

1. Agenda

Documents:

[TOWN COUNCIL REGULAR MEETING AGENDA - ENGLISH.PDF](#)
[TOWN COUNCIL REGULAR MEETING AGENDA - SPANISH.PDF](#)

2. Opening

Documents:

[PROCLAMATION.PDF](#)

3. Consent Calendar

Documents:

[DISBURSEMENTS.PDF](#)
[ELECTRIC DISTRIBUTION EASEMENT TO BURY POWER LINES TO THE SOUTH PARK WILDLIFE HABITAT MANAGEMENT AREA.PDF](#)
[JANUARY 16, 2018 REGULAR MEETING.PDF](#)
[JANUARY 16, 2018 WORKSHOP.PDF](#)
[PUBLIC DEFENDER CONTRACT RENEWAL.PDF](#)
[TEMPORARY SIGN PERMIT - NATIONAL ELK REFUGE.PDF](#)
[TEMPORARY SIGN PERMIT - SHRINER CLUB WINTER CARNIVAL.PDF](#)
[UNDERGROUND UTILITY EASEMENT FROM BANK OF JACKSON HOLE TO TOWN OF JACKSON.PDF](#)
[UTILITY EASEMENT WITH TIM SANDLIN AND CAROL CHESNEY.PDF](#)

4. Public Hearings, Discussion, And/Or Possible Action Items

Documents:

[BID 18-07 - 2018 SIDEWALK IMPROVEMENTS PROJECT.PDF](#)
[IDENTIFICATION COMPLIANCE CHECK FAILURES ALCOHOL SALES TO A MINOR.PDF](#)
[ITEM P17-192 - CONDITIONAL USE PERMIT FOR THREE PARKING LIGHT ANTENNAS IN HOSPITAL PARKING LOT AT 610 E BROADWAY.PDF](#)
[ITEM P17-213 -214 - CONDITIONAL USE PERMIT AND DEVELOPMENT PLAN AT 112 CENTER STREET.PDF](#)
[KARNS MEADOW - VARIOUS PROJECT COMPONENTS AND ENVIRONMENTAL ASSESSMENT.PDF](#)

5. Resolutions

Documents:

[RESOLUTION 18-03 - AMENDMENT NUMBER 2 \(6 MONTH\) TO THE FISCAL YEAR 2018 TOWN BUDGET.PDF](#)

6. Matters From Mayor And Council

Documents:

[BIKE CONFERENCE SPONSORSHIP.PDF](#)

[LODGING TAX EDUCATIONAL CAMPAIGN.PDF](#)

7. Matters From The Town Manager

Documents:

[TOWN MANAGERS REPORT.PDF](#)

Jackson Town Council Regular Meeting

Monday, February 5, 2018

6:00 PM

Town Council Chambers

NOTICE: THE VIDEO AND AUDIO FOR THIS MEETING ARE STREAMED TO THE PUBLIC VIA THE INTERNET AND MOBILE DEVICES WITH VIEWS THAT ENCOMPASS ALL AREAS, PARTICIPANTS AND AUDIENCE MEMBERS

PLEASE SILENCE ALL ELECTRONIC DEVICES DURING THE MEETING

I. OPENING

- A. Call to Order
- B. Pledge of Allegiance
- C. Roll Call
- D. Announcements/Proclamations
 - 1. Introduce Justin Lancaster, Police Officer
 - 2. Proclamation – Law Enforcement Torch Run for the Wyoming Special Olympics

II. PUBLIC COMMENT

This section is reserved for questions and comments from the public on items that are not otherwise included in this agenda. If you would like to communicate with the Council during the meeting, please address them during open public comment, when public comment is called for on a specific item, or send an email to Council@jacksonwy.gov.

