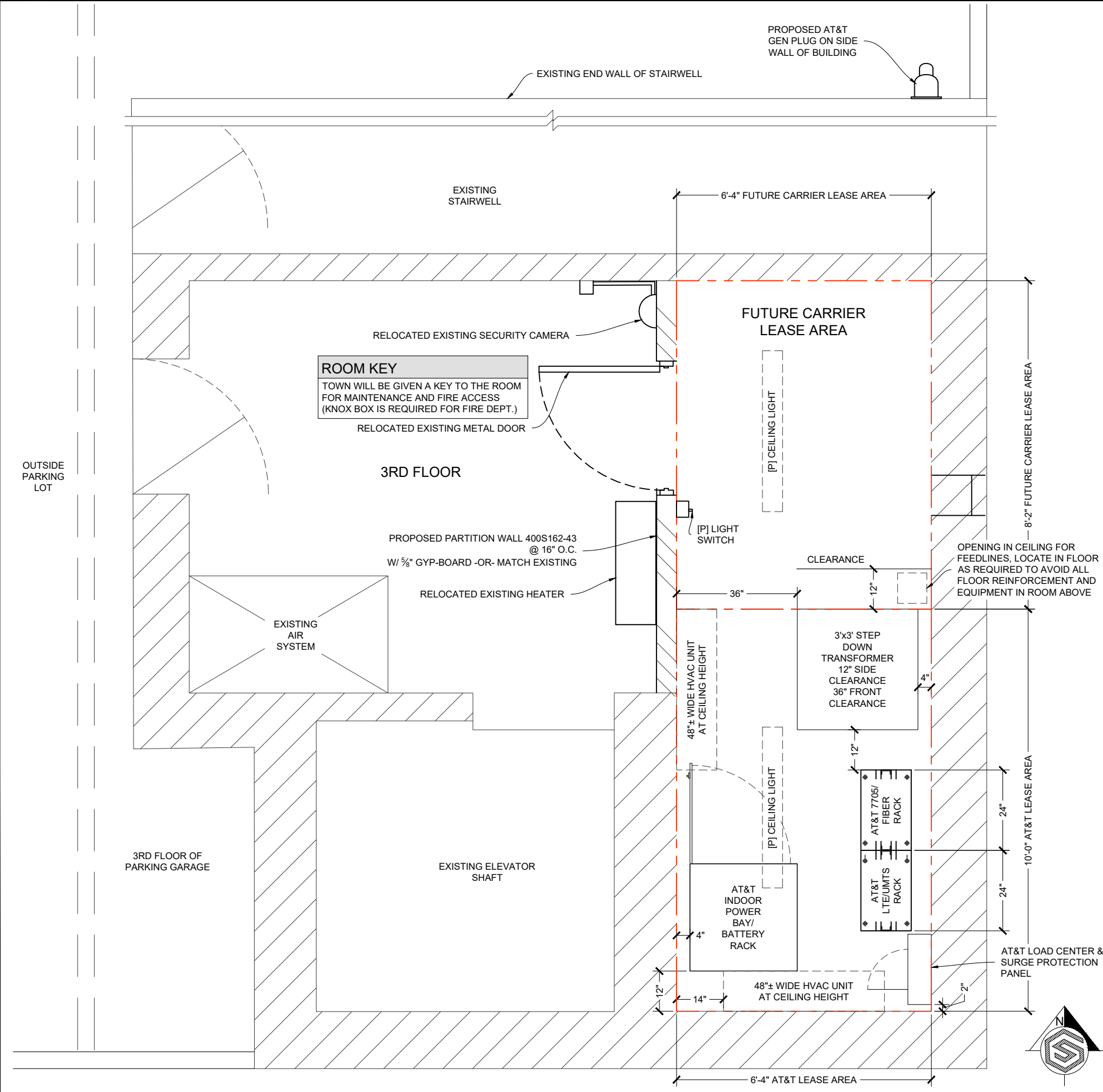
160 S MILLWARD STREET
JACKSON, WY 83001

SHEET TITLE:

SITE PLAN

SHEET NUMBER:

A-1



NOTE: PROPOSED WALL / FLOOR / CEILING TO MATCH EXISTING ROOM MATERIALS AND FINISHES

PROPOSED WALL

REMOVE CEILING IN EQUIPMENT ROOM

KEEP CEILING IN ELEVATOR ROOM

COORDINATE ANY SPRINKLER RELOCATION WITH FIRE DEPARTMENT

RELOCATE CAMERA

RELOCATE DOOR

RELOCATE HEATER

THIRD FLOOR ELEVATOR ROOM

STRUCTURE NOTES

REFER TO BUILDING MAPPING FOR ALL EXISTING BUILDING COMPONENTS AND APPURTENANCES.

CONTRACTOR TO COMPLY WITH ALL FCC AND FAA REGULATIONS ON THIS PROJECT.

PRIOR TO CONSTRUCTION CONTRACTOR SHALL VERIFY THAT A BUILDING STRUCTURAL ANALYSIS AND A MOUNT ANALYSIS HAS BEEN PERFORMED AND SHOWS A "PASS" OR AN "ACCEPTABLE" RATING. UNDER NO CIRCUMSTANCE WHAT SO EVER SHALL THE PROPOSED EQUIPMENT BE INSTALLED WITHOUT SAID STRUCTURAL ANALYSIS. IF SAID STRUCTURAL ANALYSIS REQUIRES THAT THE STRUCTURE AND/OR MOUNT BE MODIFIED, SUCH MODIFICATIONS SHALL BE COMPLETED PRIOR TO INSTALLATION OF THE PROPOSED EQUIPMENT.

PHOTOS

N.T.S.

1



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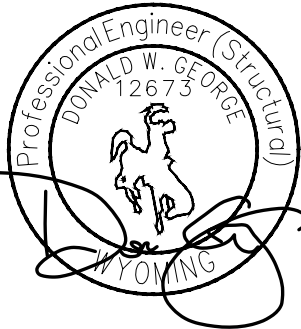
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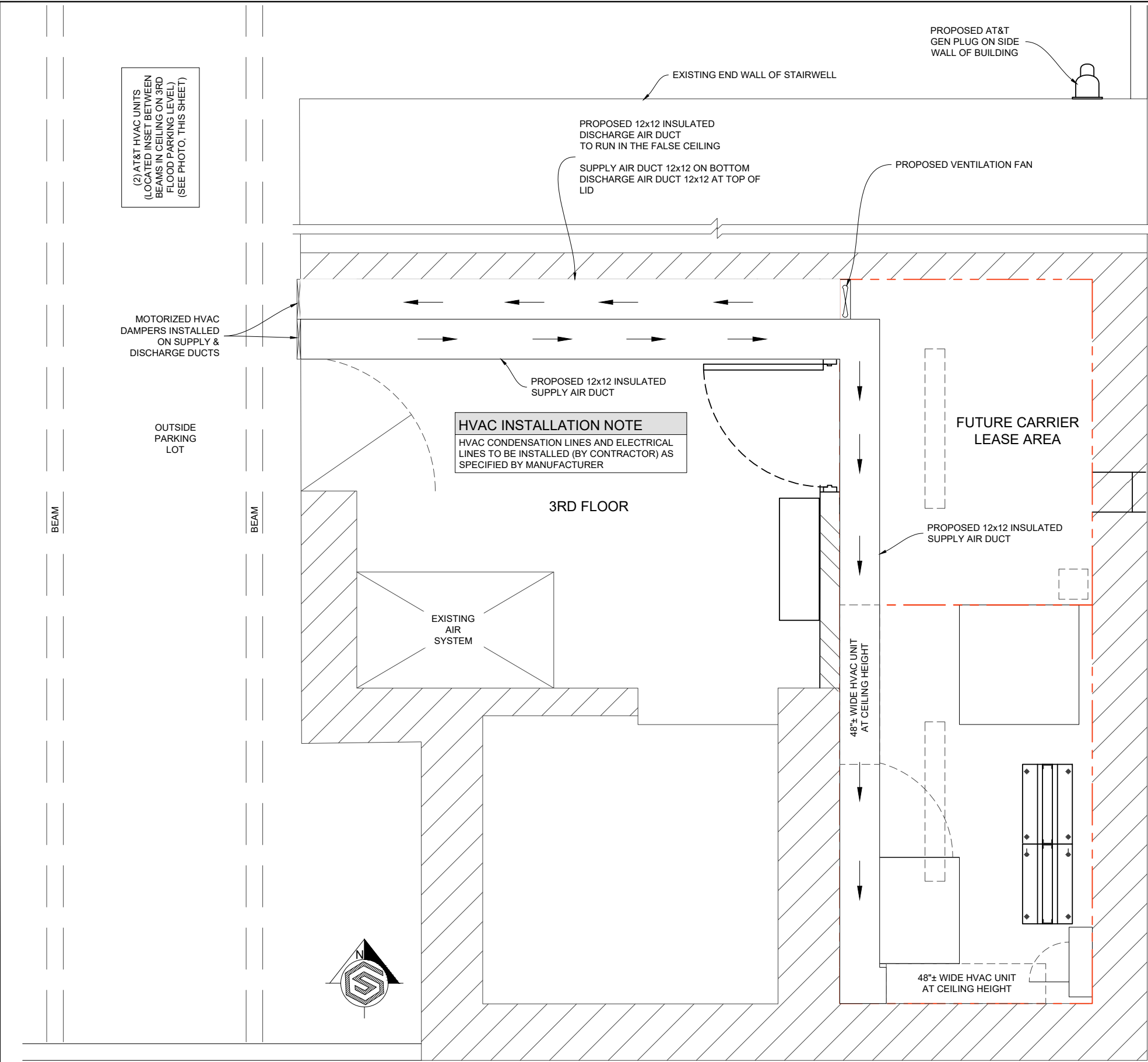
NEW SITE BUILD

