



# TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

## TRANSMITTAL MEMO

**Town of Jackson**

- Public Works/Engineering
- Building
- Title Company
- Town Attorney
- Police

**Joint Town/County**

- Parks and Recreation
- Pathways
- Housing Department

**Teton County**

- Planning Division

- Engineer
- Surveyor- *Nelson*
- Assessor
- Clerk and Recorder
- Road and Levee

**State of Wyoming**

- Teton Conservation
- WYDOT
- TC School District #1
- Game and Fish
- DEQ

**Federal Agencies**

- Army Corp of Engineers

**Utility Providers**

- Qwest
- Lower Valley Energy
- Bresnan Communications

**Special Districts**

- START
- Jackson Hole Fire/EMS
- Irrigation Company

Date: February 21, 2019	<b>REQUESTS:</b>
Item #: P19-039	The applicant is submitting a request for a Development Plan for the property located 170 Redmond Street legally known as, N 75' LOTS 12-13, BLK 1, HALL 1.
Planner: Brendan Conboy	For questions, please call Brendan Conboy at 733-0440, x1302 or email to the address shown below. Thank you.
Phone: 733-0440 ext. 1302	
Fax: 734-3563	
Email: <a href="mailto:bconboy@jacksonwy.gov">bconboy@jacksonwy.gov</a>	
<b>Owner:</b> Scott Shepherd PO Box 1333 Jackson, WY 83001	
<b>Applicant:</b> Josh Kilpatrick PO Box 1599 Jackson, WY 83001	
<b>Please respond by:</b> <b>March 7, 2019 (Sufficiency)</b> <b>March 14, 2019 (with Comments)</b>	

**Owner:**

Scott Shepherd  
PO Box 1333  
Jackson, WY 83001

**Applicant:**

Josh Kilpatrick  
PO Box 1599  
Jackson, WY 83001

**Please respond by:** **March 7, 2019 (Sufficiency)**  
**March 14, 2019 (with Comments)**

**RESPONSE:** For Departments not using Trak-it, please send responses via email to:  
[tstolte@jacksonwy.gov](mailto:tstolte@jacksonwy.gov)

# NELSON ENGINEERING since 1964

Professional Engineers & Land Surveyors

JACKSON, WY • BUFFALO, WY

WWW.NELSONENGINEERING.NET

February 15<sup>th</sup>, 2019

Town of Jackson  
150 East Pearl Ave.  
Jackson, WY 83001

ATTN: Brendan Conboy

RE: Project Narrative: Kudar Flatts Development Plan - 170 Redmond St. (Preapplication Conference #P18-315)

Dear Brendan:

Please find attached Development Plan (DP) for 170 Redmond for your review. The proposed development is located in Neighborhood Medium (NM-1) zoning and has been advanced from the preapplication phase to include the construction of two single-family attached homes. Construction of the new residences will require demolition of the existing residence.

The proposed development has been prepared to comply with the following findings of approval as presented in LDR Section 8.5.2.

1. Is consistent with the desired future character described for the site in the Jackson;
2. Complies with the Town of Jackson Design Guidelines;
3. Complies with all relevant standards of these LDRs and other Town Ordinances; and
4. Is in substantial conformance with all standards or conditions of any prior applicable permits or approvals.

The submittal package, including planning permit application, title report, site plans(s) and architectural drawings with floor plans is believed to provide sufficient information for a DP level submittal and approval for a lot subdivision.

Please note that landscaping, final grading, stormwater run-off calculations and design, and lighting plans will be provided in detail with the building permit submittal. With exception to these items, all comments made by town entities are addressed within the development plan drawings provided (see DP-1 & DP-2).

If you find there to be submittal deficiencies, please don't hesitate to contact me so they can be addressed prior to review by other Town departments/entities.

Respectfully submitted,



Josh Kilpatrick, PE

Encl.

CC: Scott Shepherd



**PLANNING PERMIT APPLICATION**  
**Planning & Building Department**

150 E Pearl Ave. | ph: (307) 733-0440  
P.O. Box 1687 | [www.townofjackson.com](http://www.townofjackson.com)  
Jackson, WY 83001

***For Office Use Only***

Fees Paid \_\_\_\_\_

Date & Time Received \_\_\_\_\_

Application #s \_\_\_\_\_

***Please note: Applications received after 3 PM will be processed the next business day.***

**PROJECT.**

Name/Description: \_\_\_\_\_

Physical Address: \_\_\_\_\_

Lot, Subdivision: \_\_\_\_\_ PIDN: \_\_\_\_\_

**PROPERTY OWNER.**

Name: \_\_\_\_\_ Phone: \_\_\_\_\_

Mailing Address: \_\_\_\_\_ ZIP: \_\_\_\_\_

E-mail: \_\_\_\_\_

**APPLICANT/AGENT.**

Name: \_\_\_\_\_ Phone: \_\_\_\_\_

Mailing Address: \_\_\_\_\_ ZIP: \_\_\_\_\_

E-mail: \_\_\_\_\_

**DESIGNATED PRIMARY CONTACT.**

\_\_\_\_\_ Property Owner \_\_\_\_\_ Applicant/Agent

**TYPE OF APPLICATION.** Please check all that apply; review the type of application at [www.townofjackson/200/Planning](http://www.townofjackson/200/Planning)

Use Permit	Physical Development	Interpretations
<input type="checkbox"/> Basic Use	<input type="checkbox"/> Sketch Plan	<input type="checkbox"/> Formal Interpretation
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Development Plan	<input type="checkbox"/> Zoning Compliance Verification
<input type="checkbox"/> Special Use	<input type="checkbox"/> Design Review	<b>Amendments to the LDRs</b>
Relief from the LDRs	Subdivision/Development Option	<input type="checkbox"/> LDR Text Amendment
<input type="checkbox"/> Administrative Adjustment	<input type="checkbox"/> Subdivision Plat	<input type="checkbox"/> Map Amendment
<input type="checkbox"/> Variance	<input type="checkbox"/> Boundary Adjustment (replat)	<b>Miscellaneous</b>
<input type="checkbox"/> Beneficial Use Determination	<input type="checkbox"/> Boundary Adjustment (no plat)	<input type="checkbox"/> Other: _____
<input type="checkbox"/> Appeal of an Admin. Decision	<input type="checkbox"/> Development Option Plan	<input type="checkbox"/> Environmental Analysis





## OWNERSHIP AND ENCUMBRANCE REPORT

Issued To:

Nelson Engineering  
P.O. Box 1599  
Jackson, WY 83001  
(307) 733-2087

Report No.: W-19565  
Effective Date: November 30, 2018  
Current Date: December 28, 2018  
Cost: \$100.00

Project Reference: Shepherd

Property Address: 170 Redmond Street, Jackson, WY 83001

County: Teton

1. According to the last deed appearing of public record, title to the fee simple estate or interest in the land described or referred to in this Report at the effective date hereof appears to be vested in:

Donna Hasenbein Shepherd and Scott Michael Shepherd, Trustees of the Donna Shepherd Living Trust dated November 2, 1994, and any amendments thereto and Scott Michael Shepherd and Donna Hasenbein Shepherd, Trustees of the Scott Shepherd Living Trust dated November 2, 1994, and any amendments thereto, each an undivided one-half interest

2. The land referred to in this Report is described as follows:

See Exhibit "A" Attached Hereto and Made a Part Hereof

Issued By:

WYOMING TITLE & ESCROW, INC.  
Liz Jorgenson/Christina Feuz, Co-Managers  
Phone: 307.732.2983

**This Ownership and Encumbrance Report is not a Commitment for Title Insurance nor is it an Abstract of Title. This Ownership and Encumbrance Report is for informational purposes only, does not necessarily contain all defects, liens or encumbrances of record, and may not be relied upon as a representation of the record regarding the subject property, and no liability is assumed hereby. If it is desired that liability be assumed prior to the issuance of a policy of title insurance, a Binder or Commitment should be requested.**

Wyoming Title & Escrow  
Ownership and Encumbrance Report  
Report No.: W-19565

**EXHIBIT "A"**  
**LEGAL DESCRIPTION**

The North 75 feet of Lots 12 and 13 of Block 1 of the John D. Hall Plat, Town of Jackson, Teton County, Wyoming, according to that plat recorded in the Office of the Teton County Clerk on August 12, 1947, as Plat No. 131.

PIDN: 22-41-16-34-1-18-005

Wyoming Title & Escrow  
Ownership and Encumbrance Report  
Report No.: W-19565

ENCUMBRANCES WHICH AFFECT THE SUBJECT PROPERTY APPEAR TO BE (BUT ARE NOT NECESSARILY LIMITED TO) THE FOLLOWING:

1. Taxes, special and general, assessment districts and service areas for the year 2018.

Tax ID No.: OJ-001799

1st Installment: \$2,252.26 PAID

2nd Installment: \$2,252.25 OPEN

Note: First Installment is delinquent November 10. Second Installment is delinquent May 10.

2. General taxes for the year 2019, a lien in the process of assessment, not yet due or payable.

3. All matters as delineated on the Official Plat of John D. Hall Plat, on file and of record with the Teton County Clerk, Official Records of Teton County, State of Wyoming, Plat No. 131.

[Plat 131](#)

4. An easement upon the terms, conditions and provisions contained therein for the purpose shown below and rights incidental thereto as granted to Kent Thornley and Marsha Thornley, husband and wife, in a document recorded April 8, 1983, as (book) 137 (page) 349, Official Records:

Purpose: Encroachment

[B137P349](#)

5. An easement over said land for electric distribution circuits and incidental purposes, as granted to Lower Valley Power and Light, Inc., recorded July 20, 1993, as (book) 273 (page) 845, Official Records.

[B273P845](#)

6. An easement over said land for electric distribution circuits and incidental purposes, as granted to Lower Valley Energy, recorded January 4, 2008, as (book) 687 (page) 606, Official Records.

[B687P606](#)

7. A Mortgage to secure an indebtedness in the amount of \$417,000.00, and any other obligations secured thereby, dated July 30, 2008, recorded August 5, 2008, as (instrument) 0735665 (book) 705 (page) 603, and rerecorded August 18, 2008 as book 706, page 245, instrument 0736428, Official Records.

Mortgagor: Scott M. Shepherd and Donna H. Shepherd, husband and wife

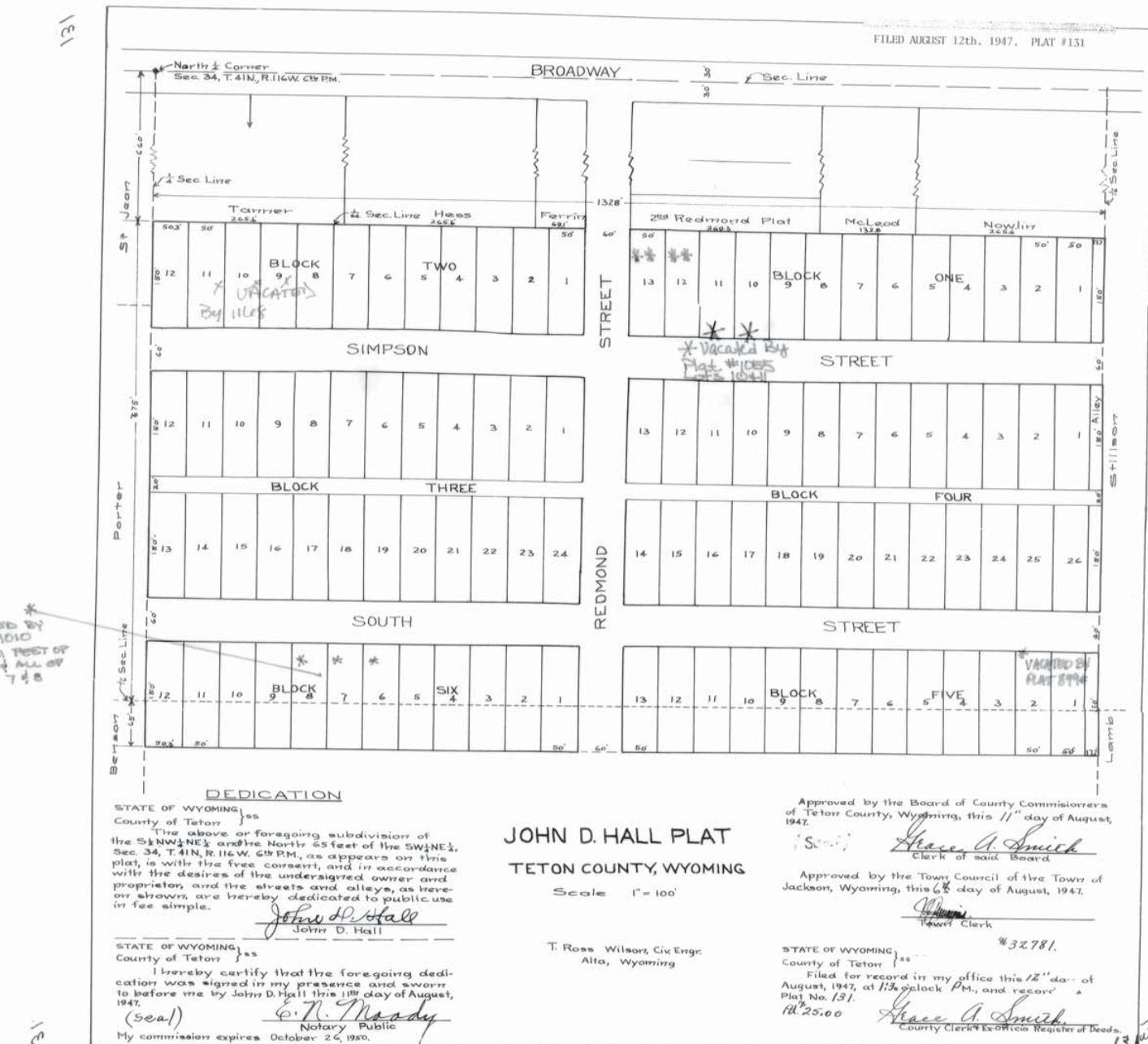
Mortgagee: Mortgage Electronic Registration Systems, Inc. ("MERS") acting solely as nominee for First Bank of Idaho fsb dba First Bank of the Tetons

Loan No: 494029598

MIN No.: 100174101000141733

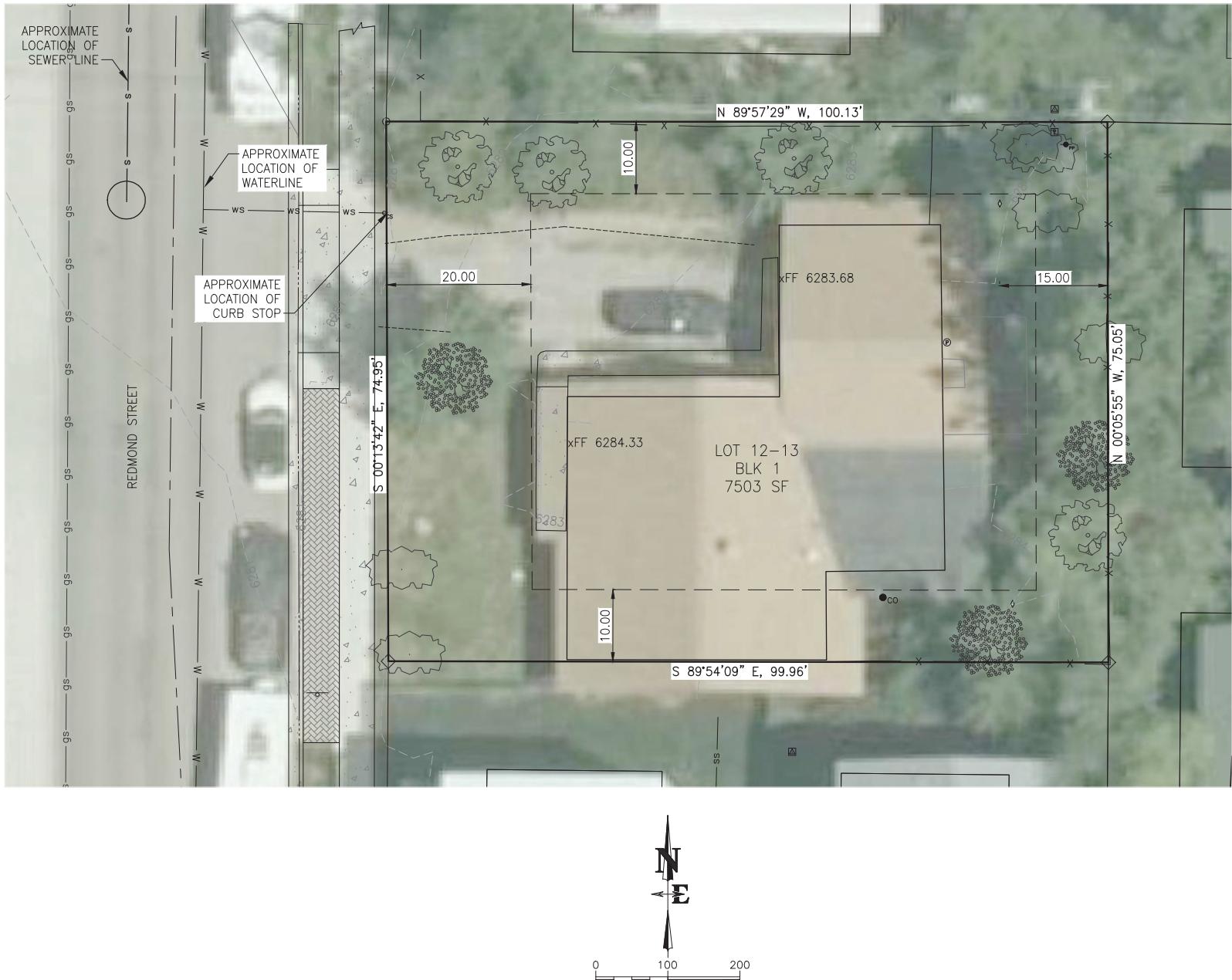
[B705P603](#) [B706P245](#)

\*\*\*\*\* End of Encumbrances \*\*\*\*\*



PHOTOGRAPHIC REPRODUCTION  
OF ORIGINAL PLAT NO. 131  
Filed For Record On  
12 AUGUST 1947

**JOHN D. HALL PLAT**  
To The TOWN OF JACKSON  
BEING PART OF THE  
SW 1/4 NE 1/4 & S 1/2 NW 1/4 NE 1/4 SECTION 34  
T41N R116W  
TETON COUNTY, WYOMING  
Scale 1" = 100'



LOT 12 AND LOT 13

SETBACKS:  
20 STREET  
10 SIDE  
15 REAR

EXISTING SITE PLAN  
LOT 12 AND LOT 13  
JOHN D. HALL PLAT NO. 131  
TOWN OF JACKSON  
T41N, R116W  
TETON COUNTY, WY

TOWN OF JACKSON,  
TETON COUNTY, WY

LEGEND

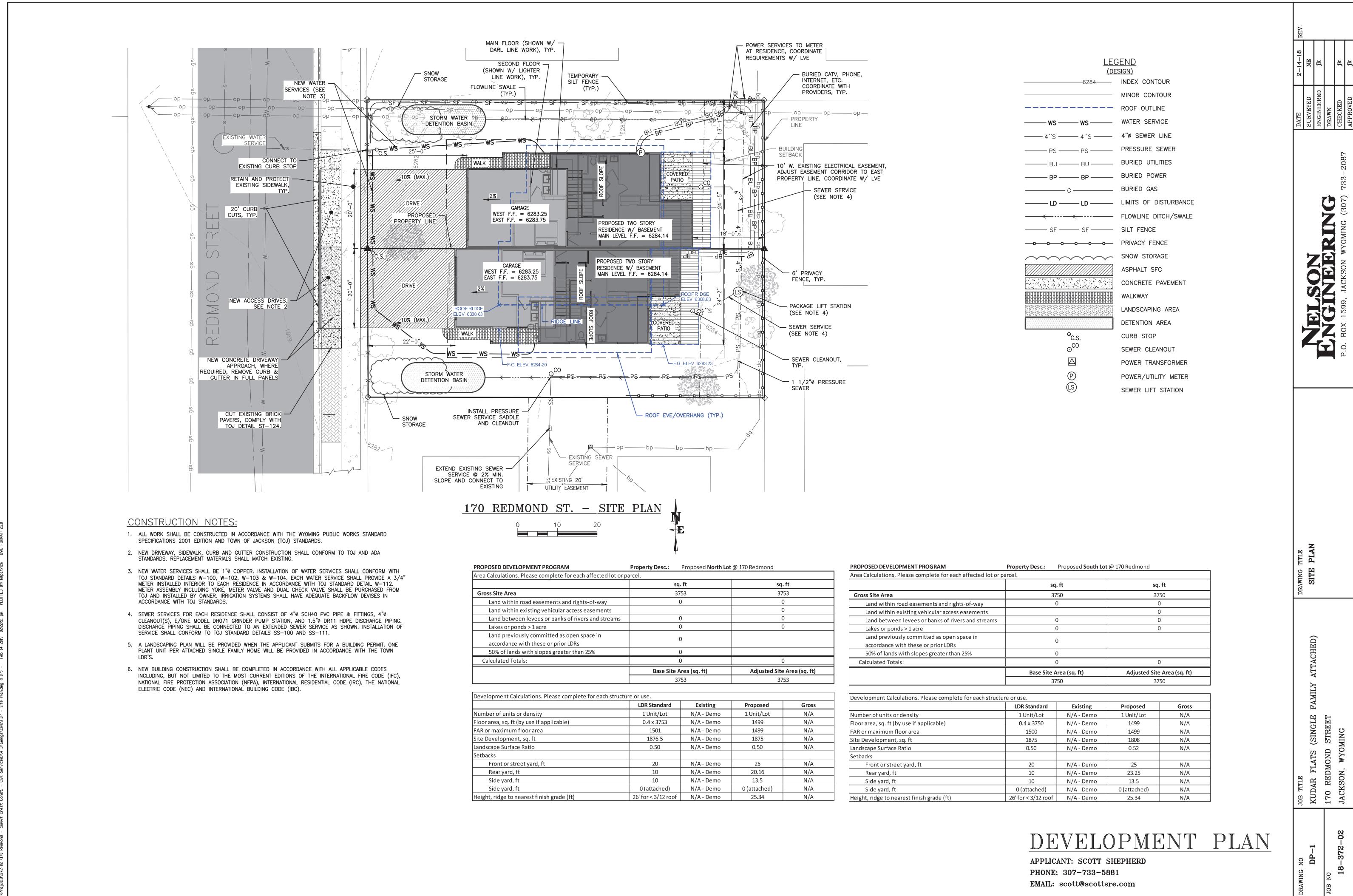
—	= PROPERTY LINE
— - - - -	= SETBACK LINE
— X — X —	= FENCE LINE
-----	= EDGE OF GRAVEL
=====	= BACK OF CURB WITH FLOWLINE
— - - - -	= CENTERLINE OF ROAD
. . . . .	= CONCRETE SIDEWALK
(A)	= ASPEN TREE
(C)	= COTTONWOOD TREE
(D)	= DECIDUOUS TREE
—○—	= SIGN
●co	= CLEAN OUT
—●—pp	= POWER POLE
(P)	= POWER PANEL
■	= TELEPHONE PEDESTAL
◊	= FOUND REBAR WITH CAP
○	= FOUND PIPE