III. CONSENT CALENDAR

- A. Minutes
 - 1. January 16, 2018 workshop
 - 2. January 16, 2018 regular meeting
- B. Disbursements
- C. Temporary Sign Permit: National Elk Refuge
- D. Temporary Sign Permit: Shriner Club Winter Carnival (P18-033)
- E. Public Defender Contract Renewal
- F. Underground Utility Easement from Bank of Jackson Hole to Town of Jackson
- G. Utility Easement from Tim Sandlin and Carol Chesney to Town of Jackson
- H. Electric Distribution Easement to Bury Power Lines to the South Park Wildlife Habitat Management Area

IV. PUBLIC HEARINGS, DISCUSSION AND/OR POSSIBLE ACTION ITEMS

- A. Administration
 - 1. Karns Meadow – Various Project Components and Environmental Assessment (Bob McLaurin, Town Manager)
 - 2. Identification Compliance Check Failures / Alcohol Sales to a Minor (Sandy Birdyshaw, Town Clerk)
- B. Public Works
 - 1. Bid 18-07: 2018 Sidewalk Improvements Project (Jeremy Parker, Assoc Engineer)
- C. Planning
 - 1. **Item P17-213 -214:** Conditional Use Permit and Development Plan at 112 Center Street (Paul Anthony, Principal Planner)

Please note that at any point during the meeting, the Mayor and Council may change the order of items listed on this agenda. In order to ensure that you are present at the time your item of interest is discussed, please join the meeting at the beginning to hear any changes to the schedule or agenda.

2. **Item P17-192:** Conditional Use Permit for three Parking Light Antennas in Hospital Parking Lot at 610 E. Broadway (Paul Anthony, Principal Planner)

V. RESOLUTIONS

- A. **Resolution 18-03:** Amendment #2 (6 Month) to the Fiscal Year 2018 Town Budget (Kelly Thompson, Finance Director)

VI. ORDINANCES

VII. MATTERS FROM MAYOR AND COUNCIL

- A. Bike Conference Sponsorship (Jim Stanford)
- B. Lodging Tax Educational Campaign (Hailey Morton Levinson)
- C. Board and Commission Reports

VIII. MATTERS FROM THE TOWN MANAGER

- A. Town Manager's Report

IX. ADJOURN

Please note that at any point during the meeting, the Mayor and Council may change the order of items listed on this agenda. In order to ensure that you are present at the time your item of interest is discussed, please join the meeting at the beginning to hear any changes to the schedule or agenda.

Reunion ordinaria del Consejo de el Pueblo de Jackson

Lunes, 5 de febrero del 2018

6:00 PM

Camaras del Ayuntamiento

AVISO: EL VIDEO Y AUDIO DE ESTA REUNIÓN SE TRANSMITEN AL PÚBLICO A TRAVÉS DE DISPOSITIVOS DE INTERNET Y MÓVILES CON OPINIONES QUE COMPRENDEN TODAS LAS ÁREAS, PARTICIPANTES Y MIEMBROS DE LA AUDIENCIA

POR FAVOR, SILENZAR TODOS LOS DISPOSITIVOS ELECTRÓNICOS DURANTE LA REUNIÓN

Descargo de responsabilidad: La versión en español es una traducción del original en inglés para propósitos de información solamente. En caso de discrepancia, prevalecerá el original en inglés.

DISCLAIMER: The Spanish version is a translation of the original in English for information purposes only. In case of a discrepancy, the English original will prevail.

I. APERTURA

- A. Llamar a orden
- B. Juramento de lealtad
- C. Llamada de rol
- D. Anuncios/Proclamaciones
 - 1. Introducir a Justin Lancaster, oficial de policía
 - 2. Proclamacion- Aplicación de la Ley carrera de la antorcha de los Juegos Olímpicos especiales de Wyoming

II. COMENTARIO PUBLICO

Esta sección está reservada para las preguntas y comentarios del público en artículos que no están incluidos de otra manera en esta agenda. Si desea comunicarse con el Consejo durante la reunión, por favor dirigirse a ellos durante el comentario público abierto, cuando los comentarios del público se pidió en un artículo específico, o enviar un correo electrónico a Council@jacksonwy.gov.