160 S MILLWARD STREET
JACKSON, WY 83001

SHEET TITLE:
EQUIPMENT
PLAN

SHEET NUMBER:

A-2



THIRD FLOOR PARKING GARAGE
(LOOKING NORTH)



THIRD FLOOR PARKING GARAGE
(LOOKING SOUTH)

[1]

(2) PROPOSED AT&T HVAC UNITS (37.1 TALL x 44.5 WIDE x 17.1 DEEP)
INSET BETWEEN DECK BEAMS ATTACHED TO DECK ABOVE

X-RAY DECK TO AVOID DECK REINFORCEMENT

VERIZON WILL HAVE (2) HVAC UNITS IN THE SAME LOCATION



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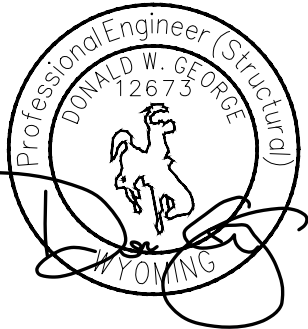
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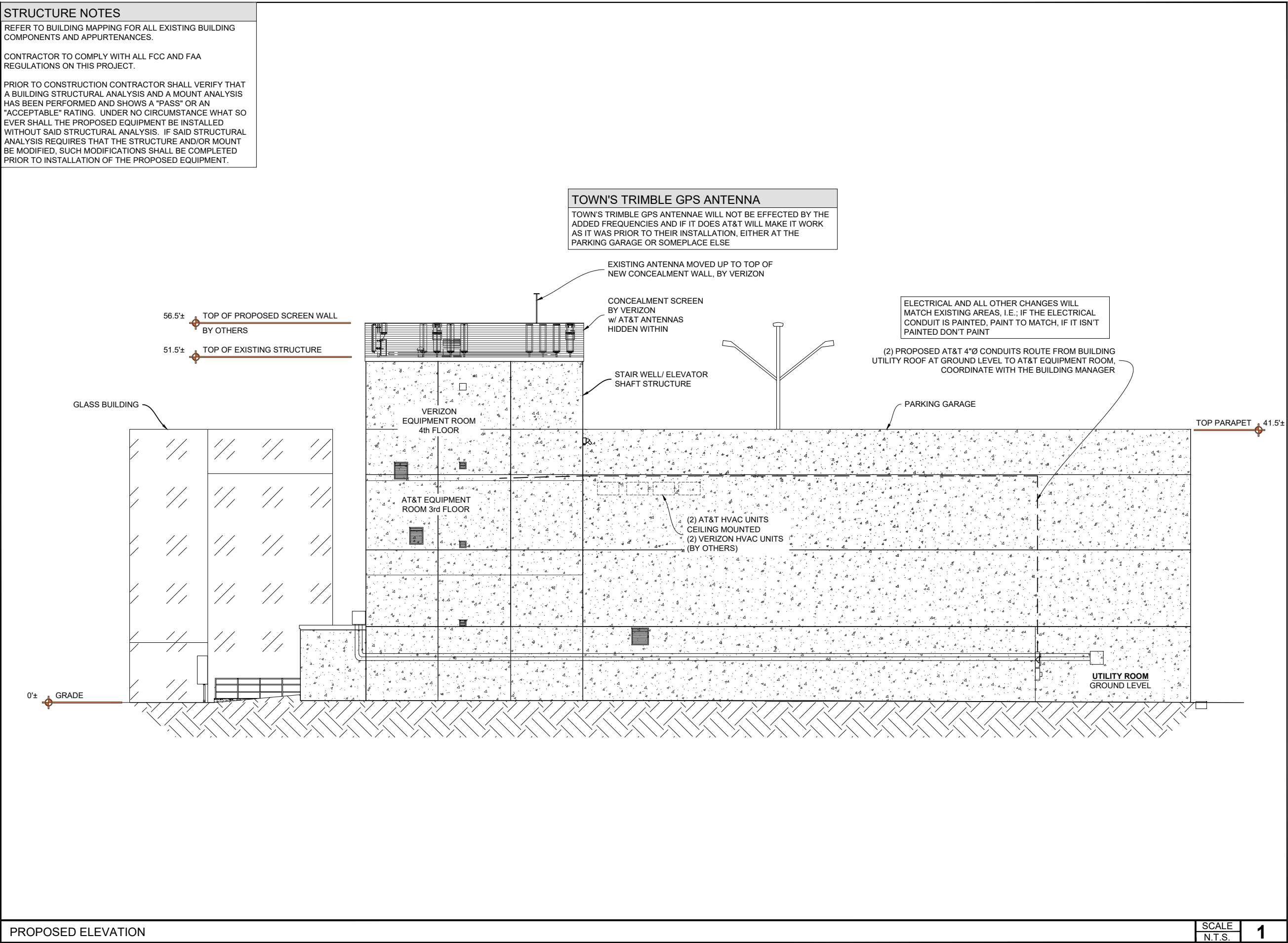
NEW SITE BUILD

160 S MILLWARD STREET
JACKSON, WY 83001

SHEET TITLE:
HVAC DUCTING
PLAN

SHEET NUMBER:

A-2.1



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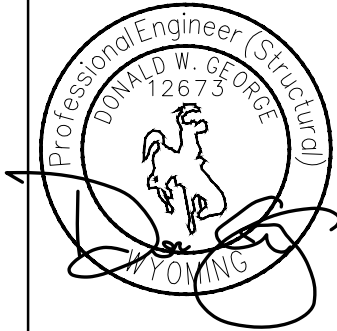
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IDL04511 RELO

NEW SITE BUILD

160 S MILLWARD STREET
JACKSON, WY 83001

SHEET TITLE:

ANTENNA
ELEVATIONS

SHEET NUMBER:

A-3

INSTALLATION NOTES

1.

ANTENNA CLEARANCE AND MOUNTING TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION WITH FINAL ANTENNA SPECIFICATIONS, MOUNTING HARDWARE AND RF DESIGN. ANTENNA PIPE MOUNT MODIFICATION MAY BE REQUIRED PER STRUCTURAL.

2.

CONTRACTOR TO VERIFY FINAL ANTENNA CONFIGURATION FROM LATEST APPROVED RFDS.

3.