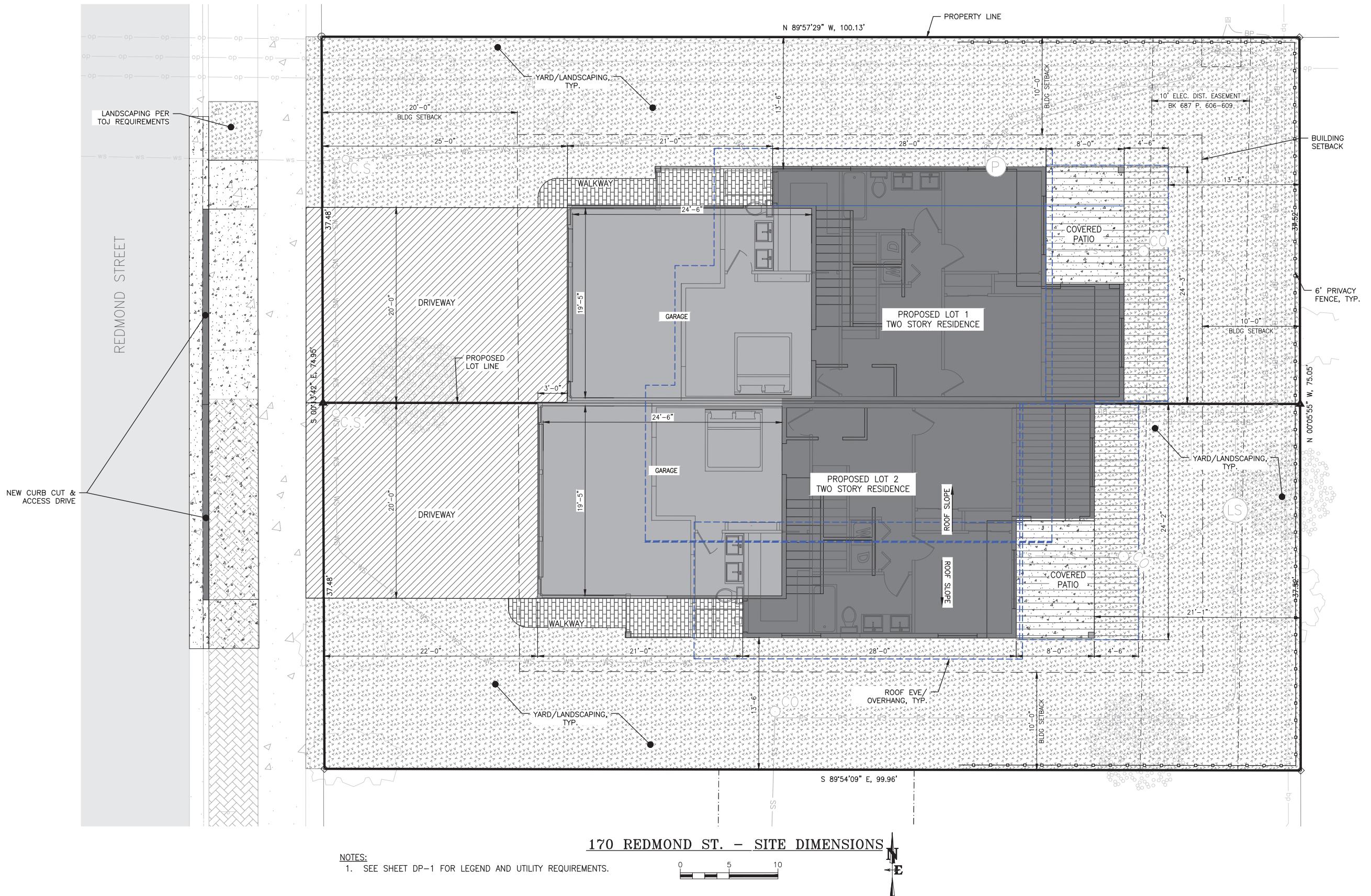
LOT 12 AND LOT 13  
7503 SF

SETBACKS:  
20 STREET  
10 SIDE  
15 REAR

VICINITY MAP  
pt. NW1/4NE1/4  
Section 34  
T41N, R116W  
Town of Jackson,  
Teton County, WY

EXISTING SITE	
DRAWING NO.	EX-1
KUDAR FLATS (SINGLE FAMILY ATTACHED)	
JOB NO	170 REDMOND STREET
JACKSON, WYOMING	
18-372-02	
NELSON ENGINEERING	
P.O. BOX 1589, JACKSON WYOMING (307) 733-2087	
SURVEYED	NE
ENGINEERED	jk
DRAWN	
CHECKED	jk
APPROVED	jk





# DEVELOPMENT PLAN

APPLICANT: SCOTT SHEPHERD  
PHONE: 307-733-5881  
EMAIL: scott@scottsre.com

NELSON ENGINEERING		DRAFTER	REV.
DRAWING NO	JOB TITLE		
DP-2	KUDAR FLATS (SINGLE FAMILY ATTACHED)	SITE DIMENSIONS	2-14-18
JOB NO	170 REDMOND STREET		SURVEYED NE
18-372-02	JACKSON, WYOMING		ENGINEERED JK
			DRAWN
			CHECKED JK
			APPROVED JK
			P.O. BOX 1569, JACKSON WYOMING (307) 733-2087

**zipkit**homes .com



## KUDAR FLATS

**170 REDMOND ST.  
JACKSON, WY83001**

**\* INTENDED USE TO BE OWNER OCCUPIED.**

**\* LOCAL JURISDICTION (AHJ) TO BE TOWN OF JACKSON.**

**\* ALL DESIGN CRITERIA TO MEET TOWN OF JACKSON.**

DESIGN INFORMATION:	
OCCUPANCY	RESIDENTIAL
BUILDING CATEGORY	SINGLE FAMILY ATTACHED
LOWER LEVEL FINISHED SQ FT	1,174
MAIN LEVEL FINISHED SQ FT	1,310
MAIN LEVEL DECKS OR PATIOS SQ FT	192
UPPER LEVEL FINISHED SQ FT	1,620
UPPER LEVEL DECKS OR PATIOS SQ FT	484
GARAGE SQ FT	868
TOTAL BUILDING SQ FT	4,104

## DEFERRED SUBMITTALS

SHEET INDEX	
SHEET	TITLE
COVER	COVER SHEET
A-1	PROJECT INFORMATION
A-2	GENERAL INFORMATION
A-3	ENERGY CODE INFORMATION
A-4	SITE PLAN
A-5	EXTERIOR PERSPECTIVE VIEWS
A-6	LOWER LEVEL FLOOR PLAN
A-7	MAIN LEVEL FLOOR PLAN
A-8	UPPER LEVEL FLOOR PLAN
A-9	WINDOW & DOOR SCHEDULES - LOWER LEVEL FLOOR
A-10	WINDOW & DOOR SCHEDULES - MAIN LEVEL FLOOR
A-11	WINDOW & DOOR SCHEDULES - UPPER LEVEL FLOOR
A-12	EXTERIOR ELEVATIONS - FRONT
A-13	EXTERIOR ELEVATIONS - BACK
A-14	EXTERIOR ELEVATIONS - RIGHT
A-15	EXTERIOR ELEVATIONS - LEFT
A-16	CROSS SECTIONS - LATERAL
A-17	CROSS SECTIONS - LONGITUDINAL
A-18	EXTERIOR SECTIONS AND DETAILS
A-19	TYP. FACTORY AND INSTALATION DETAILS
A-20	KITCHEN AND BATH CASEWORK
A-21	KITCHEN AND BATH CASEWORK
M-1	HVAC GENERAL NOTES, LEGENDS, AND SCHEDULES
M-2	HVAC PLANS
P-1	PLUMBING GENERAL NOTES, LEGENDS, AND SCHEDULES
P-2	LOWER LEVEL PLUMBING PLANS
P-3	UPPER LEVEL PLUMBING PLANS
P-4	PLUMBING RISER DIAGRAMS
E-1	ELECTRICAL GENERAL NOTES, LEGENDS, AND SCHEDULES
E-2	ELECTRICAL POWER WIRING PLANS
E-3	ELECTRICAL LIGHTING WIRING PLANS

<b>APPLICABLE CODES:</b>	
NATIONAL	2012 INTERNATIONAL RESIDENTIAL CODE
MECHANICAL	2015 INTERNATIONAL MECHANICAL CODE
PLUMBING	2015 INTERNATIONAL PLUMBING CODE
ELECTRICAL	2014 NATIONAL ELECTRICAL CODE - NFPA 70
ENERGY	2012 INTERNATIONAL ENERGY CONSERVATION CODE

DESIGN CRITERIA:	
SOIL - BEARING PRESSURE	3,500 PSF (BEARING) 900PSF (SKIN FRICTION)
WIND SPEED	90 MPH PER 3 SEC. GUST
SEISMIC - DESIGN CATEGORY	D
ROOF - DEAD LOAD	15 PSF
ROOF - SNOW LOAD	75 PSF
FLOOR - DEAD LOAD	15 PSF
FLOOR - LIVE LOAD	40 / 30 PSF
FROST DEPTH	34"

<b>PREFAB HOME MANUFACTURER:</b>	
NAME	TIMBERHAWK INC. DBA ZIP KIT HOMES
PHONE	(435) 340-1171
EMAIL	<a href="mailto:sales@zipkithomes.com">sales@zipkithomes.com</a>
WEBSITE	<a href="http://www.zipkithomes.com">www.zipkithomes.com</a>
PLANT LOCATION	5547 SOUTH 5TH AVENUE POCATELLO ID 83204

**GENERAL CONSTRUCTION NOTES**

- EGRESS WINDOWS MUST HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20", THE MINIMUM CLEAR HEIGHT SHALL BE 24". THE SILL HEIGHT SHALL NOT EXCEED 44" ABOVE THE FLOOR. ALL MUST BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF SEPARATE TOOLS.
- PROPER WORKING CLEARANCES MUST BE PROVIDED AND MAINTAINED ABOUT ALL ELECTRICAL EQUIPMENT.
- FURNACE COMPARTMENT CLEARANCES AND DOOR TO BE PER MANUFACTURER'S SPECIFICATIONS.
- ALL BATHS TO BE PROVIDED WITH MINIMUM 50 CFM EXHAUST FANS VENTED DIRECTLY TO THE OUTSIDE.
- ALL VENTING TO BE VENTED TO THE EXTERIOR OF THE HOME.
- ENCLOSED ATTICS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW. VENTILATING OPENINGS SHALL BE PROVIDED WITH CORROSION-RESISTANT WIRE MESH, WITH 1/8" MINIMUM TO 1/4" MAXIMUM OPENINGS. THE TOTAL NET FREE VENTILATION ARE SHALL BE NOT LESS THAN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE TOTAL AREA IS PERMITTED TO BE REDUCED TO 1 TO 300, PROVIDED AT LEAST 50 PERCENT AND NOT MORE THAN 80 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS AS AN ALTERNATIVE, THE NET FREE CROSS-VENTILATION AREA MAY BE REDUCED TO 1 TO 300 WHEN A VAPOR BARRIER HAVING A TRANSMISSION RATE NOT EXCEEDING 1 PERM IS INSTALLED ON THE WARM SIDE OF THE CEILING.
- ALL LOCKS TO BE UNLOCKABLE FROM THE INTERIOR WITHOUT THE USE OF A KEY.
- SERVICE DISCONNECTS TO BE LOCATED AT THE POINT OF SERVICE ENTRANCE.
- OPENINGS FROM A PRIVATE GARAGE DIRECTLY INTO A ROOM USED FOR SLEEPING PURPOSES SHALL NOT BE PERMITTED. OTHER OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1 3/8" IN THICKNESS OR EQUAL.
- IF A GARAGE IS BUILT ON SITE, THE GARAGE SHALL BE COMPLETELY SEPARATED FROM THE RESIDENCE AND ITS ATTIC BY MEANS OF 5/8" TYPE X SHEET ROCK OR EQUIVALENT APPLIED TO THE GARAGE SIDE. FIRE STOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS BETWEEN WALL AND CEILING AND BETWEEN WALL AND FLOOR CAVITIES. FIRE STOPPING SHALL CONSIST OF 2" NOMINAL LUMBER OR TWO THICKNESS' OF 1" NOMINAL LUMBER OR 23/32" PLYWOOD OR 3/4" PARTICLE BOARD. AN EQUIVALENT MATERIAL MUST BACK ALL JOINTS. ALL WALL AND CEILING FINISHES MUST HAVE A FLAME SPREAD CLASSIFICATION OF LESS THAN 200. THE SMOKE DENSITY SHALL NOT BE GREATER THAN 450.
- ALL LIVABLE ROOMS MUST BE PROVIDED WITH NATURAL LIGHT EQUAL TO 8 PERCENT OF GROSS FLOOR AREA. THOSE ROOMS SHALL ALSO BE PROVIDED NATURAL VENTILATION EQUAL TO 4 PERCENT OF GROSS FLOOR AREA. BATHROOMS MAY BE PROVIDED WITH MECHANICAL VENTILATION, WHICH HAS A RATE OF 50 CFM FOR INTERMITTENT VENTILATION OR 20 CFM FOR CONTINUOUS VENTILATION. VENTILATION AIR IS TO BE EXHAUSTED DIRECTLY TO THE OUTSIDE.
- DESIGN AND CONSTRUCTION OF THE FOUNDATION, PORCHES, DECKS, GARAGES OR OTHER AUXILIARY STRUCTURE SHALL BE THE RESPONSIBILITY OF OTHERS AND SUBJECT TO APPROVAL BY THE APPLICABLE BUILDING INSPECTOR.
- ALL WINDOWS SHALL BE CERTIFIED FOR WIND PRESSURES OF 42.0 PSF AT END ZONES & 34.0 PSF AT INTERIOR ZONES CORRESPONDING TO 120 MPH (3 SEC. GUSTS).
- ALL DOORS, INCLUDING PATIO AND SLIDING GLASS DOORS, SHALL BE CERTIFIED FOR WIND PRESSURES OF -42.0 PSF (+31.5 PSF) FOR END ZONES AND -34.0 PSF (+31.5 PSF) FOR INTERIOR ZONES CORRESPONDING TO 120 MPH WIND (3 SEC. GUSTS).
- WIND DESIGN BASED ON A 15-FOOT MEAN ROOF HEIGHT.
- FOR HOMES LOCATED IN WIND-BORNE DEBRIS REGIONS (120 MPH - 3 SEC. GUSTS OR WITHIN 1 MILE OF COASTAL AREAS WHERE WIND SPEED IS 110 MPH OR GREATER) WINDOWS MUST BE PROVIDED WITH PROTECTION CONSISTING OF 7/16" RATED SHEATHING PANELS TO COVER THE OPENING AND #8x2 1/2" SCREWS TO BE SPACED AT 16" OC AROUND OPENINGS LESS THAN 4" WIDE, 12" OC FOR OPENINGS LESS THAN 6" WIDE AND 9" OC FOR OPENINGS LESS THAN 8" WIDE.
- FOUNDATION AND ANCHORAGE OF UNIT TO FOUNDATION MUST BE CAPABLE OF WITHSTANDING 230#/FT. VERTICAL UPLIFT LOAD ALONG EACH SIDEWALL AND 332# COMBINED SLIDING LOAD.

**A PERMANENT CERTIFICATE**

- SHALL BE POSTED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL LISTING THE PREDOMINANT R-VALUES OF INSULATION INSTALLED IN OR ON CEILING /ROOF, WALLS, FOUNDATION, (SLAB, BASEMENT WALL, CRAWLSPACE WALL AND /OR FLOOR) AND DUCTS OUTSIDE THE CONDITIONED SPACES; U-FACTORS OF WINDOWS, AND THE SOLAR HEAT GAIN COEFFICIENT OF WINDOWS. THE TYPE AND EFFICIENCY OF HEATING, COOLING AND SERVICE WATER HEATING EQUIPMENT SHALL ALSO BE LISTED. ---IRC N1101.9

**INSPECTIONS ARE REQUIRED:**

- FOR ALL STUCCO AND EIFS SYSTEMS. PROVIDE PRODUCT SPECIFICATIONS AND ICC EVALUATION REPORT (OR EQUAL) FOR ANY STUCCO OR EIFS SYSTEM USED. -IRC R109.1.5

**BASEMENT NOTES:**

- SHOW THAT EGRESS WINDOW WELLS ARE PROVIDED FOR BASEMENT EGRESS WINDOWS AND SUCH WINDOW WELLS SHALL PROVIDE A MINIMUM NET CLEAR OPENING OF 9 SQ FT WITH A MINIMUM DIMENSION OF 36 INCHES. SHOW A PERMANENT LADDER IF WINDOW WELL IS MORE THAN 44 INCHES DEEP. -IRC R31 0.2

**GENERAL BUILDING NOTES**

- BUILDING SHALL BE LOCATED WITHIN SETBACKS REQUIRED FROM KNOWN OR ASSUMED PROPERTY LINES AS PER LOCAL BUILDING AND ZONING DEPARTMENT REQUIREMENTS.
- BUILDING TO BE INSTALLED ON A PERMANENT FOUNDATION.
- BUILDING IS NOT DESIGNED FOR OR APPROVED FOR "WILDLAND-URBAN INTERFACE FIRE AREA".
- BUILDING NOT TO BE INSTALLED WHERE SNOW, WIND OR SEISMIC CRITERIA EXCEEDS THOSE LISTED IN THE DESIGN CRITERIA OF THIS HOME.
- BUILDING NOT TO BE INSTALLED IN A FLOOD PRONE ZONE.
- ALL MANUFACTURERS' SPECIFICATIONS SHALL BE MET WHEN THEIR MATERIALS ARE USED.
- ON-SITE CONTRACTOR SHALL COMPARE ALL DIMENSIONS AND CONDITIONS OF DRAWINGS AT THE SITE.
- ALL OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE MODULAR HOME MANUFACTURER AND DESIGNER BEFORE PROCEEDING.
- IT SHALL BE THE RESPONSIBILITY OF THE ONSITE CONTRACTOR TO COORDINATE WITH ALL TRADES ON ANY ITEMS THAT ARE TO BE INTEGRATED INTO THE STRUCTURAL SYSTEM THAT ARE NOT INDICATED ON THE DRAWINGS.
- ALL DETAILS, SECTIONS AND NOTES SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL APPLY TO SIMILAR SITUATIONS ELSEWHERE UNLESS NOTED OR SHOWN OTHERWISE.
- ONSITE CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS TO MATCH DETAILS ON THE DRAWINGS.
- ONSITE CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY AND PROTECTION AROUND THE JOBSITE.
- ALL NAILING AND FASTENING TO CONFORM TO TABLE R602.3(1) FASTENER SCHEDULE FOR STRUCTURAL MEMBERS OF THE 2015IRC BUILDING CODE.
- BATHROOM VENT FANS TO BE DUCTED TO THE EXTERIOR, 50 CFM MINIMUM.
- ALL PLUMBING IS TYPICALLY STUBBED THROUGH THE FLOOR OF EACH MODULE. MATERIALS AND LABOR TO CONNECT PLUMBING BELOW THE FLOOR LEVEL TO BE PROVIDED ONSITE BY OTHERS

**EARTHWORK AND FOUNDATIONS**

- GEOTECHNICAL REPORT: PERFORM SOILS WORK COMPLYING WITH FOUNDATION DESIGN BASED ON RECOMMENDATIONS IN SOILS REPORT. SEE STRUCTURAL COVER SHEET (SCS) FOR SOILS REPORT NUMBER AND DATE.
- ALLOWABLE FOUNDATION DESIGN VALUES PER GEOTECHNICAL REPORT: VALUES BELOW MAY BE INCREASED 33 PERCENT FOR TRANSIENT LOADING.
- BEARING CAPACITY: SEE PROJECT DESIGN CRITERIA
- PASSIVE LATERAL BEARING PRESSURE: SEE PROJECT DESIGN CRITERIA
- COEFFICIENT OF FRICTION: SEE PROJECT DESIGN CRITERIA
- GRADING, EXCAVATIONS, BACKFILL AND COMPACTION OF BACKFILL: COMPLY WITH GEOTECHNICAL REPORT AND REQUIREMENTS OF GOVERNING CODE AUTHORITY AND PERFORMED ONLY UNDER CONTINUOUS SPECIAL INSPECTION OF GEOTECHNICAL ENGINEER.
- PREPARATION OF SOIL UNDER BUILDING PAD: SEE GEOTECHNICAL REPORT FOR OVER-EXCAVATION OF EXISTING SOIL AND INSTALLATION OF PROPERLY COMPACTED BACKFILL.
- FOUNDATION EXCAVATIONS: FOUNDATIONS ARE TO BEAR ON FIRM EXISTING SOIL OR APPROVED COMPACTED FILL AS INDICATED IN GEOTECHNICAL REPORT. EXCAVATIONS ARE TO BE INSPECTED BY GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF REINFORCING STEEL AND FORMWORK. ENSURE EXCAVATIONS ARE CLEANS, DRY AND FREE OF DEBRIS OR LOOSE SOIL. SLOPE SIDES OF EXCAVATION NOT LESS THAN MINIMUM SLOPE INDICATED IN GEOTECHNICAL REPORT. CAST CONCRETE DIRECTLY AGAINST EXCAVATED SURFACES.
- BACKFILLING OF RETAINING WALLS: PLACE AFTER COMPLETION AND INSPECTION OF WATERPROOFING. ADEQUATELY SHORE RETAINING WALLS DURING BACKFILL OPERATION. UNLESS ADEQUATELY SHORED, DO NOT PLACE BACKFILL BEHIND BUILDING STRUCTURE RETAINING WALLS (EXCLUDING SITE RETAINING WALLS) UNTIL CONCRETE AT ELEVATED FLOOR LEVELS ADJACENT TO WALLS ARE COMPLETELY POURED (IN AREA) AND HAVE CURED FOR AT LEAST 7 DAYS.
- WATER EXPOSURE AT BUILDING PERIMETER FOOTINGS: AT AREAS WHERE SIDEWALKS OR PAVING DO NOT IMMEDIATELY ADJOIN STRUCTURE, PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURE AT BUILDING PERIMETER. LANDSCAPE IRRIGATION IS NOT PERMITTED WITHIN FIVE FEET OF BUILDING PERIMETER FOOTINGS EXCEPT WHEN ENCLOSED IN PROTECTED PLANTERS WITH DIRECT DRAINAGE AWAY FROM STRUCTURE OR WHICH COMPLIES WITH APPLICABLE CODE. DISCHARGE FROM DOWN SPOUTS, ROOF DRAINS AND SCUPPERS IS NOT PERMITTED ONTO UNPROTECTED SOILS WITHIN FIVE FEET OF BUILDING PERIMETER. REFER TO GEOTECHNICAL REPORT FOR COMPLETE REQUIREMENTS.