III. CALENDARIO DE CONSENTIMIENTO

- A. Minutos
 - 1. 16 de Enero del 2018, taller
 - 2. 16 de Enero del 2018, reunion regular
- B. Desembolsos
- C. Permiso de senal temporal: National Elk Refuge
- D. Permiso de senal: Shriner Club Winter Carnival (P18-033)
- E. Renovacion de contrato del Defensor Publico
- F. Servicio subteraneo de seridumbre del Banco de Jackson Hole al ciudad de Jackson
- G. Utilidad servidumbre de Tim Sandlin y Carol Chesney a la ciudad de Jackson
- H. Servidumbre de distribucion electrica para enterrar las lineas electricas en el area de gestion del habitat de vida silvestre de South Park

IV. AUDIENCIAS PUBLICAS, LA DISCUSSION Y/O POSIBLES ARTICULOS DE ACCION

- A. Administracion
 - 1. Evaluación ambiental de Karns Meadows (Bob McLaurin, Director Municipal)
 - 2. Indentificacion de fallas de verificacion de cumplimiento/ Venta de alcohol a un menor de edad (Sandy Birdyshaw, Secretiaria del Ayuntamiento)

Tenga en cuenta que en cualquier momento de la reunión, el alcalde y el Consejo podrán cambiar el orden de los elementos que figuran en esta agenda. Con el fin de asegurarse de que está presente en el momento en que se discute el tema de interés, por favor unirse a la reunión a principios de escuchar cualquier cambio en el horario o agenda.

B. Public Works

1. Premio de la subasta 18-07 de 2018 Proyecto de mejora de la acera

C. Planificacion

1. **Articulo P17-213 -214:** Permiso de uso condicional y el plan de desarrollo en el 112 Center Street (Paul Anthony , Planificador Principal)
2. **Articulo P17-192:** Permiso de uso condicional para tres antenas de luz para el estacionamiento del hospital en 610 E. Broadway.(Paul Anthony, Planificador Principal)

V. RESOLUCIONES

- A. **Resolución 18-03:** Rectificacion #2 (6 meses) presupuesto de la ciudad para el año fiscal 2018 (Kelly Thompson, Director de Finanzas)

VI. ORDENANZAS

VII. MATERIA DEL ALCALDE Y DEL CONSEJO

- A. Patrocinio de la conferencia de bicicletas (Jim Stanford)
- B. Campana educative sobre el impuesto del hospedaje (Hailey Morton Levinson)
- C. Informes de la junta y la comision

VIII. ASUNTOS DEL ADMINISTRADOR DE LA CIUDAD

- A. Informe del administrador municipal

IX. APLAZAR

Tenga en cuenta que en cualquier momento de la reunión, el alcalde y el Consejo podrán cambiar el orden de los elementos que figuran en esta agenda. Con el fin de asegurarse de que está presente en el momento en que se discute el tema de interés, por favor unirse a la reunión a principios de escuchar cualquier cambio en el horario o agenda.

Proclamation

Law Enforcement Torch Run Day for the Wyoming Special Olympics

WHEREAS, the Torch Run is a torch relay, conducted by Law Enforcement Officers in Wyoming, in support of Special Olympics Wyoming; and

WHEREAS, The Torch Run is the single-largest fund raiser for Special Olympics Wyoming; and

WHEREAS, The Special Olympics Wyoming, serving nearly 1,500 athletes, provides sports training and Olympic-type competition for children and adults with intellectual disabilities. Through participation, these athletes develop physical fitness and build self-esteem, they demonstrate courage and discipline, and are able to experience the joy of participating by sharing their gifts, skills and friendships that carryover to their school, home and workplace; and

WHEREAS, the Town of Jackson gives special recognition to the officers who are participating in the 2018 Winter Games Torch Run.

NOW THEREFORE, I, Pete Muldoon, Mayor of the Town of Jackson, do hereby proclaim **February 6th, 2018** as **LAW ENFORCEMENT TORCH RUN DAY** for the **SPECIAL OLYMPICS WYOMING** and urge the citizens of Jackson and the business community to join our Law Enforcement in support of the Special Olympics Wyoming to promote respect, acceptance, inclusion, friendship and accomplishment.