CONTRACTOR SHALL OBTAIN A MINIMUM 4' SEPARATION BETWEEN ALL ANTENNAS UNLESS APPROVED BY RF.

4.

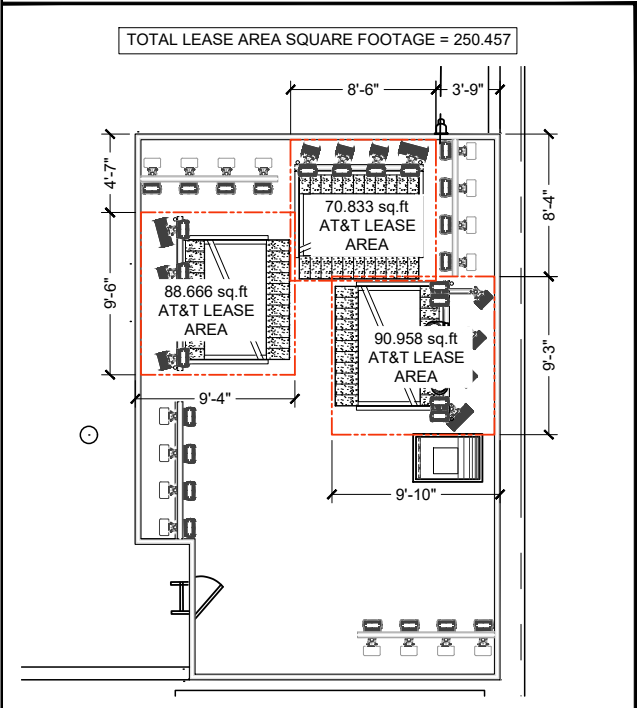
STRUCTURAL ANALYSIS MUST BE PERFORMED PRIOR TO THE INSTALLATION OF ANY NEW EQUIPMENT.

EXISTING CONDITIONS

THESE DRAWINGS WERE PRODUCED WITH INFORMATION PROVIDED BY THE CLIENT. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO INSTALLATION.

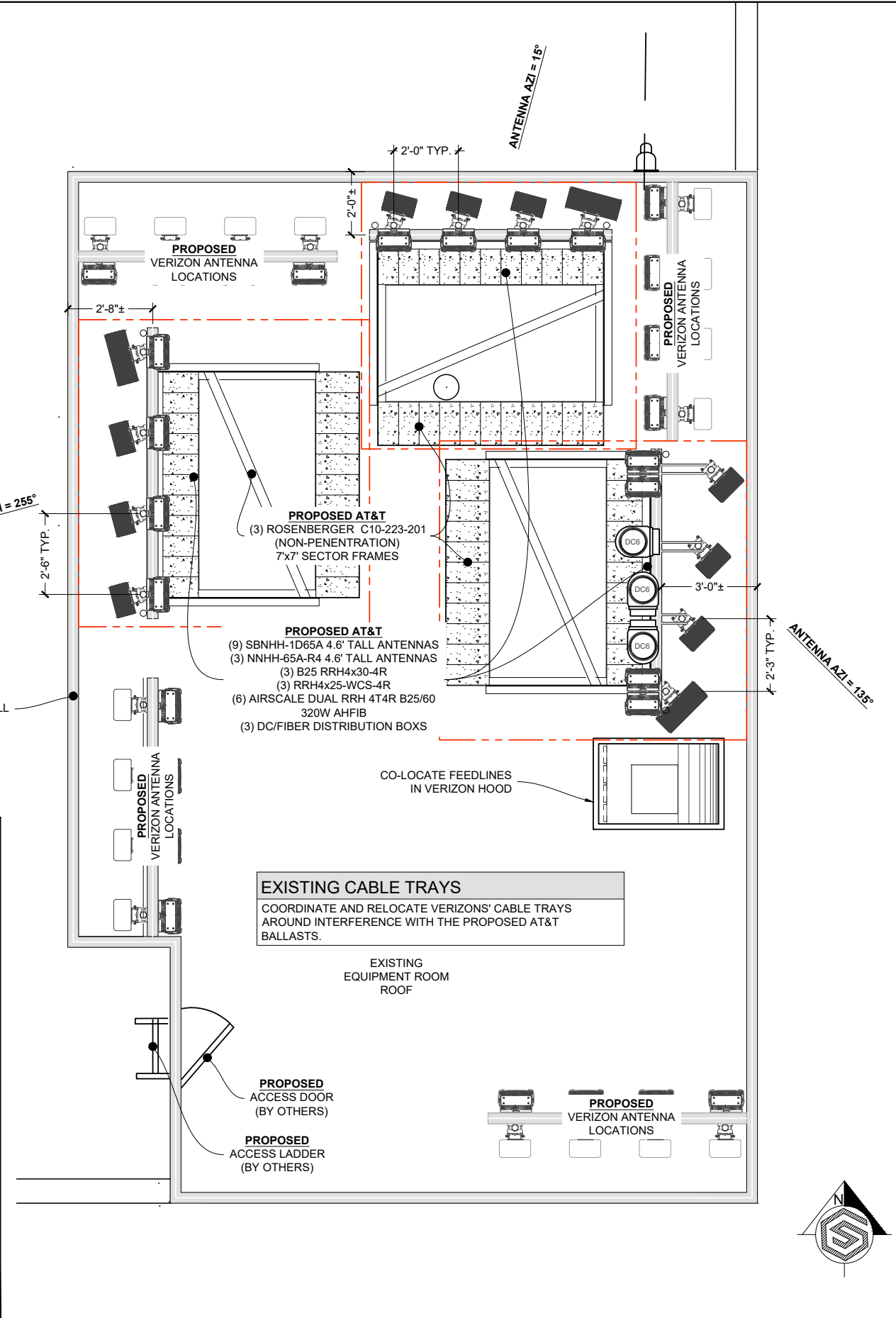
ANTENNAS

ANTENNA AND EQUIPMENT CALLOUTS SHOWN ARE TYPICAL OF ALL SECTORS UNLESS SPECIFICALLY NOTED OTHERWISE.



PROPOSED LEASE AREAS

N.T.S.



PROPOSED ANTENNA PLAN

SCALE: 1/4" = 1'-0" (11x17)
SCALE: 1/2" = 1'-0" (24x36)

2

ALPHA

BETA

GAMMA

PHOTOS

N.T.S.

1

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JACKSON, WY 83001

SHEET TITLE:

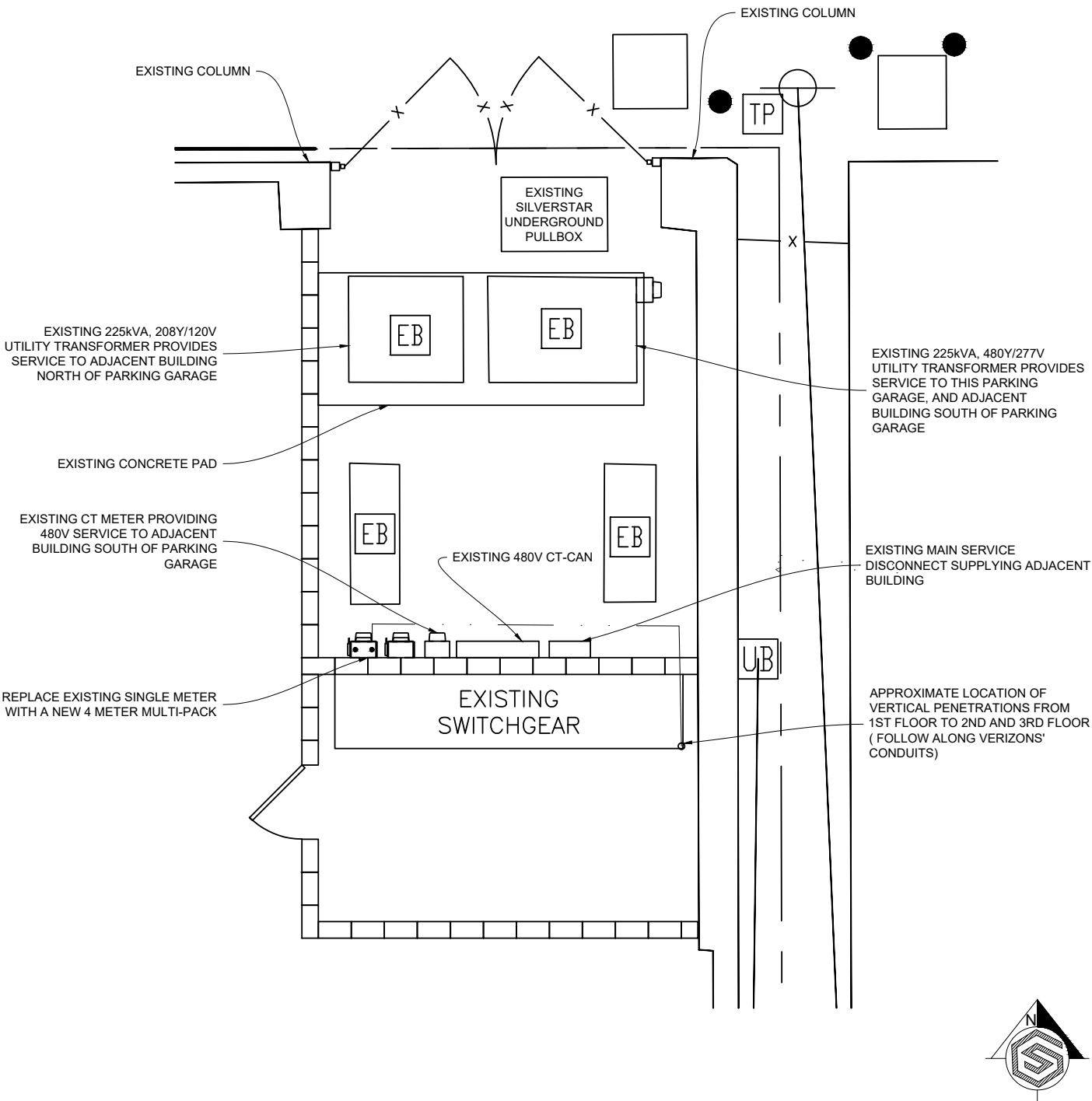
ANTENNA PLANS

SHEET NUMBER:

A-4

EXISTING CONDITIONS

THESE DRAWINGS WERE PRODUCED WITH INFORMATION PROVIDED BY THE CLIENT. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO INSTALLATION.



PROPOSED UTILITY ROOM

SCALE: 1/4" = 1'-0" (11x17)
SCALE: 1/2" = 1'-0" (24x36)

2

UTILITY ROUTING

N.T.S.

1

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REVISIONS

| REV | DATE | DESCRIPTION | INT |
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| 1 | 01/22/19 | REVISED PER ZONING | GGD |
| 0 | 11/12/18 | ISSUED FOR ZONING | GGD |
| B | 11/06/18 | EQUIPMENT TO 3rd FLOOR | GGD |
| A | 09/19/18 | ISSUED FOR REVIEW | GGD |

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SITE INFORMATION:

**TOWN OF JACKSON
PARKING GARAGE
IDL04511 RELO**

NEW SITE BUILD

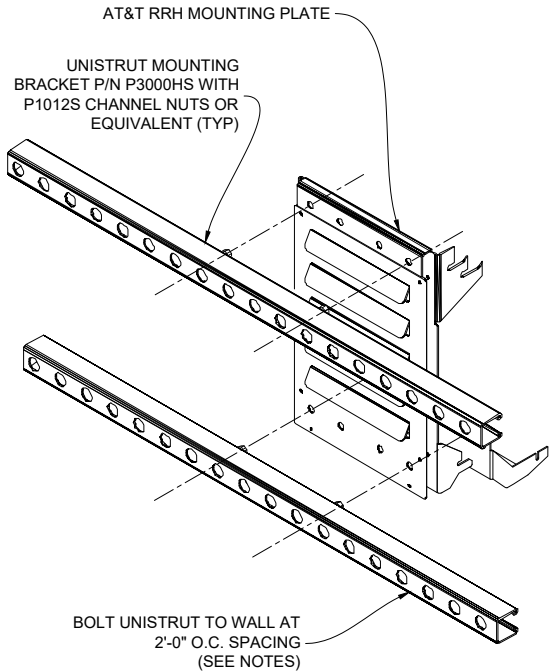
160 S MILLWARD STREET
JACKSON, WY 83001

SHEET TITLE:

UTILITY ROUTING

SHEET NUMBER:

A-5

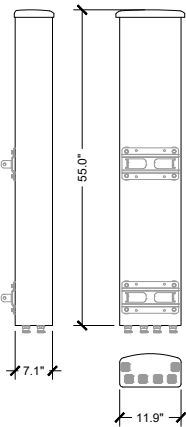


NOTES:

- CONCRETE ANCHOR:** HILTI HIT HY 150 ADHESIVE ANCHOR
SIZE: Ø = 3/8"
EMBEDMENT: 1 3/4"
SPACING: S = 24" (MAX)
* IF THE WALL THICKNESS IS LESS THAN 2", THE 1/2"Ø A325 BOLT SHALL BE USED TO GO THROUGH THE WALL WITH A 3/8" BACK PLATE INSIDE OF THE WALL.
- FULLY-GROUTED CMU WALL ANCHOR:** HILTI HIT HY 150 ADHESIVE ANCHOR
SIZE: Ø = 3/8"
EMBEDMENT: 1 3/4"
SPACING: ONE (1) ANCHOR PER CELL (MAX) AND 8" (MIN)
- SOLID BRICK WALL ANCHOR:** HILTI HIT HY 20 ADHESIVE ANCHOR
SIZE: Ø = 3/8"
EMBEDMENT: 2"
SPACING: S = 24" (MAX)
- HOLLOW, UNGROUTED CMU WALL & BRICK WALL WITH HOLES ANCHOR:** HILTI HIT HY 20 ADHESIVE ANCHOR
SIZE: Ø = 3/8"
EMBEDMENT: THROUGH FACE OF HOLLOW BASE > 6" (MIN)
SPACING: S = (2) COMPLETE BRICKS IN ANY DIRECTION
(1) ANCHOR PER BLOCK CELL (CMU)
- STEEL BOLT:** A325
BOLT SIZE: Ø = 1/2"
BOLT HOLE SIZE: Ø = 9/16"
- IF THE WALL MATERIAL IS DIFFERENT FROM ABOVE, CONTRACTOR SHALL INFORM DESIGN ENGINEER IMMEDIATELY.
- ALL HARDWARE AND PARTS SHALL BE HOT-DIPPED GALVANIZED WITH LOCK WASHERS AND HEAVY HEX NUTS.
- ALL BOLT HOLES SHALL BE 7/16"Ø UNLESS NOTED OTHERWISE.
- THE MAX LOAD BETWEEN ANCHORS SHALL BE LESS THAN 400 POUNDS.