**FIELD CONSTRUCTION NOTES**

- FIELD VERIFICATION: FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. PROMPTLY NOTIFY ARCHITECT (STRUCTURAL ENGINEER) IN CASE OF DISCREPANCIES.
- DESIGN INTENT: CONTRACT DOCUMENTS INDICATE DESIGN INTENT FOR STRUCTURE IN ITS COMPLETED STATE. THEY DO NOT INDICATE METHOD OF CONSTRUCTION. PROMPTLY NOTIFY ARCHITECT (STRUCTURAL ENGINEER), PRIOR TO PROCEEDING WITH WORK, IF DESIGN INTENT REQUIRES FURTHER CLARIFICATION.
- DEVIATIONS, MODIFICATIONS, AND SUBSTITUTIONS TO APPROVED STRUCTURAL DRAWINGS: MUST BE ACCEPTED IN WRITING BY ARCHITECT (STRUCTURAL ENGINEER) AND APPROVED BY GOVERNING CODE AUTHORITY. NO DEVIATION, MODIFICATION OR SUBSTITUTION WILL BE ACCEPTED VIA SHOP DRAWING REVIEW.
- PROCEDURES OF CONSTRUCTION: CONTRACTOR IS RESPONSIBLE FOR PROCEDURES OF CONSTRUCTION COMPLYING WITH NATIONAL, STATE, AND LOCAL SAFETY ORDINANCES. SITE VISITS (INCLUDING STRUCTURAL OBSERVATION) BY ARCHITECT (STRUCTURAL ENGINEER) DO NOT CONSTITUTE SUPERVISIONS OF METHODS OF CONSTRUCTION.
- PROTECTION OF UTILITIES: LOCATE EXISTING UTILITIES, INCLUDING THOSE NOT SHOWN ON CONTRACT DOCUMENTS, AND PROTECT THEM FROM DAMAGE. CONTRACTOR BEARS EXPENSE OF REPAIR OR REPLACEMENT OF UTILITIES IN CONJUNCTION WITH EXECUTION OF WORK.
- EXCAVATIONS: PROTECT STRUCTURE, ADJACENT STRUCTURES, ADJACENT PROPERTIES, STREETS, AND UTILITIES DURING EXCAVATION UTILIZING LAGGING, SHORING, UNDERPINNING AT SIDES AND RELATED PROCEDURES AS MAY BE REQUIRED. PROVIDE NECESSARY SUPPORTS FOR SOIL EXCAVATIONS. CONTRACTOR AND AFFECTED TRADES SHALL REFER TO GEOTECHNICAL REPORT FOR MORE INFORMATION.
- PROTECTION OF STRUCTURE: PROVIDE NECESSARY MEASURES TO PROTECT STRUCTURE DURING EXECUTION OF WORK.
- CONTRACTOR PROPOSED REVISIONS: WHERE A REVISION OF STRUCTURAL DESIGN OR CONNECTION IS PROPOSED BY CONTRACTOR TO ACCOMMODATE CONSTRUCTION TOLERANCES, CONSTRUCTION SEQUENCE AND/OR DIMENSION MODIFICATIONS, CONTRACTOR SHALL RETAIN A STRUCTURAL ENGINEER LICENSED IN APPLICABLE STATE TO PERFORM DESIGN. SUBMIT STAMPED AND SIGNED DESIGN DRAWINGS AND CALCULATIONS TO THE ARCHITECT (STRUCTURAL ENGINEER) FOR REVIEW AND THE GOVERNING CODE AUTHORITY FOR APPROVAL.
- ERECTION PLANS: DETERMINE PHASES OF WORK REQUIRING ERECTION PLANS ACCORDING TO APPLICABLE SAFETY REGULATIONS. MAINTAIN CERTIFIED COPIES OF ERECTION PLANS AT SITE DURING CONSTRUCTION.
- SHORING, BRACING, AND OTHER TEMPORARY SUPPORTS: DESIGN AND ERECT SHORING, BRACING, AND OTHER TEMPORARY SUPPORTS WHERE STRUCTURE HAS NOT ATTAINED DESIGN STRENGTH AND AS REQUIRED FOR SAFE ERECTION. ENSURE FLOOR, ROOF, AND WALL MEMBERS ARE SECURELY SHORED AND BRACED DURING CONSTRUCTION. PROVIDE SHORING AT ELEVATED BEAMS AND SLABS SUPPORTING CONCRETE OR MASONRY WALLS DURING AND AFTER WALL POUR UNTIL WALL ATTAINS DESIGN STRENGTH.
- TEMPORARY LOADING: ENSURE CONSTRUCTION LOADS DO NOT EXCEED INDICATED DESIGN LIVE LOAD VALUES. NOTIFY AFFECTED SUB-CONTRACTOR TRADES OF THESE DESIGN LOAD LIMITS.
- FABRICATION, SHIPMENT, AND ERECTION OF STRUCTURAL STEEL: ENSURE STRESSES OCCURRING DURING FABRICATION, SHIPMENT, AND ERECTION OF STRUCTURAL STEEL ARE TEMPORARY AND ARE LESS THAN DESIGN AND ALLOWABLE STRESS CAPACITIES OF INDIVIDUAL MEMBERS. DO NOT IMPAIR FULL DESIGN AND LOAD CARRYING CAPACITY OF MEMBERS DUE TO FABRICATION, SHIPMENT, OR ERECTION. CONTRACTOR IS RESPONSIBLE FOR CONTROLLING ERECTION SEQUENCE, ERECTION PROCEDURE, TEMPERATURE DIFFERENTIALS AND WELD SHRINKAGE TO MINIMIZE RESIDUE STRESSES. PROVIDE ADDITIONAL MATERIALS FOR THE ERECTION OF STRUCTURAL STEEL SUCH AS TEMPORARY BRACING AND GUY CABLES AS MAY BE NECESSARY AT NO ADDITIONAL COST. REMOVE THESE MATERIALS UNLESS APPROVED IN WRITING BY OWNER. DO NOT TIGHTEN BOLTS IN TYPICAL BEAM TO COLUMN CONNECTIONS FOR ERECTION PURPOSES.
- SECURING REINFORCING STEEL, DOWELS, ANCHOR BOLTS AND EMBEDS: FIRMLY SUPPORT AND ACCURATELY PLACE COMPLYING WITH ACI STANDARDS PRIOR TO CASTING CONCRETE OR GROUT IN MASONRY WALLS. USE TIES AND SUPPORT BARS IN ADDITION TO REINFORCING STEEL SHOWN WHERE NECESSARY. NO WELDING OF REINFORCING STEEL, INCLUDING TACK WELDING, IS PERMITTED UNLESS OTHERWISE ACCEPTED IN WRITING BY ARCHITECT (STRUCTURAL ENGINEER). PROVIDE PLASTIC OR PLASTIC COATED CHAIRS AND SPACERS WHEN RESTING ON EXPOSED SURFACES.
- COORDINATION RESPONSIBILITY: CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF WORK INCLUDING THAT OF SUB-CONTRACTOR TRADES.
- SUBMITTALS: SUBMIT TO ARCHITECT (STRUCTURAL ENGINEER) AS INDICATED ON STRUCTURAL DRAWINGS AND SPECIFICATIONS. GENERAL CONTRACTOR SHALL REVIEW SUBMITTAL FOR COMPLETENESS AND COMPLIANCE WITH CONTRACT DOCUMENTS PRIOR TO SUBMISSION.

**ABBREVIATIONS:**

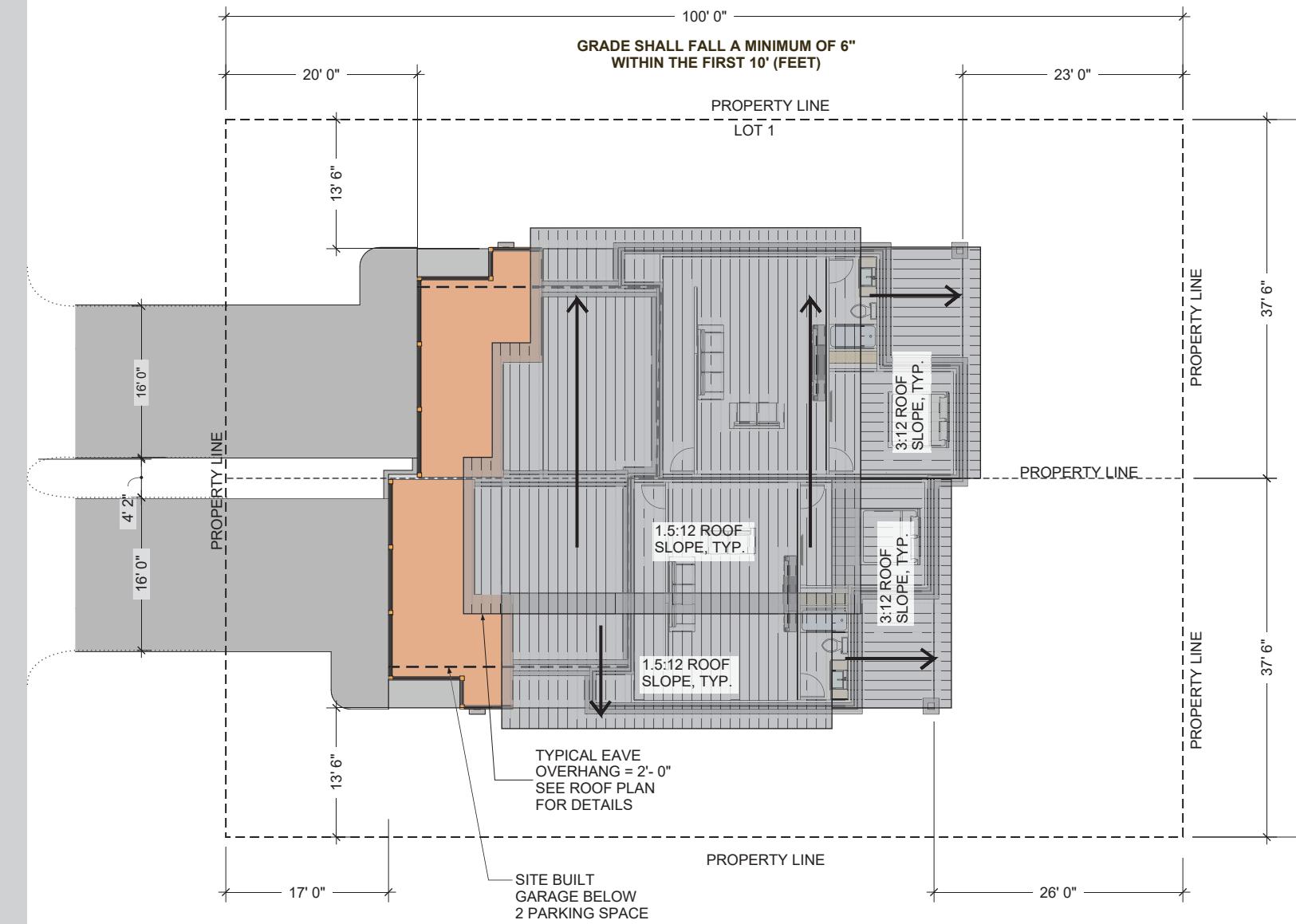
AB = ANCHOR BOLT  
 ABV = ABOVE  
 ADD'L = ADDITIONAL  
 ALT = ALTERNATE  
 AWA = ALIGN WITH ABOVE  
 BEW = BOTTOM EACH WAY  
 BLK = BLOCK  
 BLKG = BLOCKING  
 BLW = BELOW  
 BM = BEAM  
 BN = BOUNDARY NAILING  
 BRG = BEARING  
 BTM = BOTTOM  
 BTWN = BETWEEN  
 BTR = BETTER  
 CBC = CALIFORNIA BUILDING CODE  
 CLG = CEILING  
 CONC = CONCRETE  
 DBL = DOUBLE  
 DF = DOUGLAS FIR  
 DIA = DIAMETER  
 DJ = DECK JOIST  
 DP = DEEP  
 DR = DROP  
 DW = DISHWASHER  
 EA = EACH  
 EI = EXPANSION INDEX  
 EMBED = EMBEDMENT  
 EN = EDGE NAILING  
 EW = EACH WAY  
 EWB = ENGINEERED WOOD BEAM  
 EXT = EXTERIOR  
 FA = FROM ABOVE  
 FDN = FOUNDATION  
 FH = FULL HEIGHT  
 FJ = FLOOR JOIST  
 FL = FLUSH  
 FLR = FLOOR  
 FNGR = FINGER  
 FRMG = FRAMING  
 FT = FEET  
 FP = FIREPLACE  
 GA = GAGE  
 GLB = GLU-LAM  
 GT = GIRDER TRUSS  
 HDR = HEADER  
 HGR = HANGER  
 IBC = INTERNATIONAL BUILDING CODE  
 IN = INCH  
 INFO = INFOMATION  
 INT = INTERIOR  
 JST = JOIST  
 LSL = LAMINATED STRAND LUMBER  
 LVL = LAMINATED VENEER LUMBER  
 MAX = MAXIMUM  
 MFR = MANUFACTURER  
 MIN = MINIMUM  
 MULT = MULTIPLE  
 N/A = NOT APPLICABLE  
 N/P = NOT PROVIDED  
 O/C = ON CENTER  
 OHD = OVERHEAD DOOR  
 PI = PLASTICITY INDEX  
 PLT = PLATE  
 PLYWD = PLYWOOD  
 PNL = PANEL  
 PSL = PARALLEL STRAND LUMBER  
 PT = PRESSURE TREATED  
 REF = REFRIGERATOR  
 REV = REVISION  
 RF = ROOF  
 RO = ROUGH OPENING  
 RR = ROOF RAFTER  
 SHTG = SHEATHING  
 SIM = SIMILAR  
 SPN = SOLE PLATE NAILING  
 SQ = SQUARE  
 SQSH = SQUASH  
 STD = STANDARD  
 SW = SHEAR WALL  
 TP = TOP PLATE  
 TSL = TRIANGULAR STRAND LUMBER  
 TYP = TYPICAL  
 UC = UNDERCOUNTER  
 UBC = UNIFORM BUILDING CODE  
 UNO = UNLESS NOTED OTHERWISE  
 WWM = WELDED WIRE MESH  
 W/ = WITH  
 W/O = WITHOUT

**ENERGY CODE NOTES:**

1. PROVIDE AN ACCURATE LATEST VERSION OF RESCHECK FOR THIS HOME. ALTERNATIVE PROGRAMS MUST BE APPROVED BY THE BUILDING OFFICIAL.
2. PROVIDE ON THE APPROVED PLANS AS AN ALTERNATIVE TO A SUBMITTED RESCHECK A LIST OF ALL INSULATION AND FENESTRATION PRESCRIPTIVE REQUIREMENTS BY COMPONENT ( TABLE 402. 1.1) AND ALL MANDATORY HVAC / ELECTRICAL SYSTEM REQUIREMENTS MANUAL D & J CALCULATIONS & DESIGN ARE STILL REQUIRED.
3. PROVIDE AND INDICATE ON PLAN ALL LOCATIONS AND TYPE OF INSULATION TO BE INSTALLED.
4. INDICATE THAT NEW WOOD BURNING FIRE PLACES HAVE TIGHT FITTING FLUE DAMPERS ON DOORS AND OUTSIDE COMBUSTION AIR.
5. RECESSED LIGHTS INSTALLED IN CEILINGS ( BUILDING THERMAL ENVELOPE) SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN THE CONDITIONED AND UNCONDITIONED SPACES. ALL SUCH RECESSED LIGHTS MUST BE IC- RATED AND LABELED FOR CONFORMANCE TO AIR LEAKAGE AND SHALL BE SEALED OR CAULKED BETWEEN THE HOUSING AND THE CEILING.
6. PROVIDE THE MAKE, MODEL, BTU'S AND EFFICIENCY OF THE FURNACE(S) OR BOILER TO BE INSTALLED AND INDICATE THE SEER OF THE A/C CONDENSER(S) TO BE INSTALLED.
7. PROVIDE R-3 INSULATION OF ALL MECHANICAL SYSTEM PIPING WITH FLUID OVER 105 DEGREE'S AND BELOW 55 DEGREE'S.
8. ALL MECHANICAL VENTILATION OUTDOOR AIR DUCT INTAKES OR EXHAUST DUCT OUTLETS ( BATHROOM EXHAUST FANS ) MUST BE PROVIDED WITH AN AUTOMATIC OR GRAVITY CLOSER INSTALLED AT THE BUILDING'S THERMAL ENVELOPE.
9. INSTALLED INSULATION AND U VALUES MUST MATCH WHAT IS SHOWN ON PLANS AND RESCHECK.
10. ATTIC ACCESS PANELS MUST BE INSULATED AND WEATHER STRIPPED.
11. PLEASE INDICATE IF ANY DUCTS ARE TO BE LOCATED IN ATTIC SPACE AND OR CRAWL SPACE AND IF YES SUCH DUCT WORK MUST BE PRESSURE TESTED IN ACCORDANCE WITH 2012 IECC.
12. REVIEW WITH BUILDING OFFICIAL AND DETERMINE IF A BLOWER DOOR TESTING IS REQUIRED FOR THE AIR LEAKAGE. R 402.4.1.2 AND IF 3RD PARTY ENERGY CODE COMPLIANCE INSPECTIONS OF THERMAL ENVELOPE COMPONENTS ARE REQUIRED. R 402.4.1.1
13. ROOMS CONTAINING FUEL BURNING APPLIANCE WITH OPEN OUTSIDE COMBUSTION AIR SHALL BE SEALED AND INSULATED ( WALLS, FLOORS AND CEILINGS ) WITH INSULATION MEETING BASEMENT WALL R VALUE REQUIREMENT. IF INSULATION IS EXPOSED IT MUST BE COVERED WITH SHEETROCK OR OTHER APPROVED MATERIAL.