DATED THIS 5TH DAY OF FEBRUARY, 2018.

TOWN OF JACKSON

Pete Muldoon, Mayor

ATTEST:

Sandra P. Birdyshaw, Town Clerk

Report Criteria:

Detail report.
Invoices with totals above \$0 included.
Paid and unpaid invoices included.

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
2	JACKSON CURBSIDE INC.	013118	TOWN SQUARE RECYCLING	01/31/2018	795.00	.00	
2	JACKSON CURBSIDE INC.	013118	FRANCHISE FEES 4TH QUART	01/31/2018	656.54	.00	
Total 2:					138.46	.00	
5	CARQUEST AUTO PARTS INC.	6090-374439	V-BELT UTILITY	01/06/2018	11.30	.00	
5	CARQUEST AUTO PARTS INC.	6090-374479	AUVECOPAK	01/06/2018	9.28	.00	
5	CARQUEST AUTO PARTS INC.	6090-375190	RETURN ONE V-BELT UTILITY,	01/12/2018	.14	.00	
5	CARQUEST AUTO PARTS INC.	6090-376020	DRIVEWAY CLEANER	01/20/2018	20.96	.00	
Total 5:					41.68	.00	
10	CASH	012918	petty CASH	01/29/2018	14.93	14.93	01/29/2018
10	CASH	012918	petty CASH	01/29/2018	10.33	10.33	01/29/2018
10	CASH	012918	petty CASH-postage	01/29/2018	94.58	94.58	01/29/2018
10	CASH	012918	petty CASH-postage	01/29/2018	45.00	45.00	01/29/2018
10	CASH	012918	petty CASH-postage	01/29/2018	7.24	7.24	01/29/2018
Total 10:					172.08	172.08	
36	IDAHO STATE TAX COMMISSIO	012318	JANUARY WITHHOLDINGS	01/23/2018	3,660.00	3,660.00	01/23/2018
Total 36:					3,660.00	3,660.00	
44	JACKSON HOLE CHAMBER	55570	BOARD OF DIRCTORS MEETIN	01/14/2018	16.00	.00	
Total 44:					16.00	.00	
51	ACE HARDWARE	588895	BATTERIES	12/27/2017	8.99	.00	
51	ACE HARDWARE	590234	MOUSE POUCHES, CAULK SLC	01/09/2018	77.44	.00	
51	ACE HARDWARE	590437	battry lithum 3v 2032pk2	01/11/2018	26.97	.00	
51	ACE HARDWARE	590489	SPRYPNT 2X S-G BLK & 10X3/4	01/11/2018	40.00	.00	
51	ACE HARDWARE	590707	SPRYPNT 2X S-G BLK & SAT C	01/13/2018	6.00	.00	
51	ACE HARDWARE	591008	PADLOCK 1-3/16" BRASS	01/16/2018	14.99	.00	
51	ACE HARDWARE	591010	PADLOCK	01/16/2018	49.98	.00	
51	ACE HARDWARE	591070	PEAK WASH/DEICER-25	01/17/2018	26.88	.00	
51	ACE HARDWARE	591173	PADLOCK	01/17/2018	9.99	.00	
51	ACE HARDWARE	591175	BIT DRILL 3/8" SPLT PT ACE, S	01/17/2018	70.93	.00	
51	ACE HARDWARE	591286	GALV HX NUT USS 1/2-13, CAR	01/19/2018	3.76	.00	
51	ACE HARDWARE	591345	ALKINE-BATTERY AAA4PK, BAT	01/19/2018	19.47	.00	
51	ACE HARDWARE	591528	DETECTOR CO PLUG 1ST ALR	01/22/2018	29.99	.00	
51	ACE HARDWARE	591730	PESTBLICK 12OZ GRAY GRT. S	01/23/2018	69.93	.00	
51	ACE HARDWARE	591939	PLIER/FENCE TOOL 10"	01/25/2018	29.99	.00	
51	ACE HARDWARE	592111	CAULK TUB SILCN10OZ GE, CA	01/26/2018	39.16	.00	
51	ACE HARDWARE	592495	MEGAHOOK LARGE W/CLIP	01/30/2018	26.97	.00	
Total 51:					551.44	.00	
55	TETON COUNTY SHERIFF'S-JAI	498	DECEMBER INMATES	01/15/2018	1,656.00	.00	
Total 55:					1,656.00	.00	
58	CURRAN-SEELEY FOUNDATIO	05223016	3RD QUARTER PAYMENT	01/02/2018	12,062.50	.00	