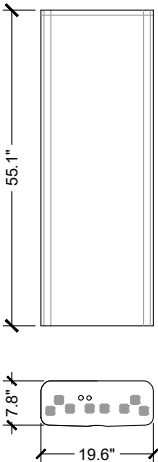
ANDREW SBNHH-1D65A

DIMENSION (H x W x D) 55" x 11.9" x 7.1"
WEIGHT 40.9 lbs



COMMSCOPE NNHH-65A-R4

DIMENSION (H x W x D) 55.1" x 19.6" x 7.8"
WEIGHT 68.3 lbs



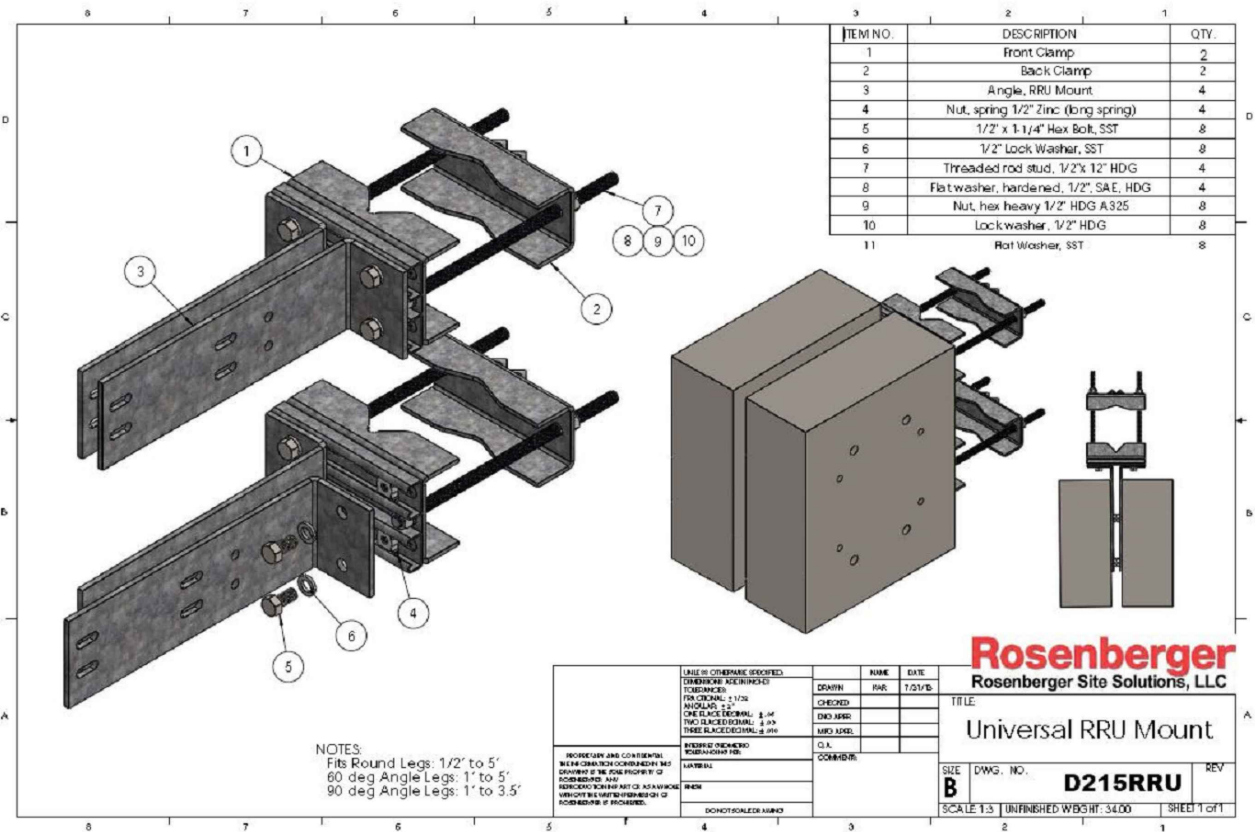
ALCATEL-LUCENT B25 RRH4X30 (4-WAY RECEIVE)

DIMENSION (H x W x D) 21.2" x 12.0" x 7.2"
WEIGHT 53 lbs



ALCATEL-LUCENT RRH4x25-WCS-4R (4-WAY RECEIVE)

DIMENSION (H x W x D) 31.5" x 11.8" x 8.7"
WEIGHT 70 lbs



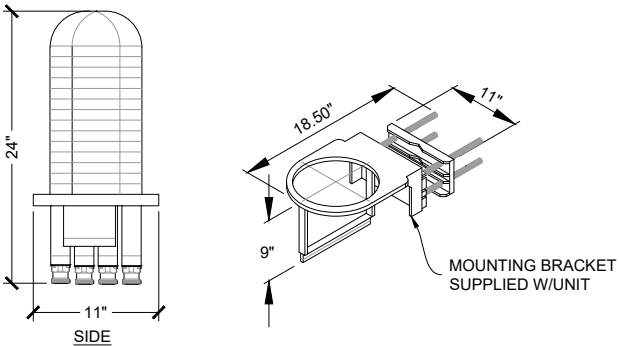
NOKIA

AHFIB Dimensions



RAYCAP DC6 DC/FIBER DISTRIBUTION BOX

DIMENSION (H x W x D) 24" x 11" x 11"
WEIGHT 32.8 lbs



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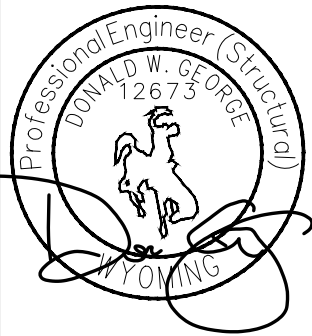
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SITE INFORMATION:

TOWN OF JACKSON
PARKING GARAGE
IDL04511 RELO
NEW SITE BUILD

160 S MILLWARD STREET
JACKSON, WY 83001

SHEET TITLE:

EQUIPMENT
DETAILS

SHEET NUMBER:

R-1

DIMENSIONS - OUTDOOR

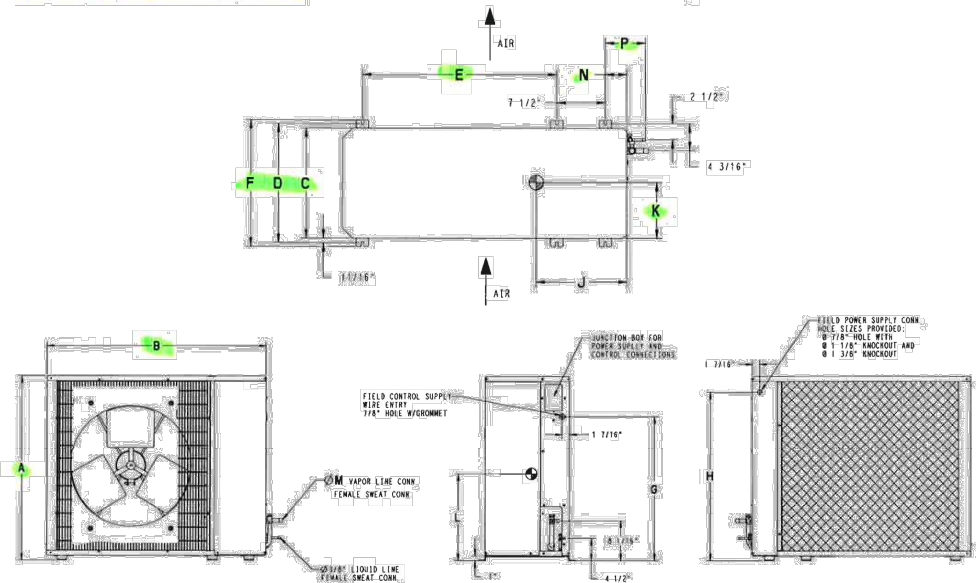


Fig. 4 - Outdoor Unit Dimensions

Table 4—Dimensions Indoor

| | UNIT | DIMENSIONS In (mm) | | | | | | | | | | | | | | OPERATING WEIGHT lbs (kg) |
|-----------------|------|-----------------------|----------------|---------------|---------------|---------------|---------------|---------------|----------------|---------------|--------------|---------------|-------------|-------------|--------------|---------------------------------|
| | | A | B | C | D | E | F | G | H | J | K | L | M | N | P | |
| Cooling Only | 18 | 31.1 (791) | 36.9 (938) | 14.6 (370) | 16 (406) | 23.4 (595) | 17.2 (437) | 23.1 (587) | 28.1 (713) | 13 (330) | 6.6 (168) | 11.3 (286) | 0.6 (16) | 2.9 (73) | 5.8 (148) | 146 (66) |
| | 24 | 31.1 (791) | 36.9 (938) | 14.6 (370) | 16 (406) | 23.4 (595) | 17.2 (437) | 23.1 (587) | 28.1 (713) | 14 (356) | 6.8 (171) | 11.6 (295) | 0.8 (19) | 2.9 (73) | 5.8 (148) | 148 (67) |
| | 30 | 37.1 (943) | 44.5 (1130) | 17.1 (433) | 18.4 (468) | 30.5 (775) | 19.6 (498) | 29.1 (740) | 34.1 (865) | 13.7 (348) | 8.1 (206) | 15.9 (403) | 0.8 (19) | 3.4 (86) | 6.4 (162) | 183 (83) |
| | 36 | 37.1 (943) | 44.5 (1130) | 17.1 (433) | 18.4 (468) | 30.5 (775) | 19.6 (498) | 29.1 (740) | 34.1 (865) | 13.7 (348) | 8.1 (206) | 15.9 (403) | 0.9 (22) | 3.4 (86) | 6.4 (162) | 184 (83) |
| | 48 | 37.1 (943) | 44.5 (1130) | 17.1 (433) | 18.4 (468) | 30.5 (775) | 19.6 (498) | 29.1 (740) | 34.1 (865) | 14.5 (368) | 8.5 (216) | 18.9 (479) | 0.9 (22) | 3.4 (86) | 6.4 (162) | 213 (97) |
| | 60 | 43.1 (1095) | 44.5 (1130) | 17.1 (433) | 18.4 (468) | 30.5 (775) | 19.6 (498) | 35.1 (892) | 40.1 (1018) | 14.5 (368) | 8.5 (216) | 18.9 (479) | 0.9 (22) | 3.4 (86) | 6.4 (162) | 245 (111) |
| Heat Pump | 30 | 37.1 (943) | 44.5 (1130) | 17.1 (433) | 18.4 (468) | 30.5 (775) | 19.6 (498) | 29.1 (740) | 34.1 (865) | 13.7 (348) | 8.1 (206) | 15.9 (403) | 0.8 (19) | 3.4 (86) | 5.5 (140) | 196 (89) |
| | 36 | 37.1 (943) | 44.5 (1130) | 17.1 (433) | 18.4 (468) | 30.5 (775) | 19.6 (498) | 29.1 (740) | 34.1 (865) | 13.7 (348) | 8.1 (206) | 15.9 (403) | 0.9 (22) | 3.4 (86) | 5.5 (140) | 197 (89) |
| | 48 | 43.1 (1095) | 44.5 (1130) | 17.1 (433) | 18.4 (468) | 30.5 (775) | 19.6 (498) | 35.1 (892) | 40.1 (1018) | 14.5 (368) | 8.5 (216) | 18.9 (479) | 0.9 (22) | 3.4 (86) | 5.5 (140) | 246 (112) |

NOTE: Dimensions shown in feet-inches. Dimensions in () are millimeters.

DIMENSIONS - INDOOR

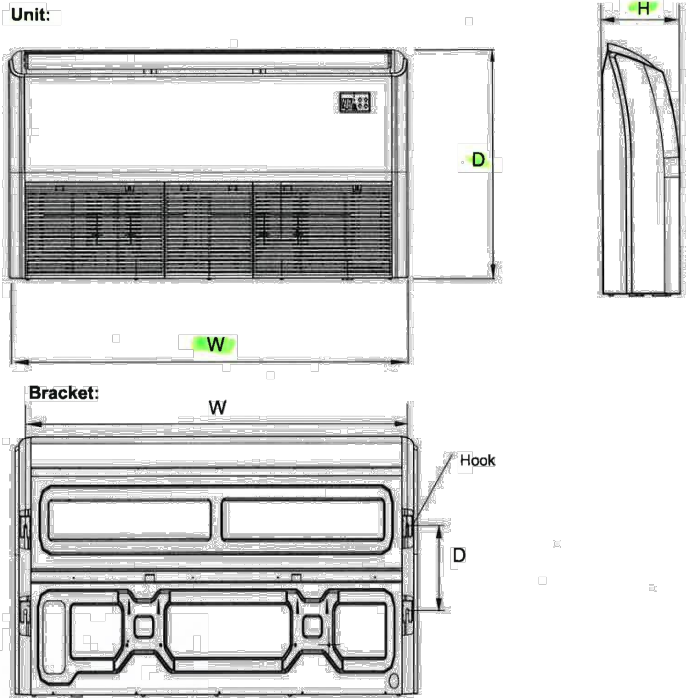


Fig. 3 - 40MKCB**F, 40MKQB**F Unit and Bracket Dimensions

Table 3—Dimensions Indoor

| INDOOR UNIT SIZE BTU/Hr | HEIGHT (H) in (mm) | WIDTH (W) in (mm) | DEPTH (D) in (mm) | OPERATING WEIGHT lb (kg) |
|----------------------------|-----------------------|----------------------|----------------------|-----------------------------|
| AC | | | | |
| 18K | 9.3 (235) | 42.0 (1068) | 26.6 (675) | 59.7 (27.1) |
| 24K - 34K | 9.3 (235) | 65.0 (1650) | 26.6 (675) | 91.9 (41.7) |
| 48K - 54K | 9.3 (235) | 65.0 (1650) | 26.6 (675) | 98.8 (44.8) |
| HP | | | | |
| 30K - 48K | 9.3 (235) | 65.0 (1650) | 26.6 (675) | 98.8 (44.8) |
| Bracket | | | | |
| 18K AC | | 38.7 (983) | 8.7 (220) | |
| 24K - 54K AC/HP | | 61.6 (1565) | 8.7 (220) | |

Fig. 6 - Outdoor Unit Clearance

| UNIT | Outdoor Clearances | |
|------|----------------------------|---------------------------|
| | COIL FACING WALL - In (mm) | FAN FACING WALL - In (mm) |
| A | 24 (610) | 24 (610) |
| B | 24 (610) | 24 (610) |
| C | 20 (508) | 6 (152) |
| D | 6 (152) | 8 (203) |
| E | 6 (152) | 20 (508) |

Table 5—Outdoor Clearances

Table 9 - 25HHA4/224ANS Electrical Data

| UNIT SIZE - In voltage, series | V/PH | OPER VOLTS* | | COMPR | | FAN | MCA | MAX FUSE** or CKT BRK AMPS |
|-----------------------------------|-----------|-------------|-----|-------|------|------|------|-------------------------------------|
| | | MAX | MIN | LRA | RLA | FLA | | |
| 30 - 3 | 208/230/1 | 253 | 197 | 64 | 12.8 | 1.2 | 17.2 | 30 |
| 36 - 3 | | | | 77 | 14.2 | 1.2 | 19 | 30 |
| 48 - 3 | | | | 117 | 21.8 | 1.45 | 28.8 | 50 |
| 36 - 5 | 208/230/3 | 253 | 197 | 71 | 9.3 | 1.2 | 12.8 | 20 |
| 48 - 5 | | | | 83.1 | 13.7 | 1.45 | 18.6 | 30 |
| 36 - 6 | | | | 38 | 5.6 | 0.6 | 7.6 | 15 |
| 48 - 6 | 480/3 | 506 | 414 | 41 | 6.2 | 0.8 | 8.6 | 15 |

Table 10 - 40MKCB**F Electrical Data

| INDOOR UNIT SIZE BTU/Hr | V-Ph-Hz | VOLTAGE RANGE | | FAN | POWER | |
|----------------------------|--------------|---------------|---------|-----|----------|---------------------|
| | | Min (V) | Max (V) | | FLA (A) | Max Fuse CB Amp (A) |
| 18K | 208-230-1-60 | 187 | 253 | | 0.71 | 15 |
| 24K - 34K | 208-230-1-60 | 187 | 253 | | 0.7 x 2 | 15 |
| 54K | 208-230-1-60 | 187 | 253 | | 0.95 x 2 | 15 |

Table 11 - 40MKQB**F Electrical Data

| INDOOR UNIT SIZE BTU/Hr | V-Ph-Hz | VOLTAGE RANGE | | FAN | POWER | |
|----------------------------|--------------|---------------|---------|-----|----------|---------------------|
| | | Min (V) | Max (V) | | FLA (A) | Max Fuse CB Amp (A) |
| 30K - 48K | 208-230-1-60 | 187 | 253 | | 0.95 x 2 | 15 |