**BUILDING COMPONENTS THERMAL ENVELOPE R402: GENERAL PRESCRIPTIVE METHOD TO COMPLIANCE**

VAPOR RETARDER: CLASS I =POLY CLASS II =KRAFT-FACED INSULATION CLASS III = PAINT	FOLLOW IRC SECTION R702.7 OR IBC SECTION 1405.3 CLASS OF VAPOR RETARDER IS BASED UPON SELECTED METHODS OF INSULATING THE EXTERIOR WALLS OF THE STRUCTURE.
WINDOWS AND DOORS U-FACTOR = 0.32	R402.1.5 TOTAL UA ALTERNATIVE MAY BE USED TO LOWER THE U-FACTOR
SKYLIGHTS U-FACTOR = 0.55	R402.1.5 TOTAL UA ALTERNATIVE MAY BE USED TO LOWER THE U-FACTOR
CEILING INSULATION WITH ATTIC SPACE = R49	R402.2.1 REDUCTION TO R38 WHEREVER THE FULL HEIGHT OF UNCOMPRESSED R-38 EXTENDS OVER THE WALL TOP PLATE AT THE EAVES.
CEILING INSULATION WITHOUT ATTIC SPACE = R-49	R402.2.2 REDUCTION TO R30 PROVIDED WHEN ROOF/CEILING ASSEMBLIES DON'T HAVE SUFFICIENT SPACE.
WOOD FRAMED WALL INSULATION : 2X6 WALL = R20/5	R20 IN THE CAVITY OF THE WALL AND R5 CONTINUOUS INSULATION. WALLS WITH STRUCTURAL SHEATHING SEE SECTION R402.2.7 FOR REDUCTION
WOOD FRAMED WALL INSULATION: 2X4 WALL = R13/10	R13 IN THE CAVITY OF THE WALL AND R10 CONTINUOUS INSULATION. WALLS WITH STRUCTURAL SHEATHING SEE SECTION R402.2.7 FOR REDUCTION
MASS WALLS R-19/21	DEFINED & REVIEWED BASED UPON FORMULA FROM SECTION 402.2.5
FLOOR INSULATION = R38	SEE SECTION 402.2.8 FOR DEFINITION AND EXCEPTION
BASEMENT WALL INSULATION = R-15/19	SEE SECTION 402.2.9 FOR DEFINITION R15 CONTINUOUS ON EITHER SIDE OR R19 ON INTERIOR SIDE. SEE FOOTNOTES IN R402.1.2 FOR ALTERNATIVES
CONCRETE SLAB ON GRADE INSULATION = R10/4FT	SEE SECTION R402.2.10 INSULATION DEPTH SHALL BE DEPTH OF THE FOOTING MINIMUM OF 4 FEET.
CRAWL SPACE WALL INSULATION = R15/19	SEE SECTION R402.2.11 FOR DEFINITION R15 CONTINUOUS ON EITHER SIDE OR R19 ON INTERIOR SIDE.
FENESTRATION AIR LEAKAGE: WINDOWS, SLIDING DOORS, SKYLIGHTS	<= 0.3 CFM/SF EXCEPTION FOR SITE BUILT WINDOWS, SKYLIGHTS, AND DOORS.
FENESTRATION AIR LEAKAGE: SWINGING DOORS	<= 0.5 CFM/SF EXCEPTION FOR SITE BUILT DOORS.
AIR LEAKAGE: THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE.	ALL PRODUCTS INSTALLED IN ACCORDANCE WITH MANUFACTURES INSTRUCTIONS AND BE LABELED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2015 IECC.
FIREPLACES NEW WOOD-BURNING UNITS	SEE SECTION R402.4.2 INFORMATION ON TIGHT FITTING DOORS AND LABELS REQUIRED.
PROGRAMMABLE THERMOSTATS REQUIRED FOR ALL HEATING AND COOLING EQUIPMENT INSTALLED IN A DWELLING UNIT.	SEE SECTION R403.1.1: THERMOSTAT TO HAVE DAILY SCHEDULES AND TEMPERATURE SETBACK FOR SCHEDULED TIMES OF THE DAY.
DUCT INSULATION: ATTIC SPACES R8 WHEN 3" DIAMETER OR GREATER	SEE SECTION R403.3.1 FOR EXCEPTION WHERE DUCTS ARE COMPLETELY WITHIN THE BUILDING THERMAL ENVELOPE.
DUCT INSULATION: ATTIC SPACES R6 WHEN LESS THAN 3" DIAMETER	SEE SECTION R403.3.1 FOR EXCEPTION WHERE DUCTS ARE COMPLETELY WITHIN THE BUILDING THERMAL ENVELOPE.
SEALING: MANDATORY FOR DUCTS, AIR HANDLERS AND FILTER BOXES.	SEE SECTION R403.3.2 FOR EXCEPTIONS.
HOT WATER BOILER OUTDOOR TEMPERATURE SETBACK:	SEE SECTION R403.2 HOT WATER BOILERS THAT SUPPLY HEAT TO THE BUILDING THROUGH ONE OR TWO-PIPE HEATING SYSTEMS SHALL HAVE AN OUTDOOR SET-BACK CONTROL THAT LOWERS THE TEMPERATURE BASED ON OUTDOOR TEMPERATURE.
MECHANICAL SYSTEM PIPING INSULATION: MANDATORY	SEE SECTION R403.4 MECHANICAL PIPING CARRYING FLUIDS ABOVE 105 F OR BELOW 55 F SHALL BE INSULATED WITH R3 MINIMUM.
CIRCULATING SYSTEMS / HEAT TRACE SYSTEMS/ DEMAND RECIRCULATION SYSTEMS:	SEE SECTION R403.5.1.1, R403.5.1.2, R403.5.2 FOR INFORMATION ON OPERATIONS AND CONTROLS FOR PUMPS AND SPECIFIC ELECTRIC HEAT TRACE SYSTEMS.
HOT WATER PIPE INSULATION REQUIRED TO BE R3	SEE SECTION R403.5.3 FOR LIST OF REQUIRED PIPING THAT REQUIRES R3
MECHANICAL VENTILATION: THE BUILDING SHOULD BE PROVIDED WITH MECHANICAL VENTILATION OR APPROVED METHOD PER REQUIREMENTS.	SEE SECTION R403.6 AND R403.6.1 FOR DEFINITIONS AND REFER THE 2015 IRC SECTIONS M1507 FOR SYSTEM DESIGN AND REQUIREMENTS.
SYSTEMS SERVING MULTIPLE DWELLING UNITS:	SEE SECTION R403.8 SHALL COMPLY WITH SECTIONS C403 AND C404 OF THE IECC – COMMERCIAL PROVISIONS IN LIEU OF SECTION R403
SNOW MELT SYSTEMS AND ICE SYSTEM CONTROLS:	SEE SECTION R403.9 AUTOMATIC CONTROLS SHUTTING SYSTEM WHEN PAVEMENT TEMPERATURE >50 F AND NO PRECIPITATIONS FALLING, AUTOMATIC OR MANUAL CONTROL TO SHUTOFF AS OUTDOOR TEMP > 40 F
POOLS/PERMANENT & PORTABLE SPAS:	SEE SECTIONS R403.10 THROUGH R403.12 HEATERS, TIME SWITCHES, COVERS, ENERGY CONSUMPTION.
EQUIPMENT SIZING AND EFFICIENCY RATING	SEE SECTION R403.7 AND REFER TO IRC M1401.3
LIGHTING EQUIPMENT	SEE SECTION R404.1: 75% OF PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS OR NOT LESS THAN 75% OF PERMANENTLY INSTALLED FIXTURES SHALL CONTAIN ONLY HIGH-EFFICACY LAMPS. EXCEPTION TO LOW VOLTAGE LIGHTING.
FUEL GAS LIGHTING SYSTEMS:	SEE SECTION R404.1.1: FUEL GAS LIGHTING SYSTEMS SHALL NOT HAVE CONTINUOUSLY BURNING PILOT LIGHTS.



SITE ADDRESS:  
170 REDMOND ST.  
JACKSON, WY 83001

UTILITY CONNECTIONS:

1. SEWER, WATER AND GAS LINES MUST BE BURIED UNDERGROUND.
2. FOLLOW CODE REQUIREMENTS FOR SLOPING AND BEDDING OF PIPING.
3. PLACE AND CONTACT FILL AS PER CODE.
4. ALL OTHER CONNECTIONS TO INCLUDE PHONE AND CABLE MUST BE BURIED AS PER CODE AND HOA REQUIREMENTS IF APPLICABLE.
5. WATER LINE TO BE 1" PIPE SPECIFIED TO COMPLY WITH ISD REQUIREMENTS. PROVIDE BACK-FLOW PREVENTION DEVICE.
6. SEWER LINE TO BE 4" PIPE SPECIFICATION TO COMPLY WITH ISD REQUIREMENTS. PROVIDE CLEAN-OUT PER CODE REQUIREMENTS.

SLOPING AND GRADING:

1. PROVIDE FINAL GRADE AFTER BACKFILL TO MAINTAIN ADEQUATE DRAINAGE AWAY FROM RESIDENCE.
2. EXCAVATION CONTRACTOR SHALL MINIMIZE IMPACT TO EXISTING VEGETATION.
3. EXCESS FILL SHALL BE REMOVED FROM JOBSITE AND DISPOSED OF AS PER LOCAL JURISDICTION.
4. AFTER CONSTRUCTION IS COMPLETE, ALL DAMAGED GRASS AREAS WILL BE RESEADED.

ADDITIONAL SITE PLAN NOTES: THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FT. SURFACE WATER SHALL DRAIN AWAY FROM THE HOUSE AT ALL POINTS. DIRECT THE DRAINAGE WATER TO THE STREET OR TO AN APPROVED DRAINAGE COURSE BUT NOT ONTO NEIGHBORING PROPERTIES. IRC R4013



SITE PLAN  
SCALE: NTS

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REVISION	ISSUE DATE	CLIENT	FLOOR PLAN	DESIGNERS	MODULAR HOME BUILDER	PLANT LOCATION	SHEET TITLE
	February 14, 2019	KUDAR FLATS 170 REDMOND ST. JACKSON, WY 83001	KUDAR FLATS	CHRIS JAUSSI BRIAN DAVIDSON CHAD ANDERSON	TIMBERHAWK INC. DBA ZIP KIT HOMES	ZIP KIT HOMES 5547 SOUTH 5TH AVE POCATELLO ID 83204	SITE PLAN

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VICINITY MAP  
SCALE: NTS

A-4



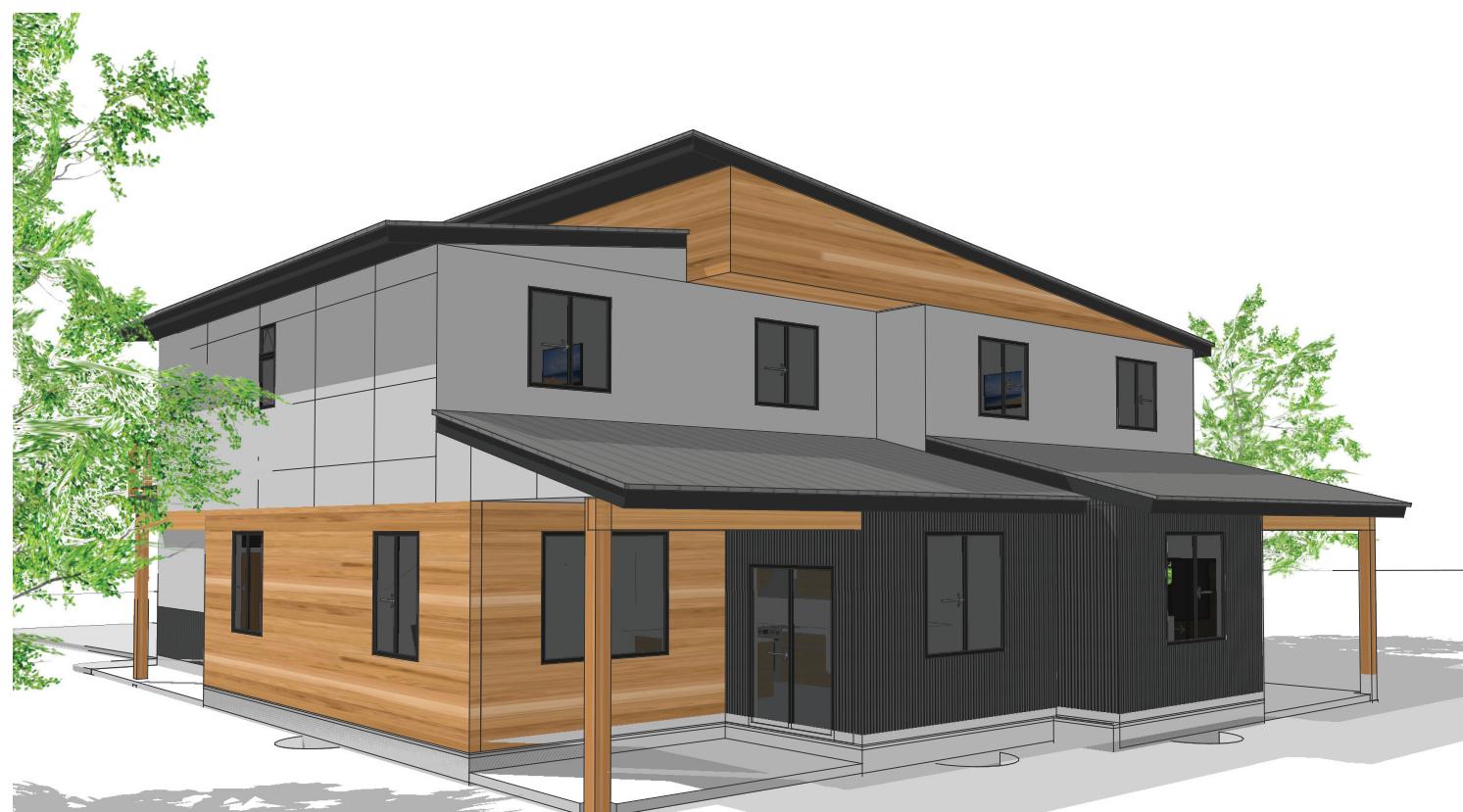
**FRONT RIGHT VIEW**

SCALE: NTS



**FRONT LEFT VIEW**

SCALE: NTS



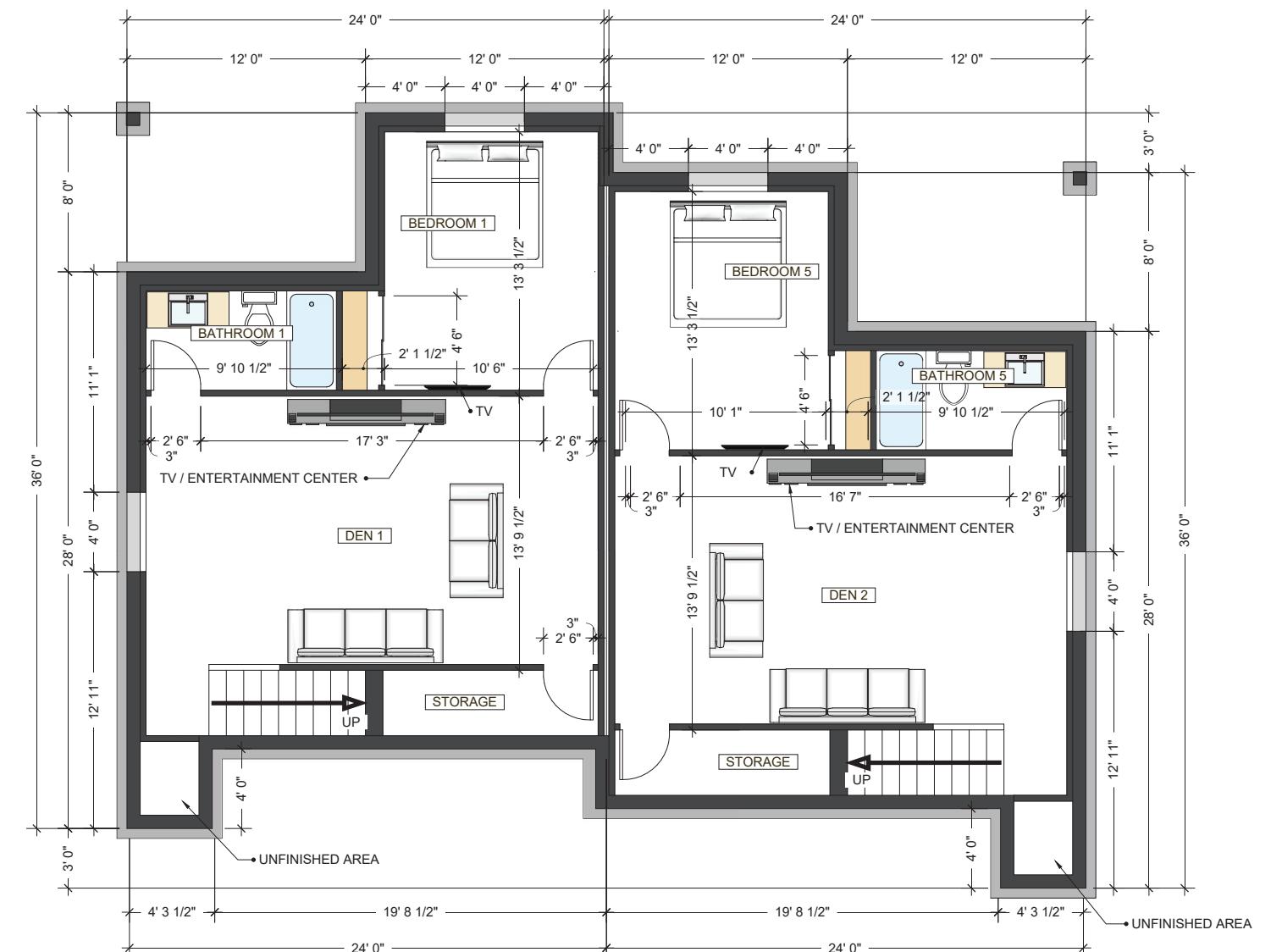
**BACK RIGHT VIEW**

SCALE: NTS



**BACK LEFT VIEW**

SCALE: NTS



## LOWER LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

REVISION	ISSUE DATE	CLIENT	FLOOR PLAN	DESIGNERS	MODULAR HOME BUILDER	PLANT LOCATION	SHEET TITLE	SHEET
	February 14, 2019	KUDAR FLATS 170 REDMOND ST. JACKSON, WY 83001	KUDAR FLATS	CHRIS JAUSSI BRIAN DAVIDSON CHAD ANDERSON	TIMBERHAWK INC. DBA ZIP KIT HOMES	ZIP KIT HOMES 5547 SOUTH 5TH AVE POCATELLO ID 83204	LOWER LEVEL FLOOR PLAN	A-6

### WINDOWS & VENTILATION

- MINIMUM WINDOW AREA SHALL EQUAL NOT LESS THAN 8% OF THE FLOOR AREA OF THE ROOM UNLESS ARTIFICIAL LIGHT IS PROVIDED CAPABLE OF PRODUCING AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES. -IRC R303
- NATURAL VENTILATION EQUALING 4% OF THE FLOOR AREA SHALL BE THROUGH WINDOWS, DOORS, LOUVERS OR OTHER APPROVED OPENINGS TO THE OUTDOORS UNLESS AN APPROVED MECHANICAL VENTILATION SYSTEM IS PROVIDED CAPABLE OF PRODUCING 0.35 AIR CHANGES PER HOUR IN THE ROOM OR A WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM IS INSTALLED. -IRC R303
- THE OPENABLE WINDOW AREA IN BATHROOMS, WATER CLOSET COMPARTMENTS, AND OTHER SIMILAR ROOMS SHALL NOT BE LESS THAN 1 1/2 SQ. FT. UNLESS A MECHANICAL VENTILATION SYSTEM CAPABLE OF PRODUCING 50 CFM FOR INTERMITTENT OPERATION OR 20 CFM FOR CONTINUOUS OPERATION IS PROVIDED. VENTILATION AIR SHALL BE EXHAUSTED DIRECTLY TO THE OUTSIDE. -IRC R303.3

### GARAGE NOTES:

- SHOW NOT LESS THAN 1/2 INCH GYPSUM BOARD ON THE GARAGE SIDE OF THE WALL AND CEILING SEPARATING A GARAGE AND A DWELLING. WHERE THE SEPARATION IS A FLOOR- CEILING ASSEMBLY THE ASSEMBLY AND THE STRUCTURE SUPPORTING THE SEPARATION SHALL BE PROTECTED WITH NOT LESS THAN 5/8 INCH TYPE X GYPSUM BOARD GOD FORBID THE CEILING. -IRC R309.2 AND R302.5
- DOORS LEADING FROM DWELLINGS TO THE GARAGE SHALL BE 1 3/8" THICK SOLID CORE OR 20 MINUTE RATED AND MUST BE SELF-CLOSING DOORS SHALL NOT OPEN INTO A SLEEPING ROOM. -IRC R309.1

### STAIRS AND GUARDRAILS:

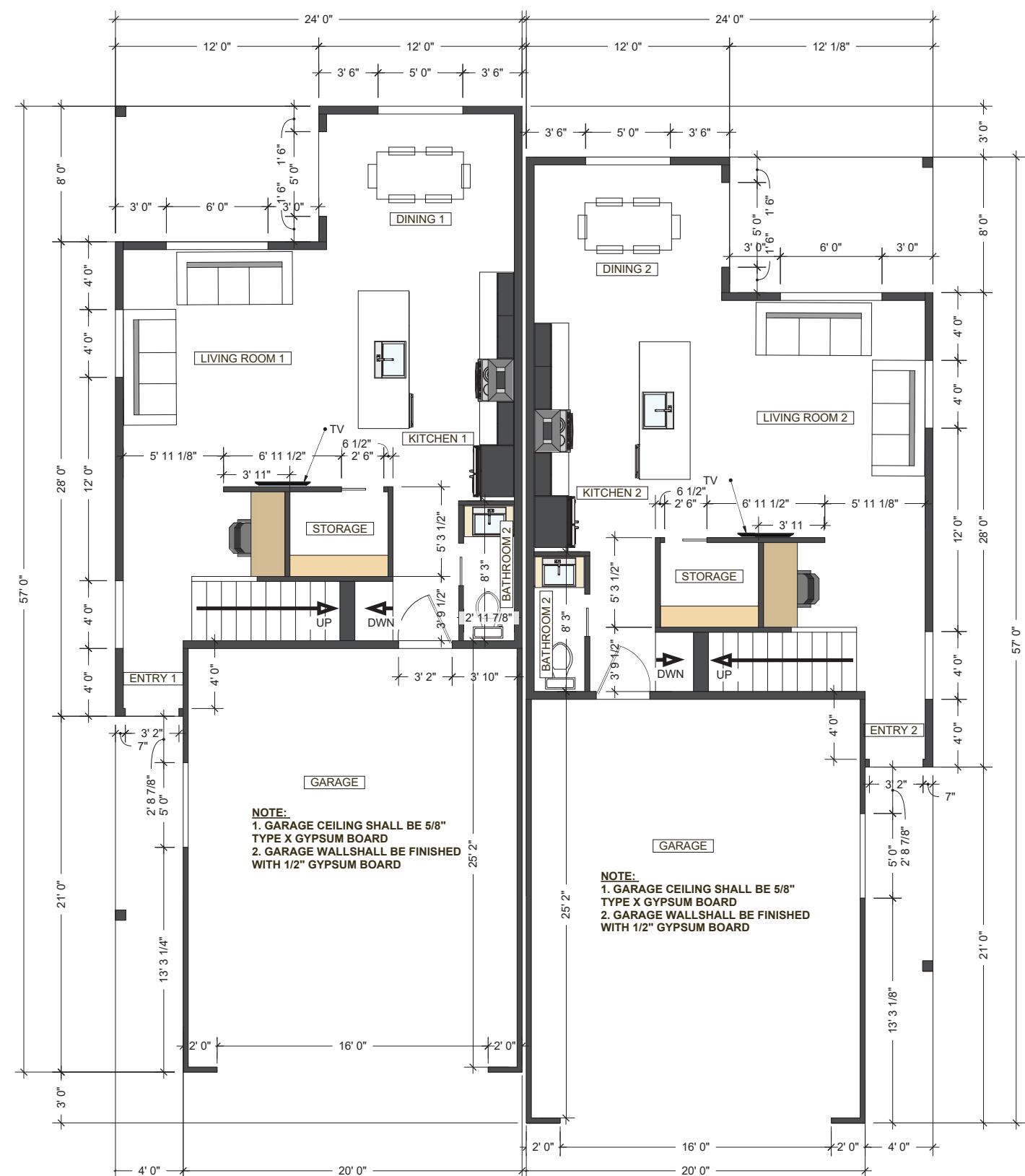
- STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. HANDRAILS SHALL NOT PROJECT MORE THAN 4.5 INCHES ON EITHER SIDE. -IRC 311.7.
- THE TOPS OF HANDRAILS SHALL BE PLACED BETWEEN 34 INCHES AND 38 INCHES ABOVE THE NOSING OF THE TREADS. THEY SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS. THE HANDGRIP PORTION OF HANDRAILS SHALL BE NOT LESS THAN 11/4 INCHES NOR MORE THAN 2-5/8 INCHES IN CROSS-SECTIONAL DIMENSION OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1.5 INCHES BETWEEN THE WALL AND THE HANDRAIL. -IRC R31 1.7.7.
- ALL UNENCLOSED FLOOR AND ROOF OPENINGS, OPEN AND GLAZED SIDES OF LANDINGS AND STAIRS, BALCONIES AND PORCHES MORE THAN 30 INCHES ABOVE GRADE AND ROOFS USED FOR OTHER THAN SERVICE OF THE BUILDING SHALL BE PROTECTED BY A GUARD (AKA "GUARDRAIL"). GUARDS SHALL NOT BE LESS THAN 36 INCHES IN HEIGHT. OPEN GUARDS SHALL HAVE INTERMEDIATE RAILS OR A REPORT ORNAMENTAL PATTERN SUCH THAT NO SPHERE 4 INCHES IN DIAMETER CAN PASS THROUGH. -IRC R31
- THE MINIMUM HEADROOM IN ALL PARTS OF A STAIRWAY SHALL NOT BE LESS THAN 6'-8" MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM. -IRC R31 1.7.2
- STAIRWAY RISERS SHALL NOT EXCEED 8 INCHES AND TREAD SHALL NOT BE LESS THAN 9 INCHES. STATE AMENDMENT TO THE IRC. IF OPEN RISERS ARE PROVIDED, THE OPENINGS SHALL BE LESS THAN 4". -IRC 311.7.4
- LANDINGS SHALL HAVE A MINIMUM DIMENSION MEASURED IN THE DIRECTION OF TRAVEL OF 36 INCHES. -IRC R311 AND R31 17.5
- SHOW 12 GYPSUM BOARD ON WALLS AND SOFFITS UNDER A STAIRWAY WITH ENCLOSED ACCESSIBLE SPACE. -IRC R31 1.2.2

### STAIR TREAD NOSING:

- THE RADIUS OF CURVATURE AT THE LEADING EDGE OF THE TREAD SHALL BE NO GREATER THAN 9/16 INCH (914.3 MM). A NOSING NOT LESS THAN 3/4 INCH (19 MM) BUT NOT MORE THAN 1 1/4 INCHES (32 MM) SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS. THE GREATEST NOSING PROJECTION SHALL NOT EXCEED THE SMALLEST NOSING PROJECTION BY MORE THAN 3/8 INCH (9.5 MM) BETWEEN TWO STORIES, INCLUDING THE NOSING AT THE LEVEL OF FLOORS AND LANDINGS.
- A NOSING IS NOT REQUIRED WHERE THE TREAD DEPTH IS A MINIMUM OF 10 INCHES (254 MM).
- THE OPENING BETWEEN ADJACENT TREADS IS NOT LIMITED ON STAIRS WITH A TOTAL RISE OF 30 INCHES (762 MM) OR LESS.

### TUBS AND SHOWERS:

- WITH TILED WALLS REQUIRE DENSHEILD® TILE BACKER.



**NOTE:** THE MAIN LEVEL CONSISTS OF ALL SITE BUILT CONSTRUCTION.

## MAIN LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

### WINDOWS & VENTILATION

- MINIMUM WINDOW AREA SHALL EQUAL NOT LESS THAN 8% OF THE FLOOR AREA OF THE ROOM UNLESS ARTIFICIAL LIGHT IS PROVIDED CAPABLE OF PRODUCING AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES. -IRC R303
- NATURAL VENTILATION EQUALING 4% OF THE FLOOR AREA SHALL BE THROUGH WINDOWS, DOORS, LOUVERS OR OTHER APPROVED OPENINGS TO THE OUTDOORS UNLESS AN APPROVED MECHANICAL VENTILATION SYSTEM IS PROVIDED CAPABLE OF PRODUCING 0.35 AIR CHANGES PER HOUR IN THE ROOM OR A WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM IS INSTALLED. -IRC R303
- THE OPENABLE WINDOW AREA IN BATHROOMS, WATER CLOSET COMPARTMENTS, AND OTHER SIMILAR ROOMS SHALL NOT BE LESS THAN 1 1/2 SQ. FT. UNLESS A MECHANICAL VENTILATION SYSTEM CAPABLE OF PRODUCING 50 CFM FOR INTERMITTENT OPERATION OR 20 CFM FOR CONTINUOUS OPERATION IS PROVIDED. VENTILATION AIR SHALL BE EXHAUSTED DIRECTLY TO THE OUTSIDE. -IRC R303.3

### GARAGE NOTES:

- SHOW NOT LESS THAN 1/2 INCH GYPSUM BOARD ON THE GARAGE SIDE OF THE WALL AND CEILING SEPARATING A GARAGE AND A DWELLING. WHERE THE SEPARATION IS A FLOOR- CEILING ASSEMBLY THE ASSEMBLY AND THE STRUCTURE SUPPORTING THE SEPARATION SHALL BE PROTECTED WITH NOT LESS THAN 5/8 INCH TYPE X GYPSUM BOARD GOD FORBID THE CEILING. -IRC R309.2 AND R302.5
- DOORS LEADING FROM DWELLINGS TO THE GARAGE SHALL BE 1 3/8" THICK SOLID CORE OR 20 MINUTE RATED AND MUST BE SELF-CLOSING DOORS SHALL NOT OPEN INTO A SLEEPING ROOM.-IRC R309.1

### STAIRS AND GUARDRAILS:

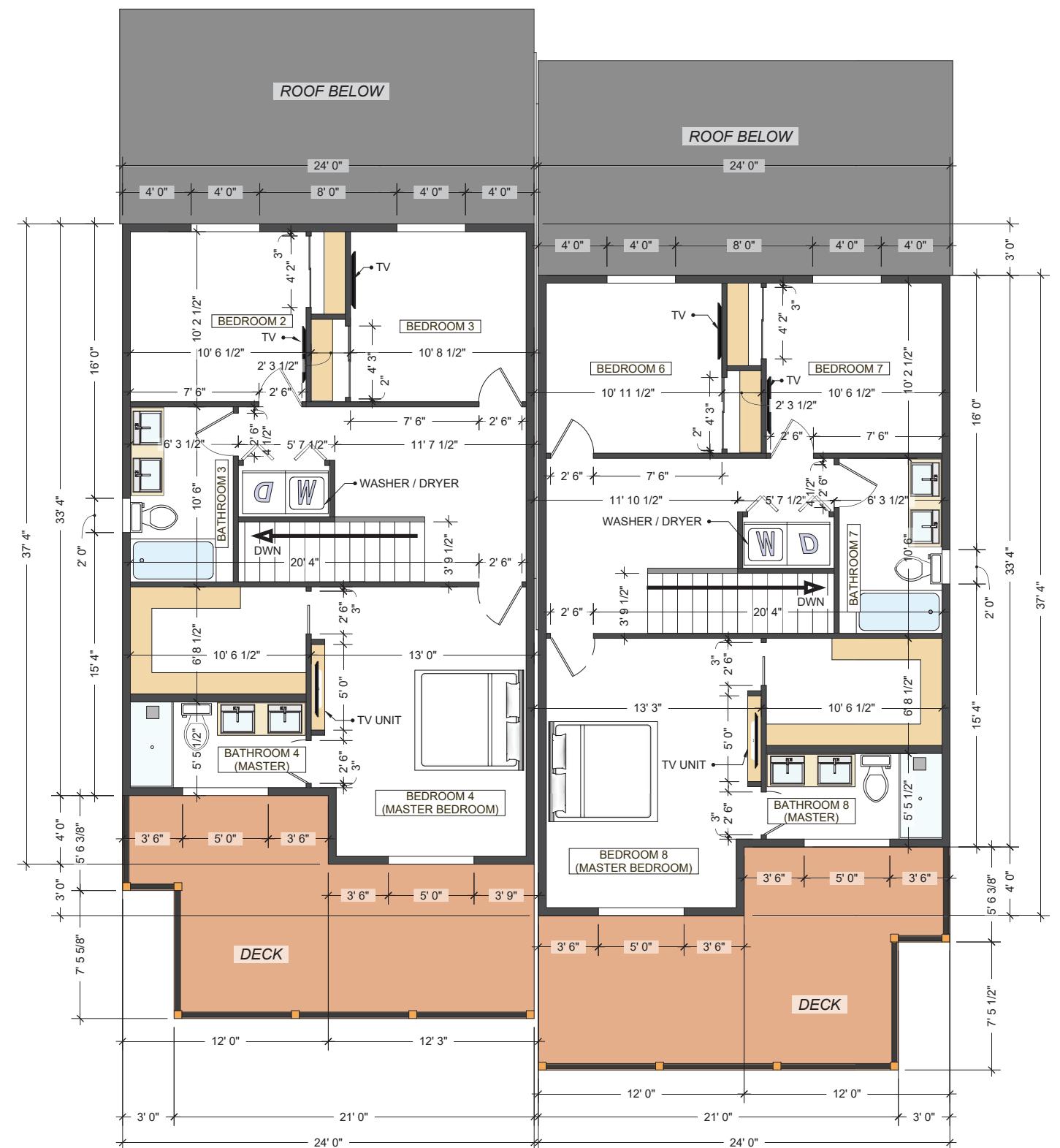
- STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. HANDRAILS SHALL NOT PROJECT MORE THAN 4.5 INCHES ON EITHER SIDE. -IRC 311.7.
- THE TOPS OF HANDRAILS SHALL BE PLACED BETWEEN 34 INCHES AND 38 INCHES ABOVE THE NOSING OF THE TREADS. THEY SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS. THE HANDGRIP PORTION OF HANDRAILS SHALL BE NOT LESS THAN 1 1/4 INCHES NOR MORE THAN 2 5/8 INCHES IN CROSS-SECTIONAL DIMENSION OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1.5 INCHES BETWEEN THE WALL AND THE HANDRAIL. -IRC R31 1.7.7.
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### TUBS AND SHOWERS:

- WITH TILED WALLS REQUIRE DENSHEILD® TILE BACKER.



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## UPPER LEVEL FLOOR PLAN

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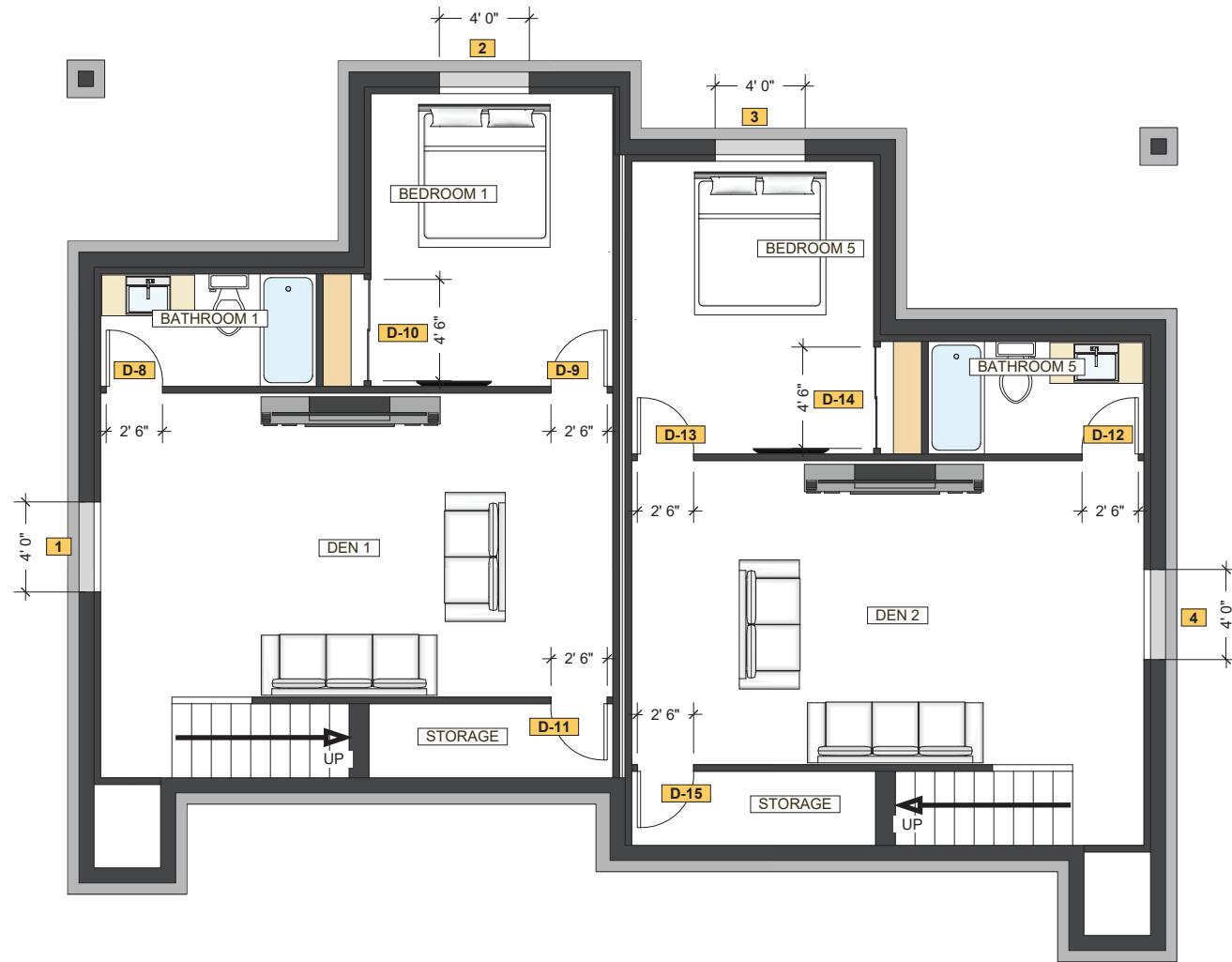
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### TUBS AND SHOWERS:

- WITH TILED WALLS REQUIRE DENSHEILD® TILE BACKER.



## WINDOW & DOOR SCHEDULE - LOWER LEVEL FLOOR

SCALE: 1/4" = 1'-0"

### WINDOW AND SLIDING DOOR SCHEDULE - LOWER LEVEL FLOOR

ALL WINDOWS (Hinge Side, Active Side, Etc.) Are Looking From The Outside

WINDOW	NUMBER	LOCATION	RO WIDTH (INCHES)	RO HEIGHT (INCHES)	WINDOW TYPE	GLASS TEMPERED	EGRESS	ACTIVE SIDE (LOOKING FROM OUTSIDE)	HINGE SIDE (FOR AWNING & CASEMENT)
	1 & 3	DEN 1 & BEDROOM 5	48	42	SLIDER		YES	RIGHT	N/A
	2 & 4	BEDROOM 1 & DEN 2	48	42	SLIDER		YES	LEFT	N/A

WINDOW SCHEDULE

### INTERIOR DOOR SCHEDULE - LOWER LEVEL FLOOR

DOOR	LOCATION	DOOR SIZE	DOOR TYPE	SWING (RIGHT HAND, LEFT HAND, RIGHT HAND REVERSE, AND LEFT HAND REVERSE)	JAMB SIZE	NOTES
D-8	BATHROOM 1	24-68	HINGE	LEFT HAND	4-5/8"	
D-9	BEDROOM 1	24-68	HINGE	RIGHT HAND	4-5/8"	
D-10	BEDROOM 1 (2) 28" SLABS	24-68	BYPASS	N/A	4-5/8"	
D-11	STORAGE	24-68	HINGE	LEFT HAND	4-5/8"	
D-12	BATHROOM 5	24-68	HINGE	RIGHT HAND	4-5/8"	
D-13	BEDROOM 5	24-68	HINGE	LEFT HAND	4-5/8"	
D-14	BEDROOM 5 (2) 28" SLABS	24-68	BYPASS	N/A	4-5/8"	
D-15	STORAGE	24-68	HINGE	RIGHT HAND	4-5/8"	

INTERIOR DOOR SCHEDULE

#### WINDOW FALL PROTECTION:

SILLS OF EXTERIOR WINDOWS WHICH ARE LOCATED MORE THAN 6 FEET ABOVE GRADE OR OTHER SURFACES BELOW THE EXTERIOR OF THE BUILDING, AND LESS THAN 24 INCHES ABOVE THE INTERIOR FLOOR SURFACE MUST COMPLY WITH WINDOW FALL PROTECTION REQUIREMENTS. THE AREA OF THE WINDOW LESS THAN 24 INCHES ABOVE THE INTERIOR FLOOR SURFACE MUST BE FIXED OR HAVE AN OPENING OR A GUARD WHICH DOES NOT ALLOW THE PASSAGE OF A 4 INCH DIAMETER SPHERE, OR FALL PREVENTION DEVICE, OR OPENING CONTROL DEVICES. IRC R 312.2.1.2

#### TEMPERED GLASS:

1. GLAZING USED IN DOORS AND PANELS OF SHOWERS AND BATHTUB ENCLOSURES AND WALLS ENCLOSING THESE COMPARTMENTS SHALL BE TEMPERED. -IRC TABLE R308. 3.
2. SHOWERS SHALL HAVE DOORS SIZED TO PROVIDE A MINIMUM OF 22" INCHES NET CLEAR OPENING. P2708.1.1
3. TEMPERED GLASS SHALL BE PROVIDED IN: FRAMELESS GLASS DOORS, GLASS IN DOORS, GLASS WITHIN A 24" ARCH OF DOORS, GLAZING LESS THAN 60" ABOVE A WALKING SURFACE THAT IS WITHIN 5 FT. OF STAIRS, OR GLAZING WITHIN 5 FT. OF SPAS OR POOLS, CERTAIN FIXED GLASS PANELS, AND SIMILAR GLAZED OPENINGS SUBJECT TO HUMAN IMPACT. -IRC R308.



## WINDOW & DOOR SCHEDULE - LOWER LEVEL FLOOR

SCALE: 1/4" = 1'-0"

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REVISION

ISSUE DATE  
February 14, 2019

CLIENT  
KUDAR FLATS  
170 REDMOND ST.  
JACKSON, WY 83001

FLOOR PLAN  
KUDAR FLATS

DESIGNERS  
CHRIS JAUSI  
BRIAN DAVIDSON  
CHAD ANDERSON

MODULAR HOME BUILDER  
TIMBERHAWK INC. DBA ZIP KIT HOMES

PLANT LOCATION  
ZIP KIT HOMES  
5547 SOUTH 5TH AVE  
POCATELLO ID 83204

SHEET TITLE  
WINDOW & DOOR SCHEDULE -  
MAIN FLOOR

SHEET

**A-10**

WINDOW AND SLIDING DOOR SCHEDULE - LOWER LEVEL FLOOR									
ALL WINDOWS (HINGE SIDE, ACTIVE SIDE, ETC.) ARE LOOKING FROM THE OUTSIDE									
WINDOW	NUMBER	LOCATION	RO WIDTH (INCHES)	RO HEIGHT (INCHES)	WINDOW TYPE	GLASS TEMPERED	EGRESS	ACTIVE SIDE (LOOKING FROM OUTSIDE)	HINGE SIDE (FOR AWNING & CASEMENT)
	5	GARAGE 1	60	18	SLIDER	YES		RIGHT	N/A
	6 & 13	ENTRY 1 & 2	38	18	FIXED	YES		N/A	N/A
	7 & 8	LIVING ROOM 1	48	60	SIDER	YES (7)		RIGHT	N/A
	9 & 16	LIVING ROOM 1 LIVING ROOM 2	72	60	FIXED	YES		N/A	N/A
	10	DINING 1	60	80	SGD	YES	YES	RIGHT	N/A
	11	DINING 1	60	60	SLIDER	YES		RIGHT	N/A
	12	GARAGE 2	60	18	SLIDER	YES		LEFT	N/A
	14 & 15	LIVING ROOM 2	48	60	SIDER	YES		LEFT	N/A
	17	DINING 2	60	80	SGD	YES (14)	YES	LEFT	N/A
	18	DINING 2	60	60	SLIDER	YES		LEFT	N/A

EXTERIOR DOOR SCHEDULE - LOWER LEVEL FLOOR										
DOOR	LOCATION	DOOR SIZE	RO WIDTH (INCHES)	RO HEIGHT (INCHES)	DOOR TYPE	SWING (RIGHT HAND, LEFT HAND, RIGHT HAND REVERSE, AND LEFT HAND REVERSE)	JAMB SIZE	DRILL FOR DEADBOLT & HANDSET	THRESHOLD	NOTES
D-1	ENTRY 1	30-68	38	82.5	HINGE	RIGHT HAND	6-9/16"	YES	YES / BRONZE	N/A
D-2	GARAGE ENTRY 1	30-68	38	82.5	HINGE	RIGHT HAND	6-9/16"	YES	YES / BRONZE	N/A
D-3	GARAGE 1	160-80	219	97.5	OHD	N/A	N/A	N/A	N/A	N/A
D-4	ENTRY 2	30-68	38	82.5	HINGE	LEFT HAND	6-9/16"	YES	YES / BRONZE	N/A
D-5	GARAGE ENTRY 2	30-68	38	82.5	HINGE	LEFT HAND	6-9/16"	YES	YES / BRONZE	N/A
D-6	GARAGE 2	160-80	219	97.5	OHD	N/A	N/A	N/A	N/A	N/A