LEGEND
FLA - Full Load Amps
HACR - Heating, Air Conditioning, Refrigeration
LRA - Locked Rotor Amps
NEC - National Electrical Code
RLA - Rated Load Amps (compressor)
*Permissible limits of the voltage range at which the unit will operate satisfactorily
**Time-Delay fuse.
Complies with 2007 requirements of ASHRAE Standards 90.1

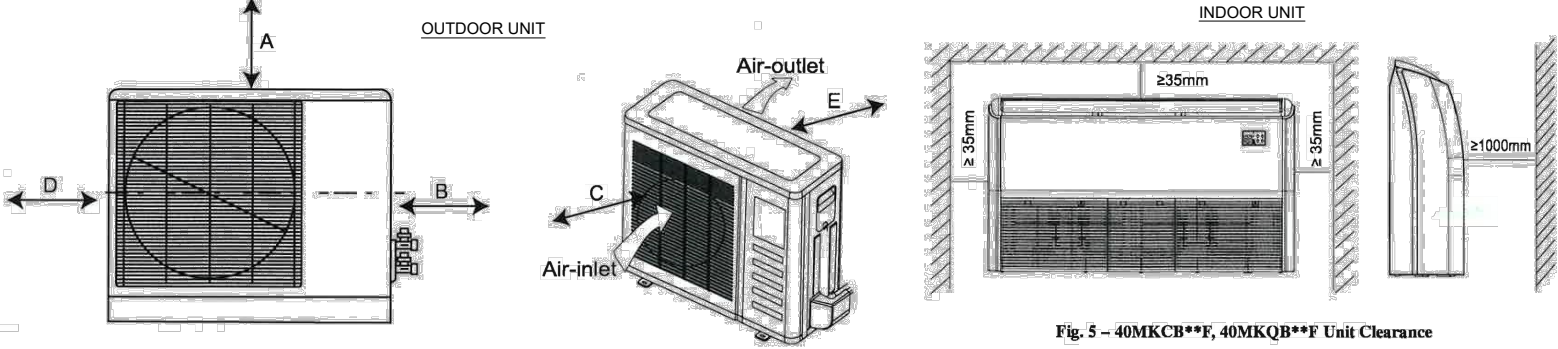


Fig. 5 - 40MKCB**F, 40MKQB**F Unit Clearance



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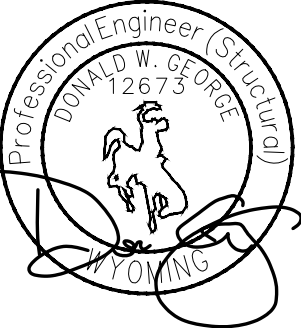
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TOWN OF JACKSON
PARKING GARAGE
IDL04511 RELO
NEW SITE BUILD