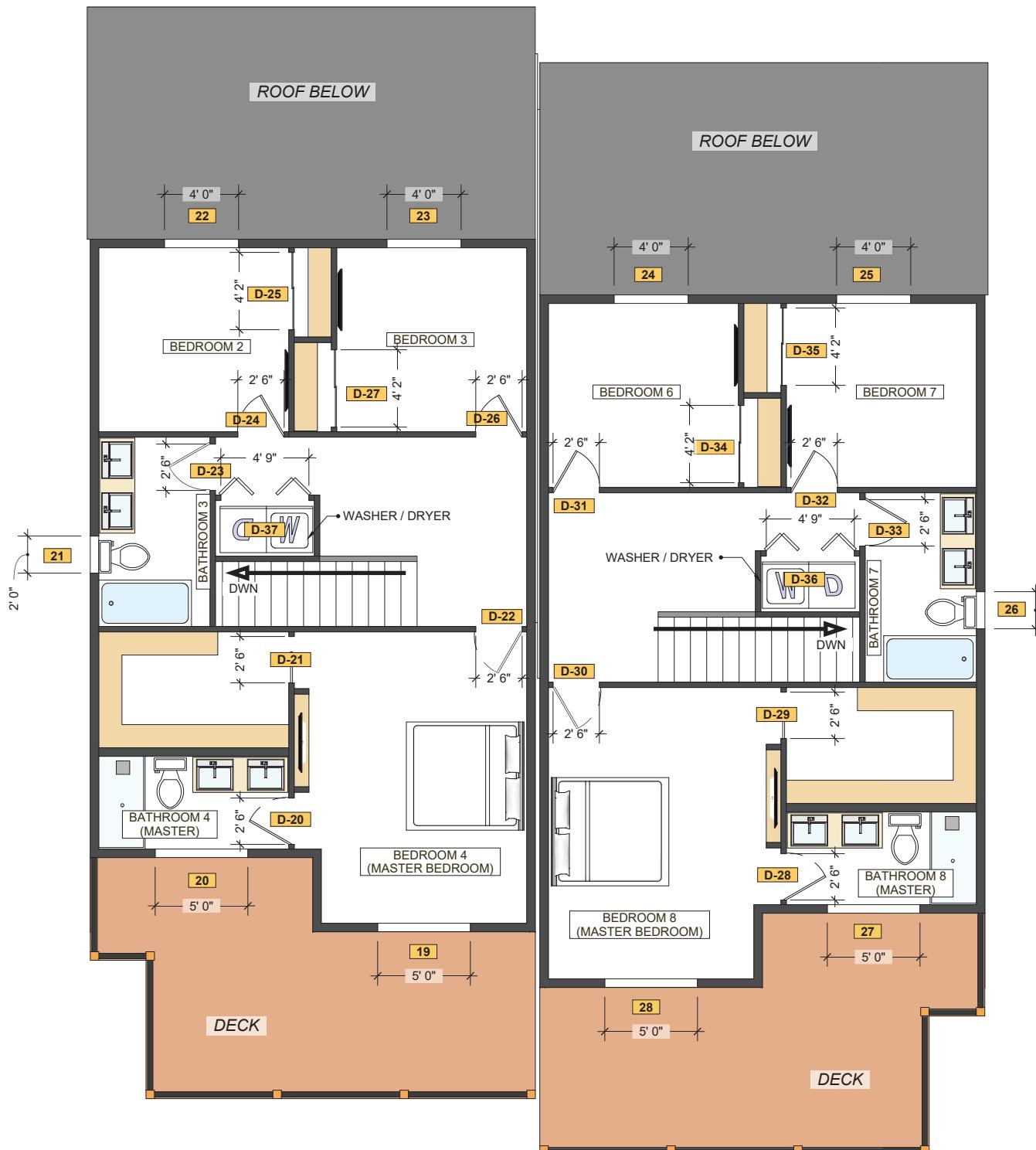
INTERIOR DOOR SCHEDULE - LOWER LEVEL FLOOR						
DOOR	LOCATION	DOOR SIZE	DOOR TYPE	SWING (RIGHT HAND, LEFT HAND, RIGHT HAND REVERSE, AND LEFT HAND REVERSE)	JAMB SIZE	NOTES
D-16	BATHROOM 2	24-68	POCKET	N/A	4-5/8"	
D-17	STORAGE	24-68	POCKET	N/A	4-5/8"	
D-18	BATHROOM 6	24-68	POCKET	N/A	4-5/8"	
D-19	STORAGE	24-68	POCKET	N/A	4-5/8"	

### WINDOW FALL PROTECTION:

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## WINDOW & DOOR SCHEDULE - UPPER LEVEL FLOOR

SCALE: 1/4" = 1'-0"

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SHEET TITLE  
WINDOW & DOOR SCHEDULES  
- UPPER FLOOR

SHEET

WINDOW AND SLIDING DOOR SCHEDULE - LOWER LEVEL FLOOR									WINDOW SCHEDULE
ALL WINDOWS (HINGE SIDE, ACTIVE SIDE, ETC.) ARE LOOKING FROM THE OUTSIDE									
WINDOW	NUMBER	LOCATION	RO WIDTH (INCHES)	RO HEIGHT (INCHES)	WINDOW TYPE	GLASS TEMPERED	EGRESS	ACTIVE SIDE (LOOKING FROM OUTSIDE)	HINGE SIDE (FOR AWNING & CASEMENT)
	19	BEDROOM 4	60	84	SGD	YES	YES	RIGHT	N/A
	20	BATHROOM 4	60	48	SLIDER	YES		LEFT	N/A
	21 & 26	BATHROOM 3 & 7	24	48	AWNING 18" (ABOVE) FIXED 30" (BELOW)	YES		N/A	TOP
	22 & 23	BEDROOM 2 & 3	48	48	SLIDER	YES	YES	RIGHT	N/A
	24 & 25	BEDROOM 6 & 7	48	48	SLIDER	YES	YES	LEFT	N/A
	27	BATHROOM 8	60	84	SLIDER	YES		RIGHT	N/A
	28	BEDROOM 8	60	84	SGD	YES		LEFT	N/A

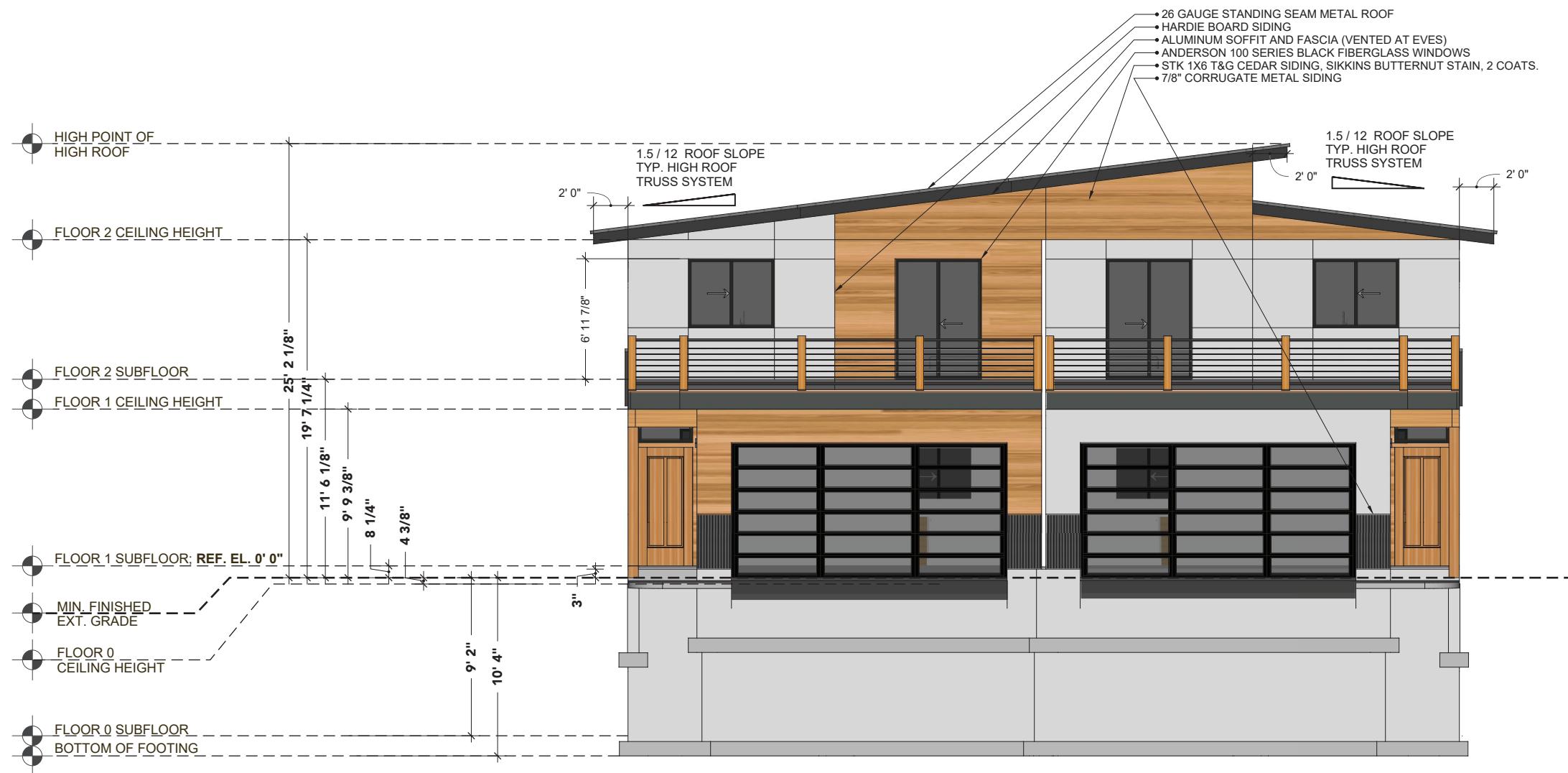
INTERIOR DOOR SCHEDULE - LOWER LEVEL FLOOR							
DOOR	LOCATION	DOOR SIZE	DOOR TYPE	SWING (RIGHT HAND, LEFT HAND, RIGHT HAND REVERSE, AND LEFT HAND REVERSE)	JAMB SIZE	NOTES	
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D-21	BEDROOM 4	24-68	POCKET	N/A	4-5/8"		
D-22	BEDROOM 4	24-68	HINGE	LEFT HAND	4-5/8"		
D-23	BATHROOM 3	24-68	HINGE	RIGHT HAND	4-5/8"		
D-24	BEDROOM 2	24-68	HINGE	RIGHT HAND	4-5/8"		
D-25	BEDROOM 2	(2) 26" SLABS	HINGE	N/A	4-5/8"		
D-26	BEDROOM 3	24-68	HINGE	RIGHT HAND	4-5/8"		
D-27	BEDROOM 3	(2) 26" SLABS	BYPASS	N/A	4-5/8"		
D-28	BATHROOM 6	24-68	HINGE	RIGHT HAND	4-5/8"		
D-29	BEDROOM 6	24-68	POCKET	N/A	4-5/8"		
D-30	BEDROOM 6	24-68	HINGE	RIGHT HAND	4-5/8"		
D-31	BEDROOM 6	24-68	HINGE	LEFT HAND	4-5/8"		
D-32	BEDROOM 7	24-68	HINGE	LEFT HAND	4-5/8"		
D-33	BATHROOM 7	24-68	HINGE	LEFT HAND	4-5/8"		
D-34	BEDROOM 6	(2) 26" SLABS	BYPASS	N/A	4-5/8"		
D-35	BEDROOM 7	(2) 26" SLABS	BYPASS	N/A	4-5/8"		
D-36	LAUNDRY 2	47-68	BIFOLD	N/A	4-5/8"		
D-37	LAUNDRY 1	47-68	BIFOLD	N/A	4-5/8"		

### WINDOW FALL PROTECTION:

SILLS OF EXTERIOR WINDOWS WHICH ARE LOCATED MORE THAN 6 FEET ABOVE GRADE OR OTHER SURFACES BELOW THE EXTERIOR OF THE BUILDING, AND LESS THAN 24 INCHES ABOVE THE INTERIOR FLOOR SURFACE MUST COMPLY WITH WINDOW FALL PROTECTION REQUIREMENTS. THE AREA OF THE WINDOW LESS THAN 24 INCHES ABOVE THE INTERIOR FLOOR SURFACE MUST BE FIXED OR HAVE AN OPENING OR A GUARD WHICH DOES NOT ALLOW THE PASSAGE OF A 4 INCH DIAMETER SPHERE, OR FALL PREVENTION DEVICE, OR OPENING CONTROL DEVICES IRC R 312.2.1.2

### TEMPERED GLASS:

1. GLAZING USED IN DOORS AND PANELS OF SHOWERS AND BATHTUB ENCLOSURES AND WALLS ENCLOSING THESE COMPARTMENTS SHALL BE TEMPERED. -IRC TABLE R308.3.
2. SHOWERS SHALL HAVE DOORS SIZED TO PROVIDE A MINIMUM OF 22" INCHES NET CLEAR OPENING. P2708.1.1
3. TEMPERED GLASS SHALL BE PROVIDED IN: FRAMELESS GLASS DOORS, GLASS IN DOORS, GLASS WITHIN A 24" ARCH OF DOORS, GLAZING LESS THAN 60" ABOVE A WALKING SURFACE THAT IS WITHIN 5 FT. OF STAIRS, OR GLAZING WITHIN 5 FT. OF SPAS OR POOLS. CERTAIN FIXED GLASS PANELS, AND SIMILAR GLAZED OPENINGS SUBJECT TO HUMAN IMPACT. -IRC R308.



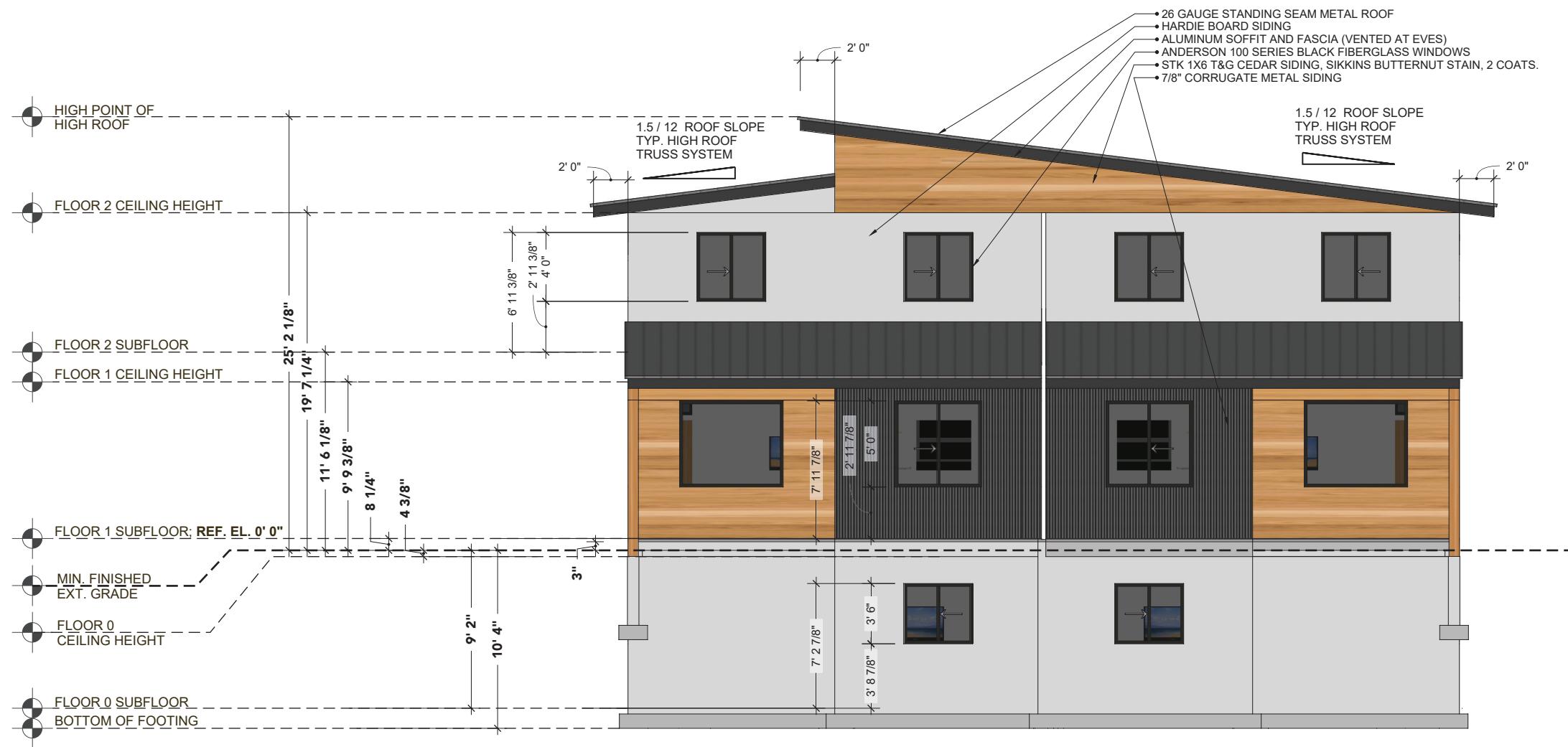
## FRONT ELEVATION

SCALE: 1/4" = 1'-0"

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REVISION	ISSUE DATE	CLIENT	FLOOR PLAN	DESIGNERS	MODULAR HOME BUILDER	PLANT LOCATION	SHEET TITLE	SHEET
	February 14, 2019	KUDAR FLATS 170 REDMOND ST. JACKSON, WY 83001	KUDAR FLATS	CHRIS JAUSI BRIAN DAVIDSON CHAD ANDERSON	TIMBERHAWK INC. DBA ZIP KIT HOMES	ZIP KIT HOMES 5547 SOUTH 5TH AVE POCATELLO ID 83204	EXTERIOR ELEVATIONS: FRONT	A-12

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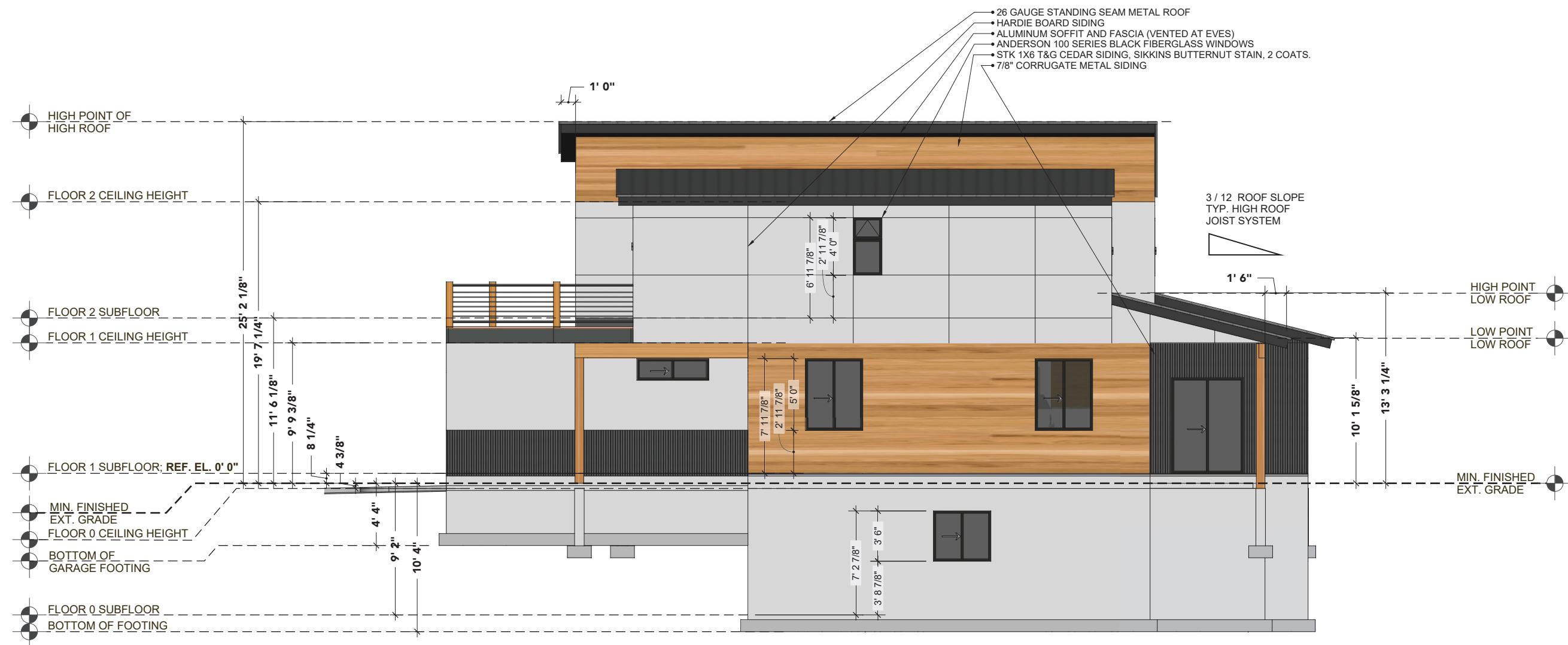
## BACK ELEVATION

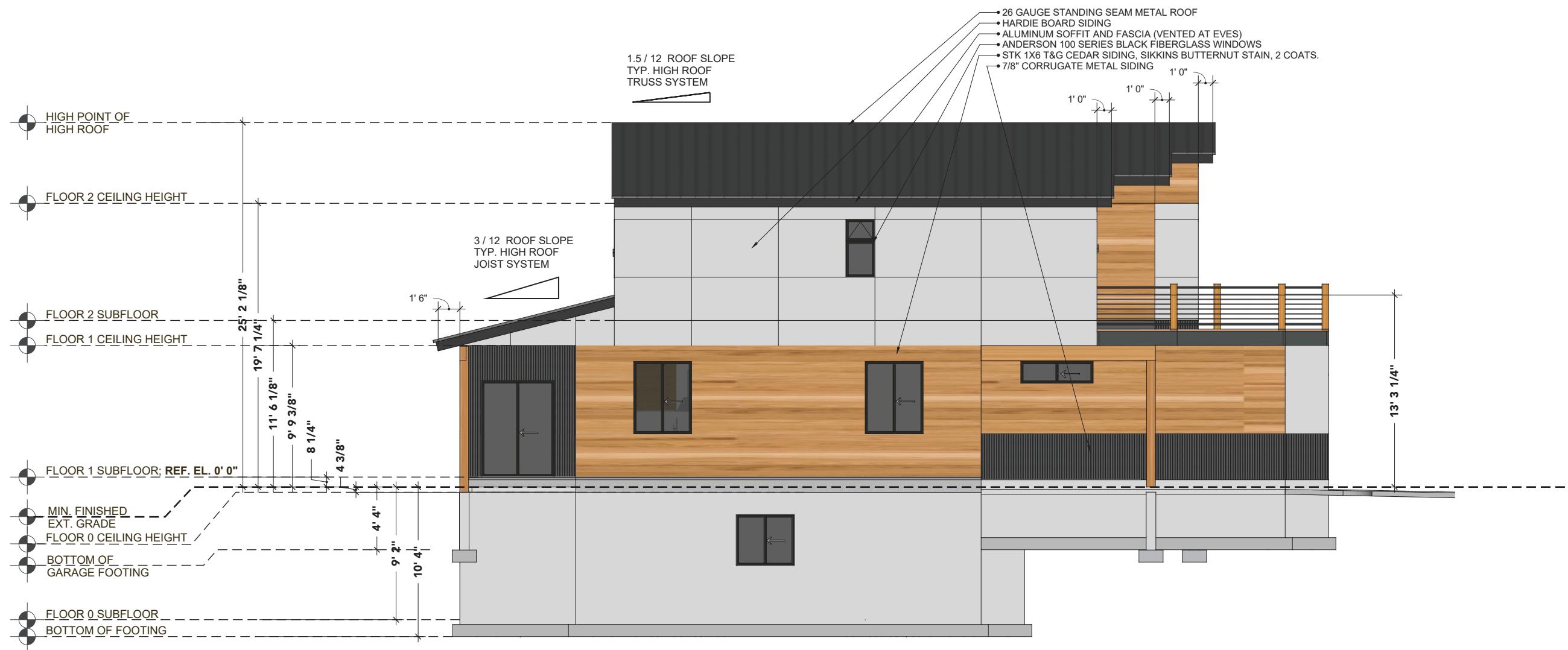
SCALE: 1/4" = 1'-0"

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REVISION	ISSUE DATE	CLIENT	FLOOR PLAN	DESIGNERS	MODULAR HOME BUILDER	PLANT LOCATION	SHEET TITLE	SHEET
	February 14, 2019	KUDAR FLATS 170 REDMOND ST. JACKSON, WY83001	KUDAR FLATS	CHRIS JAUSSI BRIAN DAVIDSON CHAD ANDERSON	TIMBERHAWK INC. DBA ZIP KIT HOMES	ZIP KIT HOMES 5547 SOUTH 5TH AVE POCATELLO ID 83204	EXTERIOR ELEVATIONS: BACK	A-13

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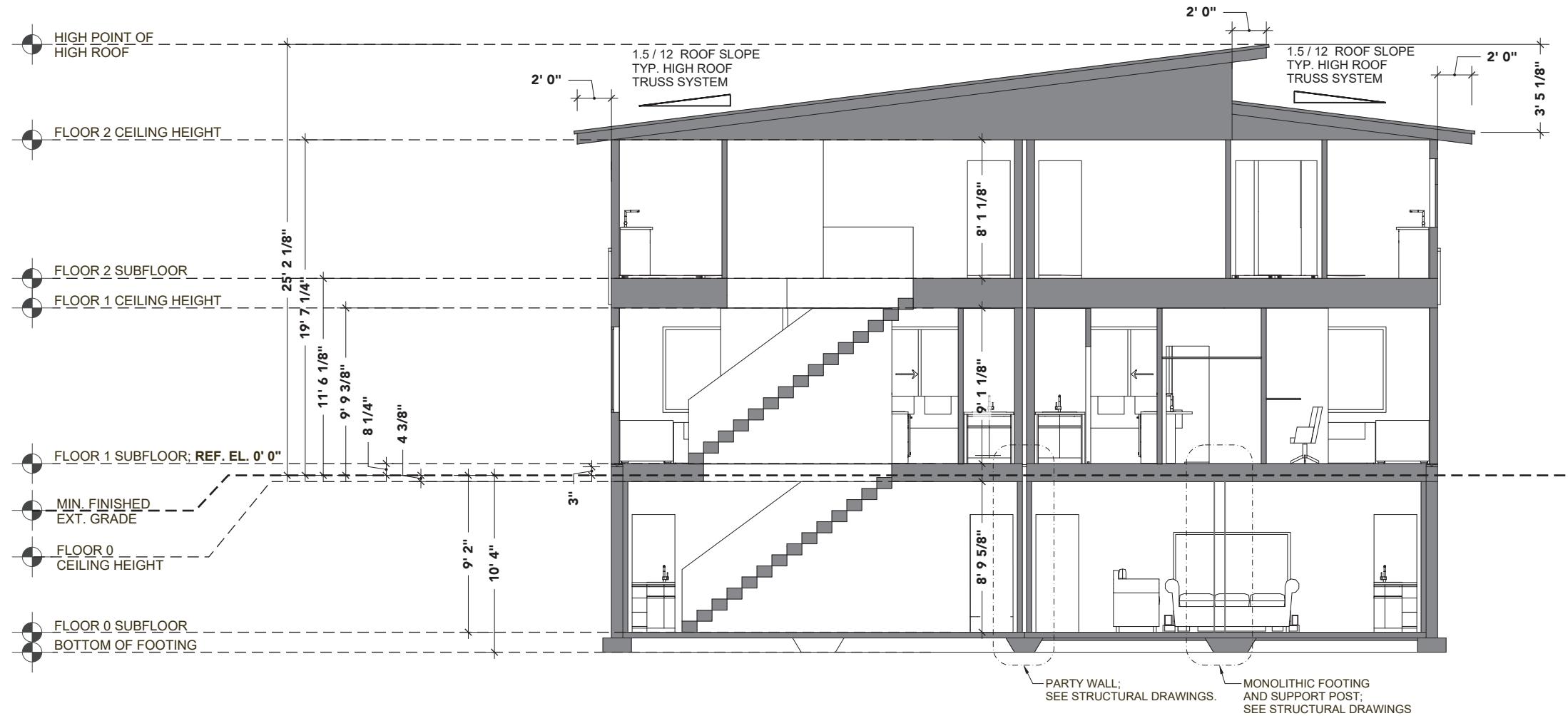
## LEFT ELEVATION

SCALE: 1/4" = 1'-0"

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REVISION	ISSUE DATE	CLIENT	FLOOR PLAN	DESIGNERS	MODULAR HOME BUILDER	PLANT LOCATION	SHEET TITLE	SHEET
	February 14, 2019	KUDAR FLATS 170 REDMOND ST. JACKSON, WY83001	KUDAR FLATS	CHRIS JAUSI BRIAN DAVIDSON CHAD ANDERSON	TIMBERHAWK INC. DBA ZIP KIT HOMES	ZIP KIT HOMES 5547 SOUTH 5TH AVE POCATELLO ID 83204	EXTERIOR ELEVATIONS: LEFT	A-15

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## LATERAL SECTION

SCALE: 1/4" = 1'-0"

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REVISION

ISSUE DATE

February 14, 2019

CLIENT

KUDAR FLATS  
170 REDMOND ST.  
JACKSON, WY 83001

FLOOR PLAN

KUDAR FLATS

DESIGNERS

CHRIS JAUSI  
BRIAN DAVIDSON  
CHAD ANDERSON

MODULAR HOME BUILDER

TIMBERHAWK INC. DBA ZIP KIT HOMES

PLANT LOCATION

ZIP KIT HOMES  
5547 SOUTH 5TH AVE  
POCATELLO ID 83204

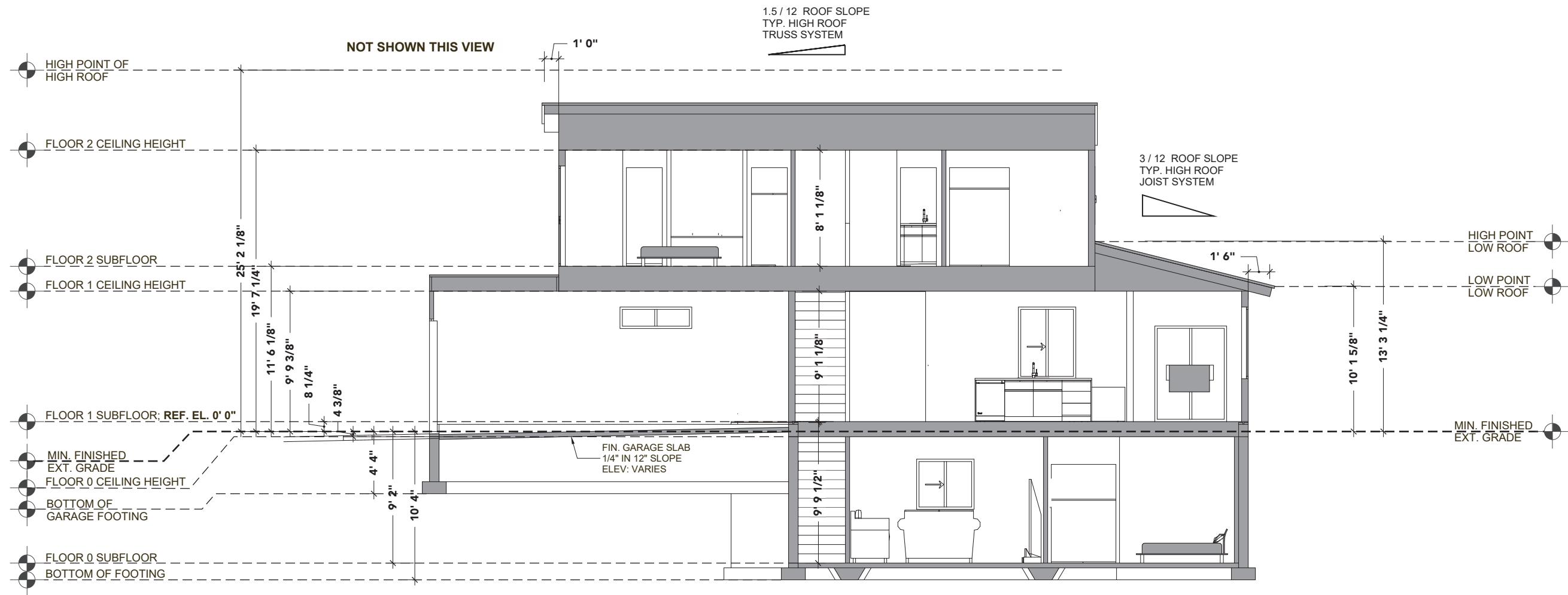
SHEET TITLE

CROSS SECTIONS - LATERAL

SHEET

**A-16**

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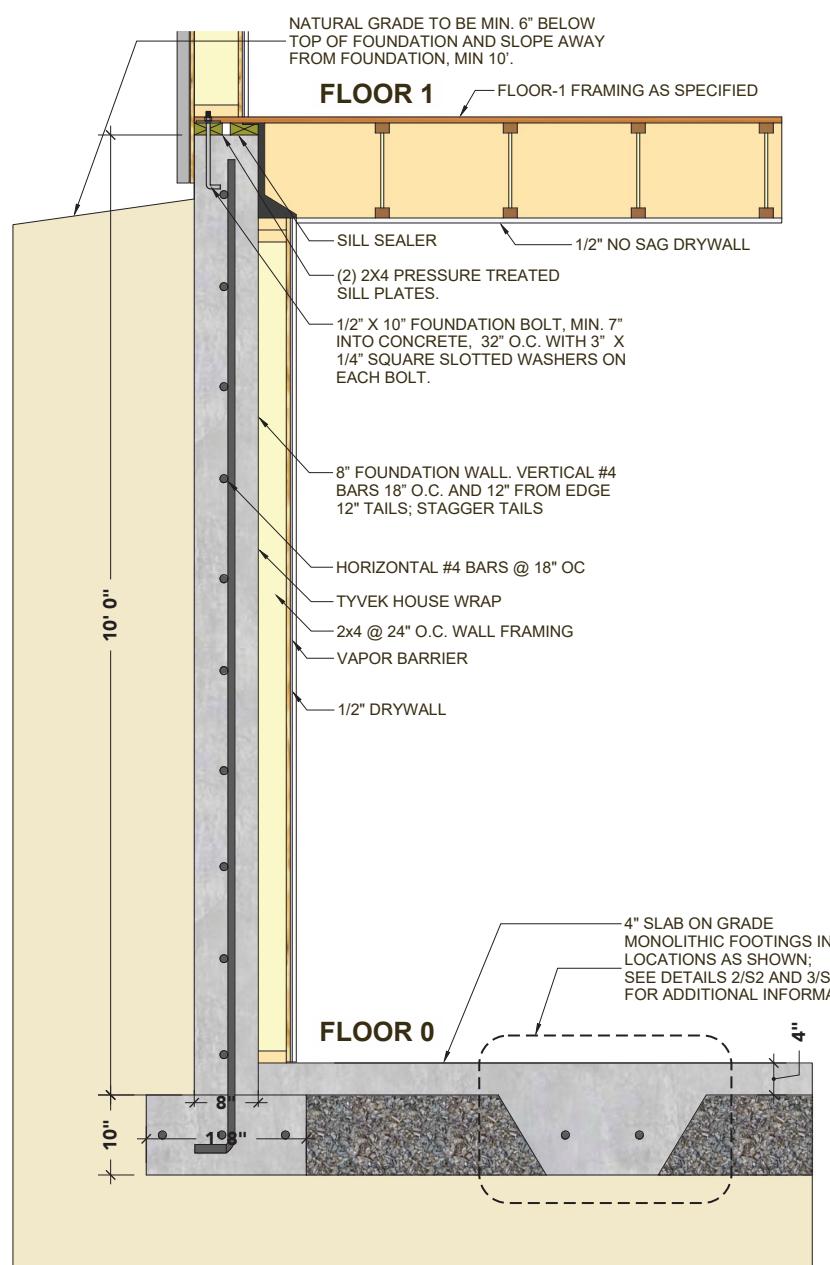
## LONGITUDINAL SECTION

SCALE: 1/4" = 1'-0"

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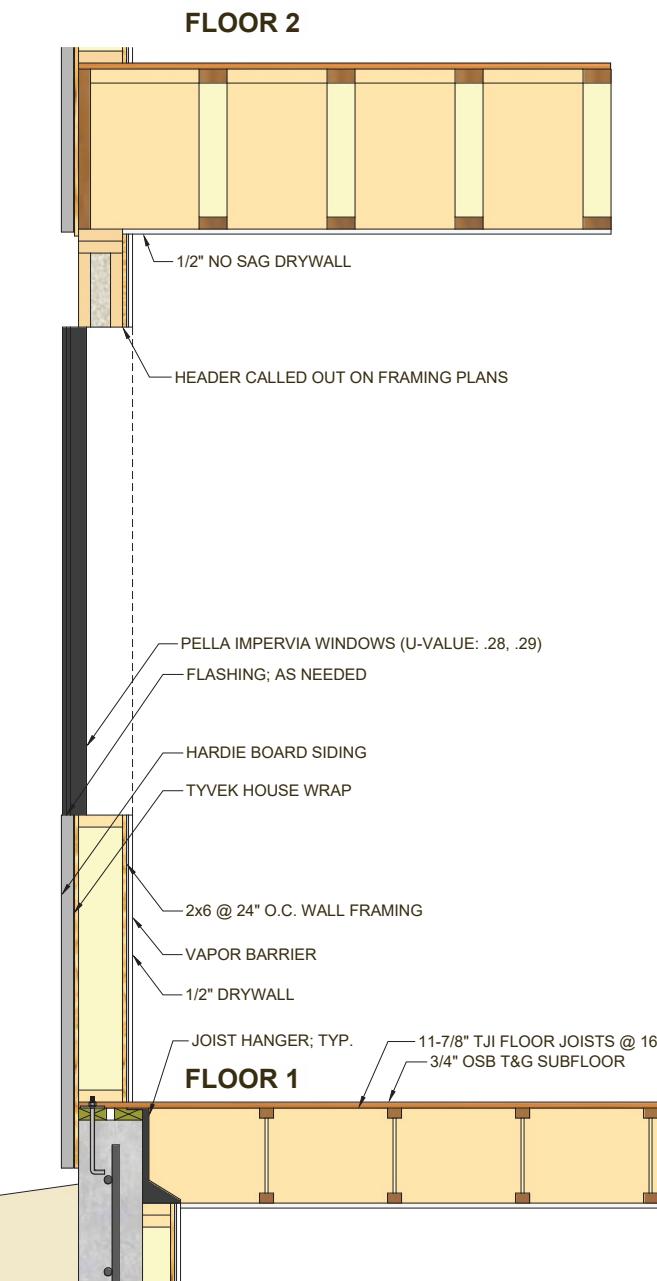
REVISION	ISSUE DATE	CLIENT	FLOOR PLAN	DESIGNERS	MODULAR HOME BUILDER	PLANT LOCATION	SHEET TITLE	SHEET
	February 14, 2019	KUDAR FLATS 170 REDMOND ST. JACKSON, WY 83001	KUDAR FLATS	CHRIS JAUSSI BRIAN DAVIDSON CHAD ANDERSON	TIMBERHAWK INC. DBA ZIP KIT HOMES	ZIP KIT HOMES 5547 SOUTH 5TH AVE POCATELLO ID 83204	CROSS SECTIONS - LONGITUDINAL	A-17

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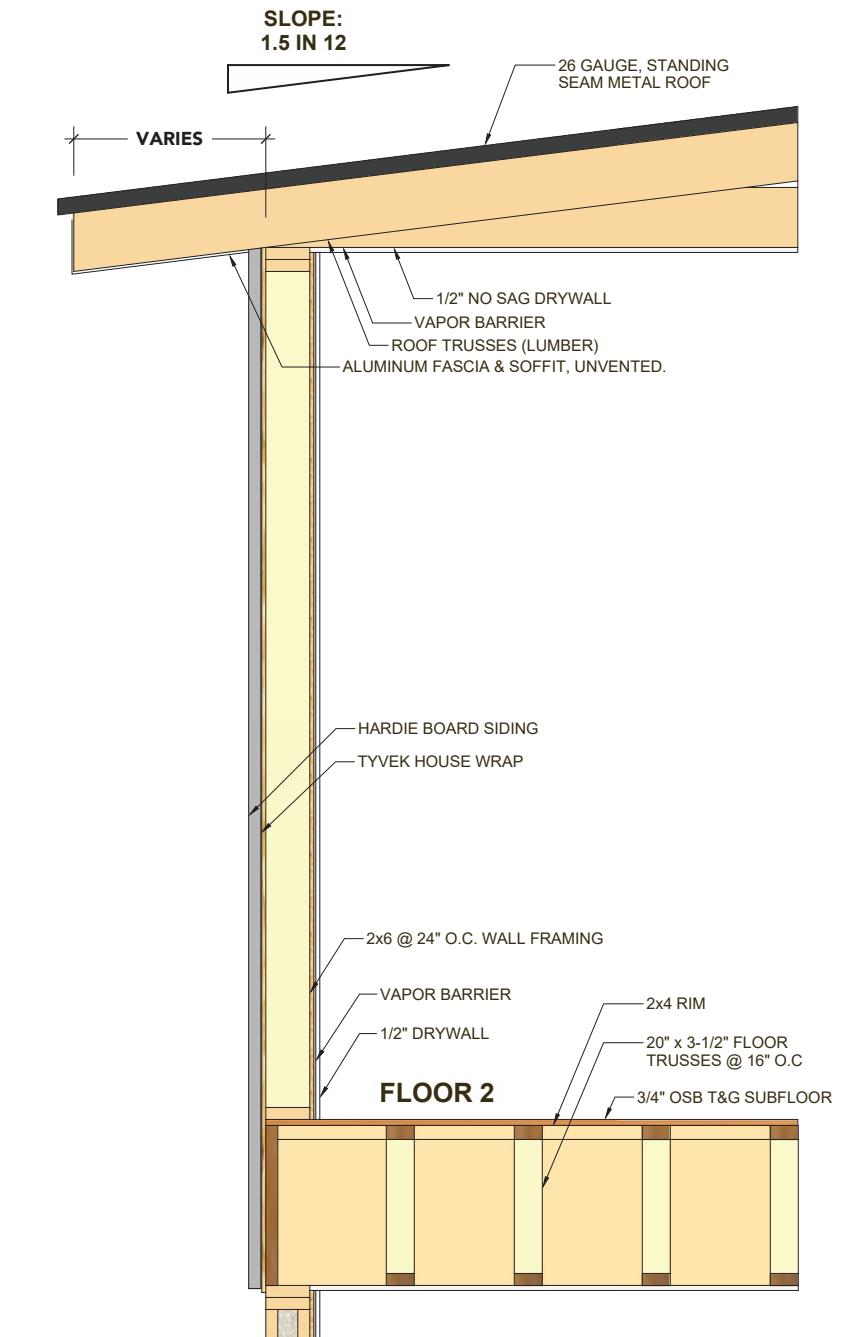
**EXTERIOR WALL SECTION @ FLOOR 0**

SCALE: 1" = 1' 0" (PRINTED ON 24" X 36" SHEETS)



**EXTERIOR WALL SECTION @ FLOOR 1**

SCALE: 1" = 1' 0" (PRINTED ON 24" X 36" SHEETS)

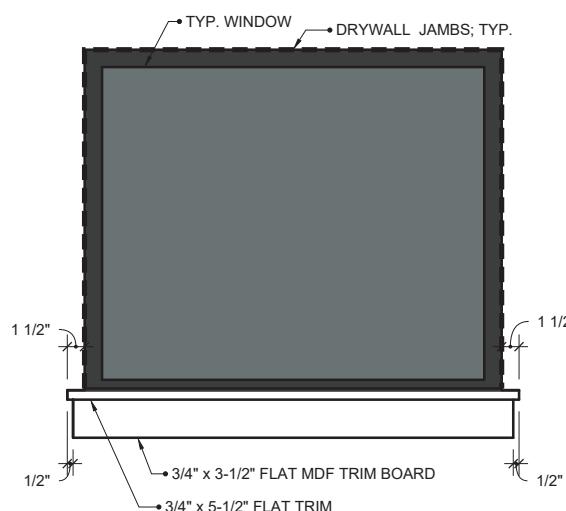


**EXTERIOR WALL SECTION @ FLOOR 2**

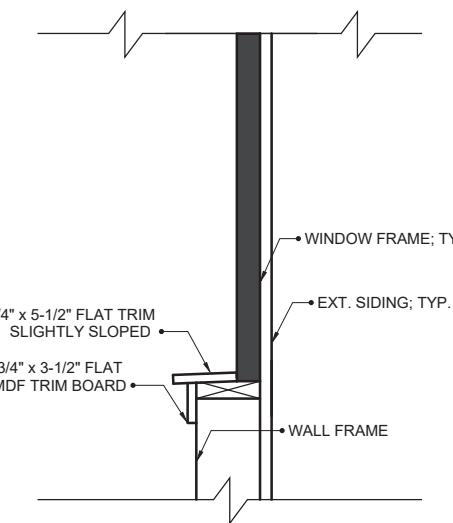
SCALE: 1" = 1' 0" (PRINTED ON 24" X 36" SHEETS)