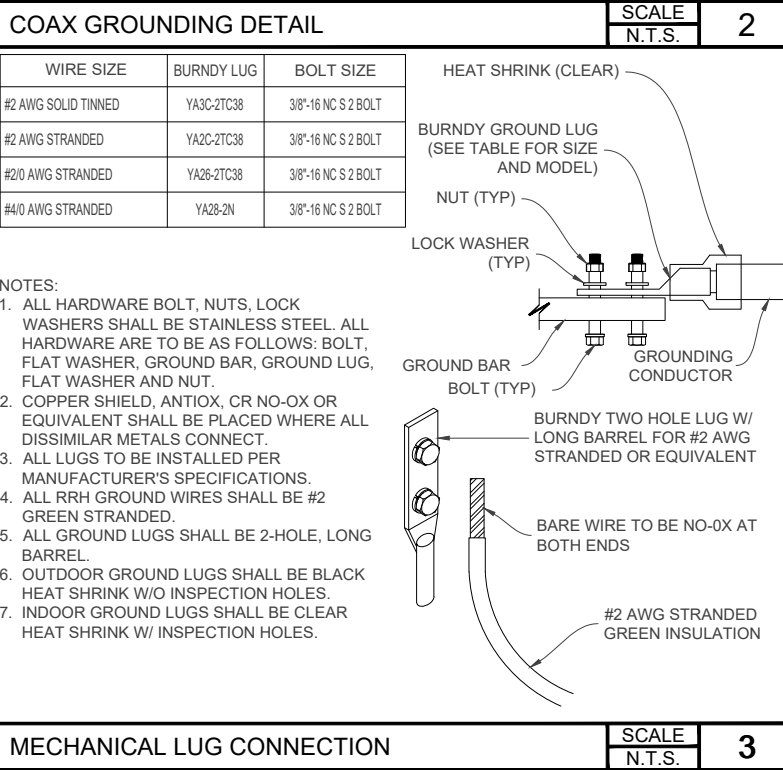
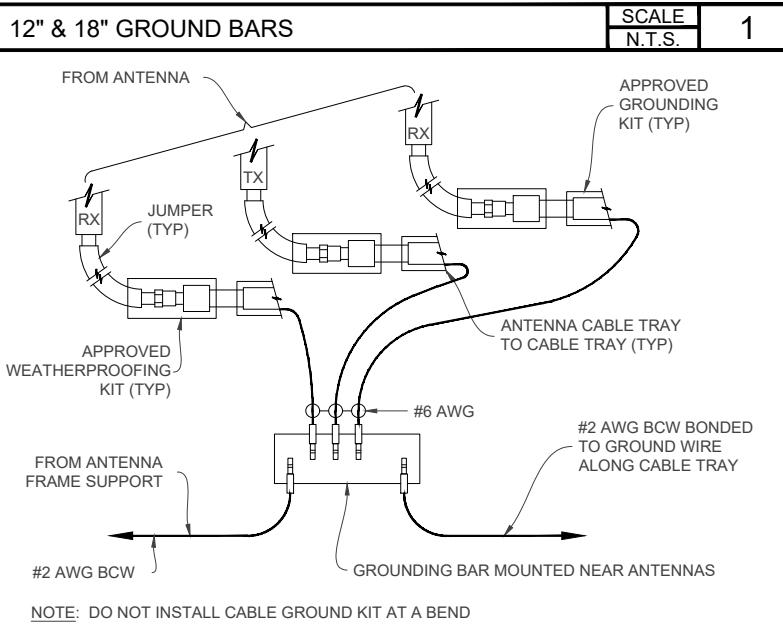
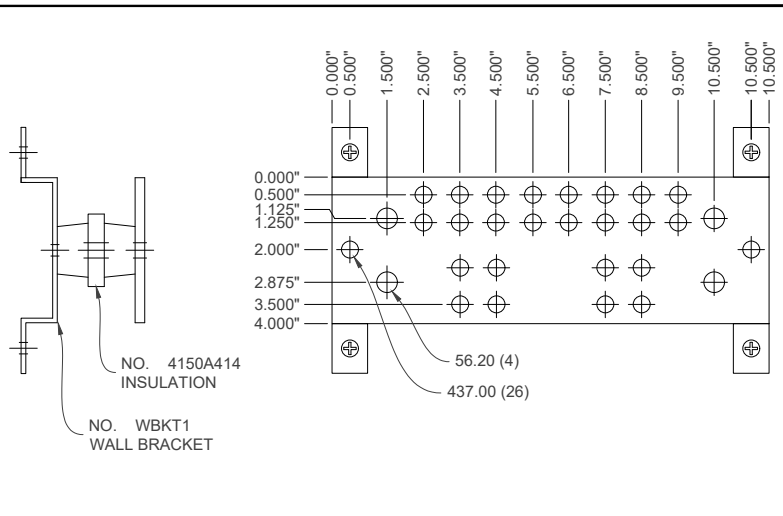
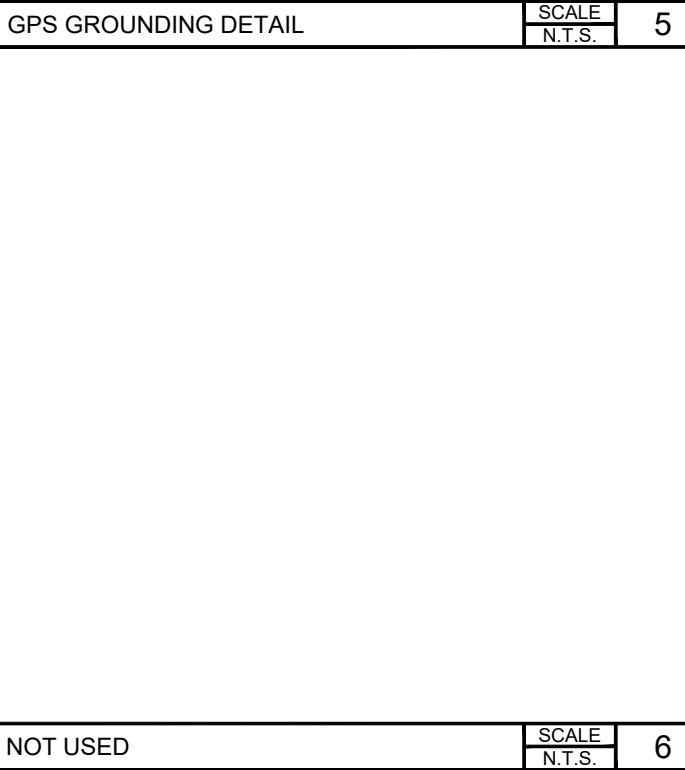
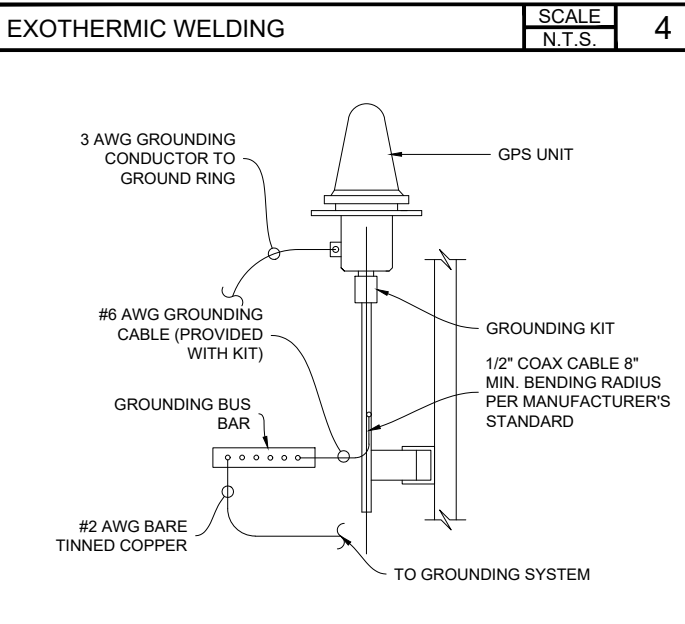
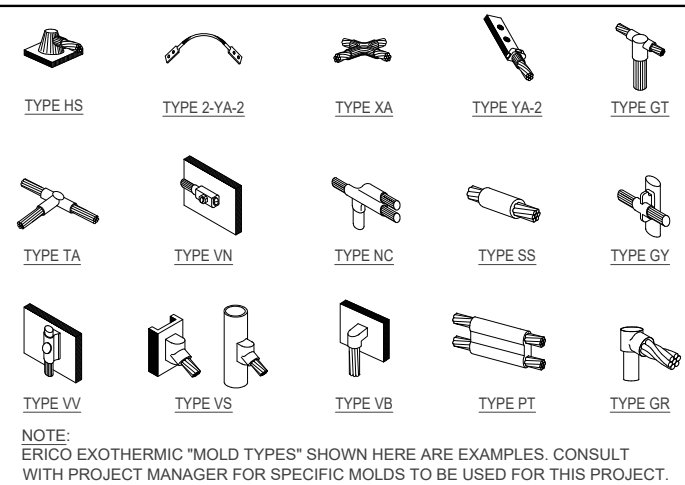
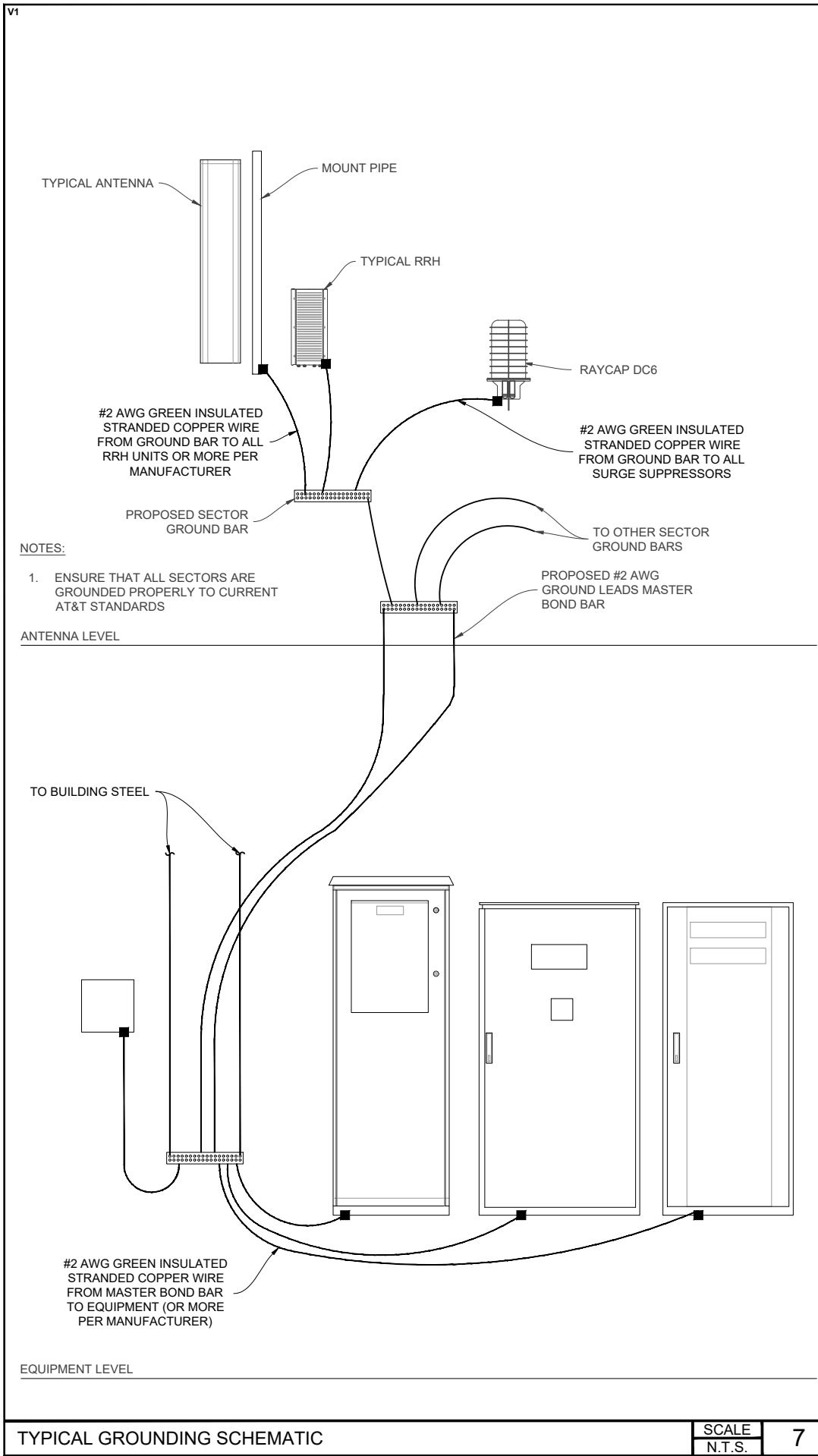
160 S MILLWARD STREET
JACKSON, WY 83001

SHEET TITLE:

HVAC DETAILS

SHEET NUMBER:

R-2



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SITE INFORMATION:

TOWN OF JACKSON PARKING GARAGE IDL04511 RELO

NEW SITE BUILD

160 S MILLWARD STREET
JACKSON, WY 83001

SHEET TITLE:

GROUNDING DETAILS

SHEET NUMBER:

G-1