## EXTERIOR SECTIONS AND DETAILS

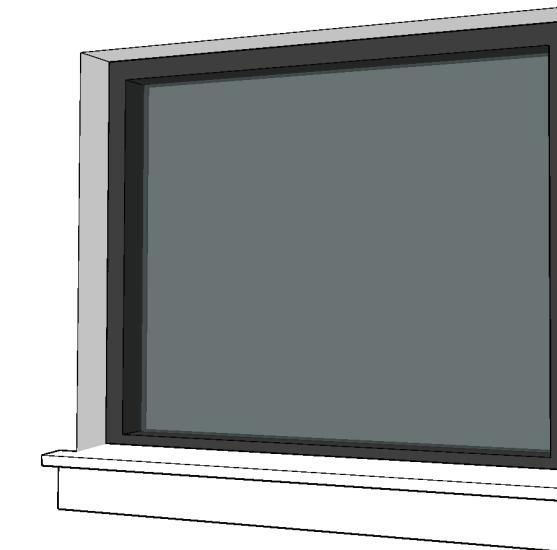
SCALE: AS SHOWN (PRINTED ON 24" X 36" SHEETS)



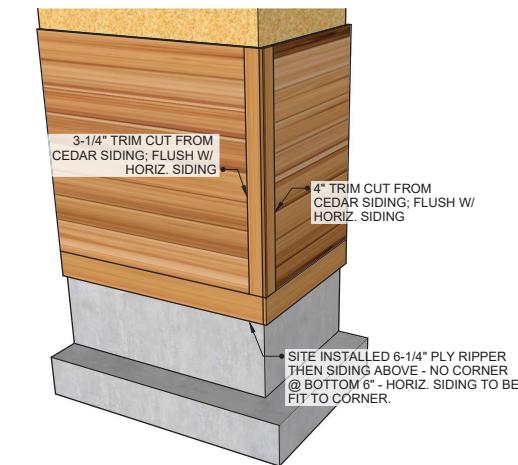
DETAIL: INTERIOR WINDOW TRIM  
SCALE: NTS



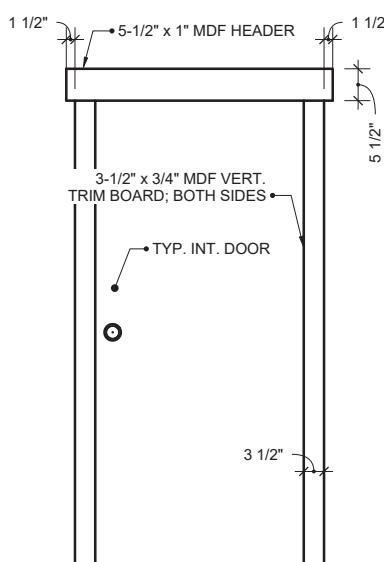
DETAIL: INTERIOR WINDOW TRIM; SIDE PROFILE  
SCALE: NTS



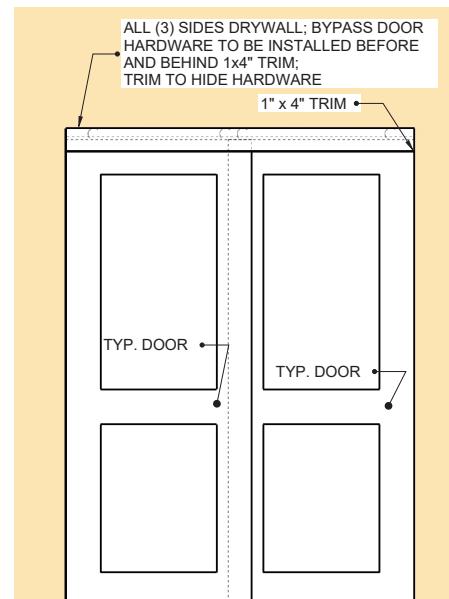
ISOMETRIC VIEW: INTERIOR WINDOW TRIM  
SCALE: NTS



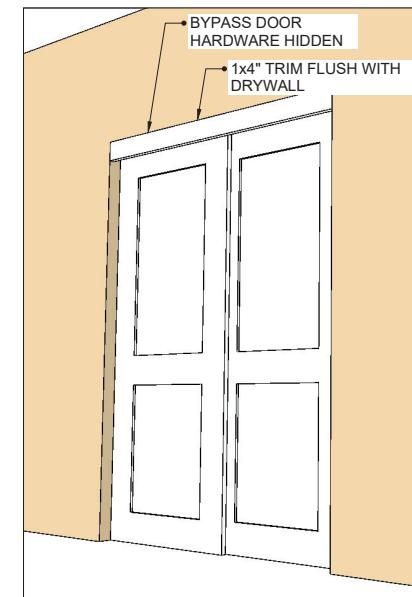
DETAIL: CORNER CONN.  
@ WOOD SIDING  
SCALE: NTS



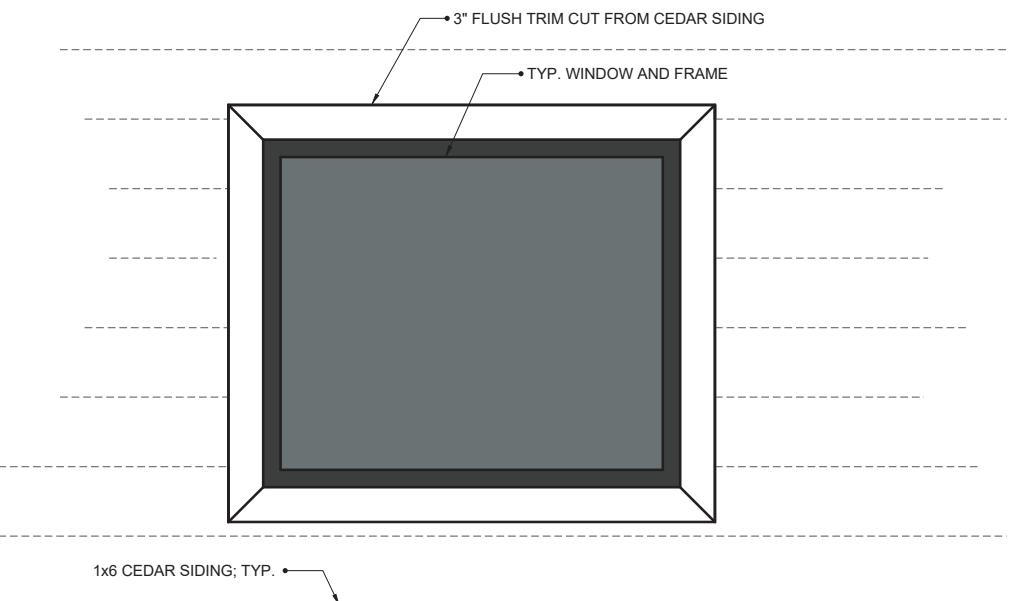
DETAIL: INTERIOR DOOR TRIM  
SCALE: NTS



DETAIL: BYPASS DOOR TRIM  
SCALE: NTS

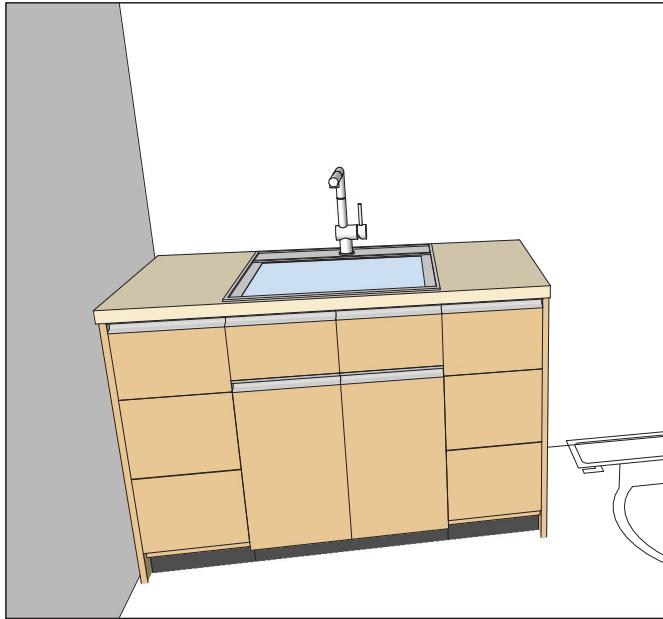


ISOMETRIC VIEW: BYPASS DOOR TRIM  
SCALE: NTS

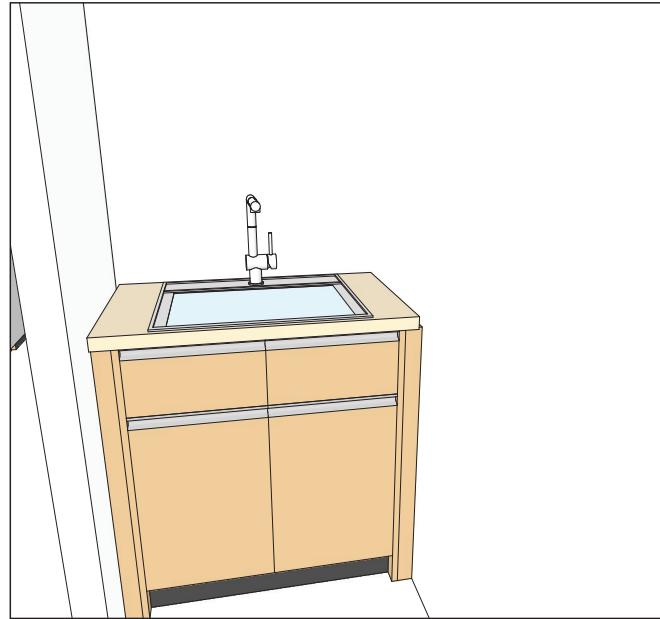


DETAIL: EXTERIOR WINDOW  
SCALE: NTS

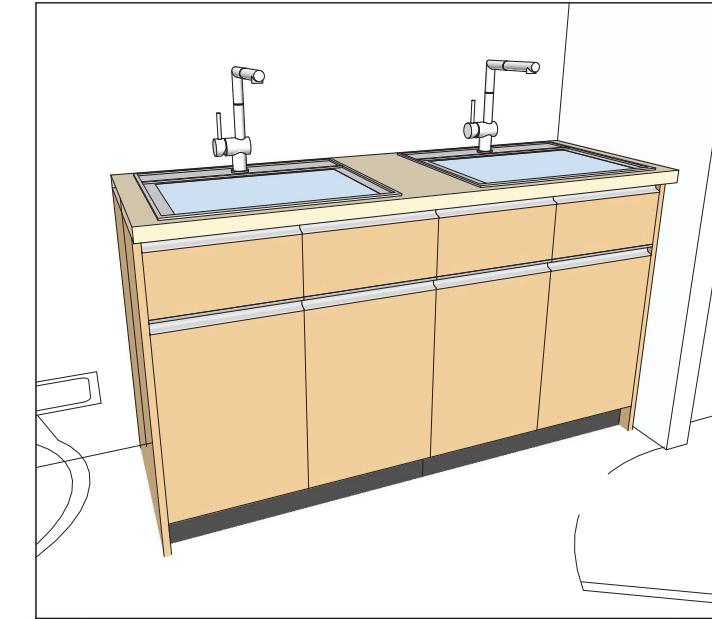
## TYPICAL FACTORY AND INSTALLATION DETAILS



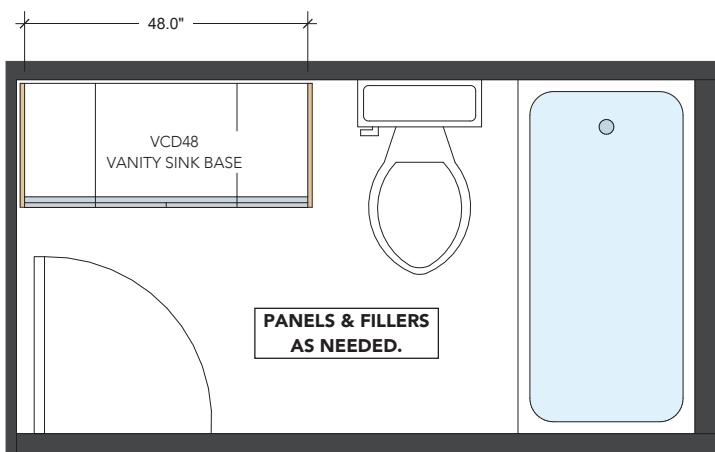
PERSPECTIVE VIEW: BATHROOM #1 AND #5  
SCALE: NTS



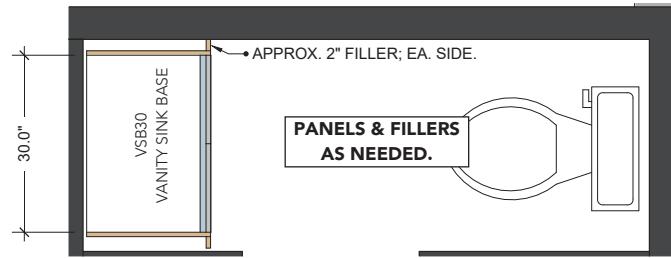
PERSPECTIVE VIEW: BATHROOM #2 AND #6  
SCALE: NTS



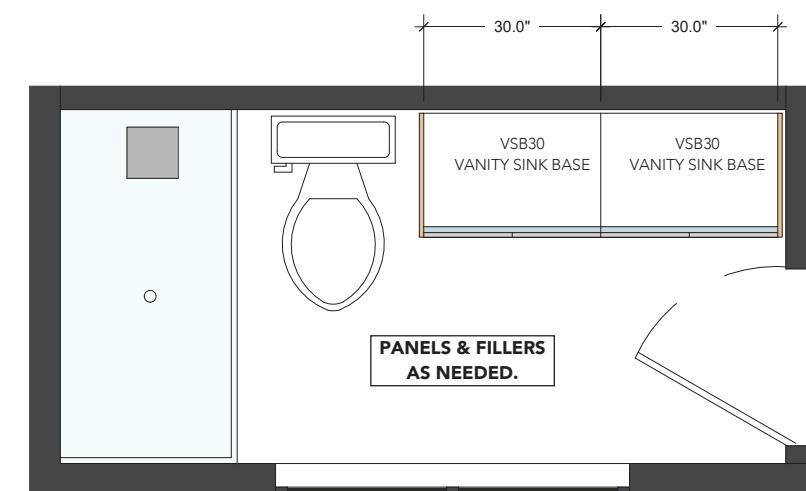
PERSPECTIVE VIEW: BATHROOMS #3, 4, 7 AND 8  
SCALE: NTS



PLAN: BATHROOM #1 AND #5  
SCALE: 3/4" = 1' 0"



PLAN: BATHROOM #2 AND #6  
SCALE: 3/4" = 1' 0"



PLAN: BATHROOMS #3, 4, 7 AND 8  
SCALE: 3/4" = 1' 0"

## BATHROOM CASEWORK

SCALE: NTS

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REVISION

ISSUE DATE  
February 14, 2019

CLIENT  
KUDAR FLATS  
170 REDMOND ST.  
JACKSON, WY 83001

FLOOR PLAN  
KUDAR FLATS

DESIGNERS  
CHRIS JAUSSI  
BRIAN DAVIDSON  
CHAD ANDERSON

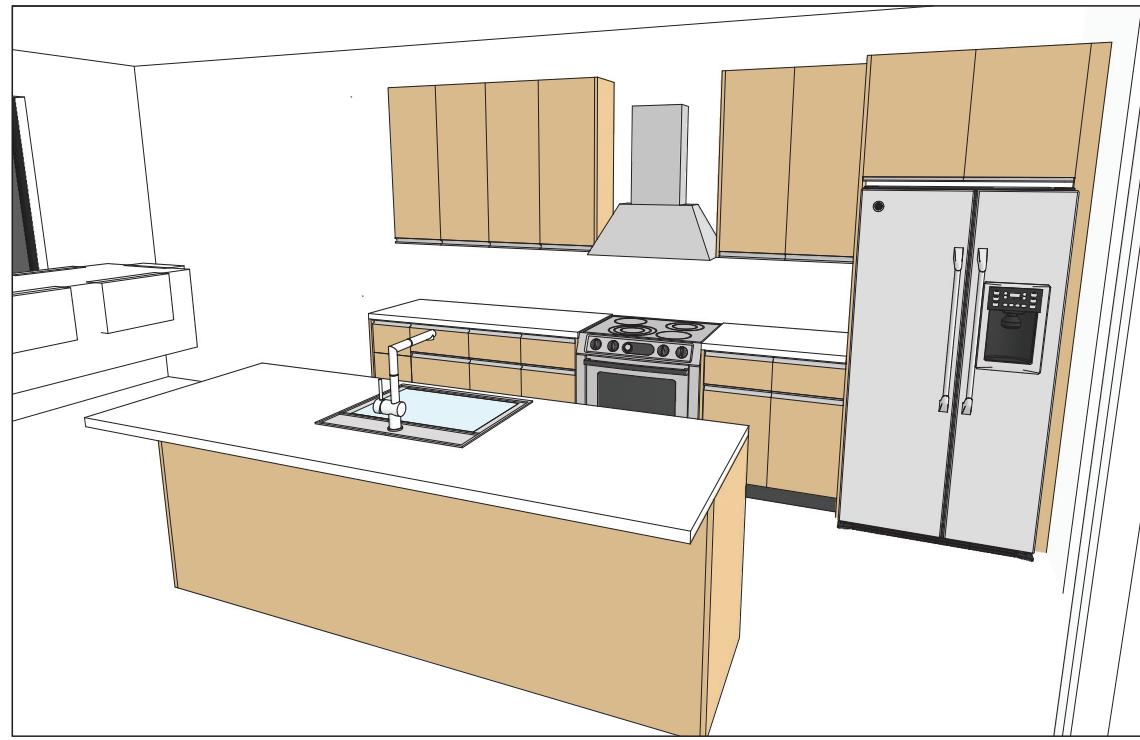
MODULAR HOME BUILDER  
TIMBERHAWK INC. DBA ZIP KIT HOMES

PLANT LOCATION  
ZIP KIT HOMES  
5547 SOUTH 5TH AVE  
POCATELLO ID 83204

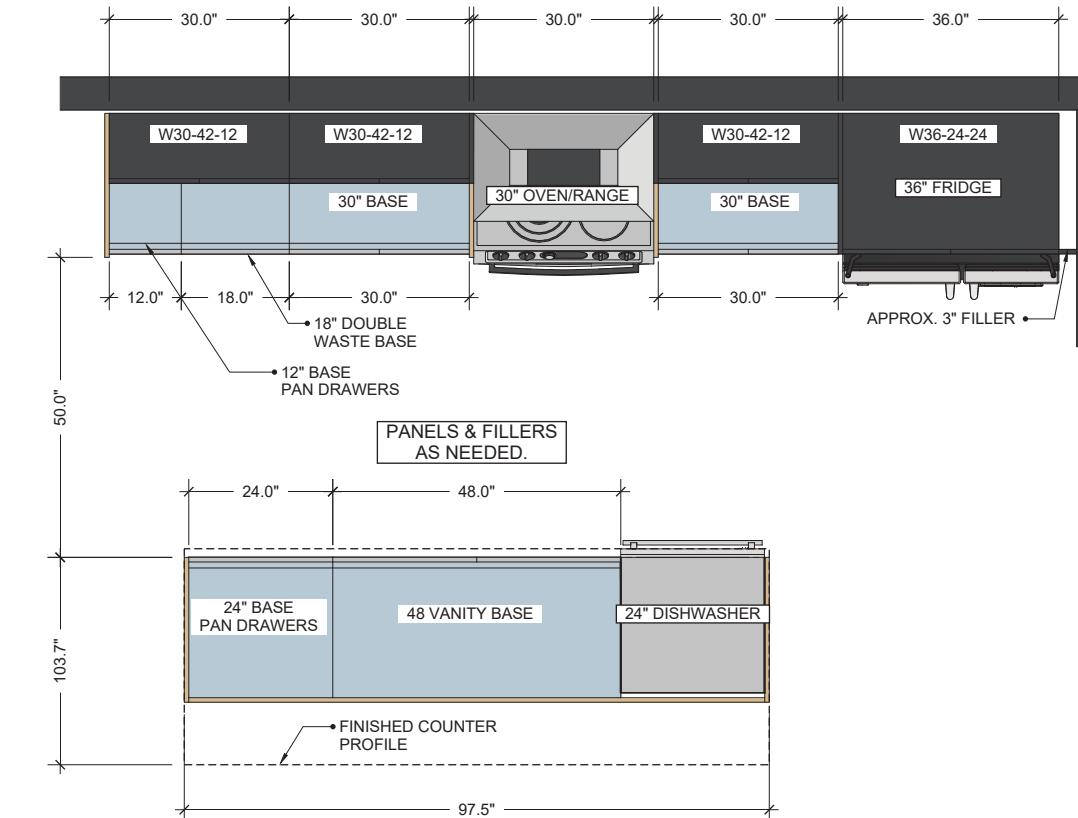
SHEET TITLE  
KITCHEN & BATH CASEWORK

SHEET

**A-20**



PERSPECTIVE VIEW: KITCHEN #1 AND #2  
SCALE: NTS



## KITCHEN CASEWORK

SCALE: NTS

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	February 14, 2019	KUDAR FLATS 170 REDMOND ST. JACKSON, WY83001	KUDAR FLATS	CHRIS JAUSSI BRIAN DAVIDSON CHAD ANDERSON	TIMBERHAWK INC. DBA ZIP KIT HOMES	ZIP KIT HOMES 5547 SOUTH 5TH AVE POCATELLO ID 83204	KITCHEN & BATH CASEWORK	A-21