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
Total 58:					12,062.50	.00	
65	DELCON INC	197228	WORK ORDER #: 013492- WWT	12/31/2017	1,554.89	.00	
65	DELCON INC	197229	WORK ORDER #: 013328- KARN	12/31/2017	660.06	.00	
65	DELCON INC	197237	WORK ORDER #: 013437- WELL	12/31/2017	344.00	.00	
65	DELCON INC	197247	WORK ORDER #: 013598- REPA	12/31/2017	798.75	.00	
Total 65:					3,357.70	.00	
96	HIGH COUNTRY LINEN	0045792	MATS @ TOWN HALL	01/02/2018	215.50	.00	
96	HIGH COUNTRY LINEN	0045949	MATS @ ANIMAL SHELTER	01/03/2018	61.93	.00	
96	HIGH COUNTRY LINEN	0046060	MATS @ START	01/03/2018	241.80	.00	
96	HIGH COUNTRY LINEN	0047382	UNIFORMS: WWTP	01/11/2018	24.25	.00	
96	HIGH COUNTRY LINEN	0047382	UNIFORMS: SEASONAL'S	01/11/2018	14.55	.00	
96	HIGH COUNTRY LINEN	0047382	BUILDING MAINT @ PUBLIC W	01/11/2018	24.00	.00	
96	HIGH COUNTRY LINEN	0047382	UNIFORMS: ADMIN	01/11/2018	9.70	.00	
96	HIGH COUNTRY LINEN	0047382	UNIFORMS: SEWER	01/11/2018	19.40	.00	
96	HIGH COUNTRY LINEN	0047382	UNIFORMS: WATER	01/11/2018	26.67	.00	
96	HIGH COUNTRY LINEN	0047382	UNIFORMS: STREET	01/11/2018	65.48	.00	
96	HIGH COUNTRY LINEN	0047382	UNIFORMS: FLEET	01/11/2018	38.80	.00	
96	HIGH COUNTRY LINEN	0048040	MATS @ HOME RANCH	01/15/2018	17.81	.00	
96	HIGH COUNTRY LINEN	0048200	MATS @ TOWN HALL	01/16/2018	215.50	.00	
96	HIGH COUNTRY LINEN	0048349	MATS @ ANIMAL SHELTER	01/17/2018	61.93	.00	
96	HIGH COUNTRY LINEN	0048556	UNIFORMS: SEWER	01/18/2018	19.40	.00	
96	HIGH COUNTRY LINEN	0048556	UNIFORMS: WATER	01/18/2018	26.67	.00	
96	HIGH COUNTRY LINEN	0048556	UNIFORMS: STREET	01/18/2018	65.48	.00	
96	HIGH COUNTRY LINEN	0048556	UNIFORMS: FLEET	01/18/2018	38.80	.00	
96	HIGH COUNTRY LINEN	0048556	UNIFORMS: WWTP	01/18/2018	24.25	.00	
96	HIGH COUNTRY LINEN	0048556	UNIFORMS: SEASONAL'S	01/18/2018	14.55	.00	
96	HIGH COUNTRY LINEN	0048556	BUILDING MAINT @ PUBLIC W	01/18/2018	57.05	.00	
96	HIGH COUNTRY LINEN	0048556	UNIFORMS: ADMIN	01/18/2018	9.70	.00	
96	HIGH COUNTRY LINEN	0050414	BUILDING MAINT @: TOJ HOME	01/29/2018	17.81	.00	
96	HIGH COUNTRY LINEN	0050535	MATS @ TOWN HALL	01/30/2018	215.50	.00	
96	HIGH COUNTRY LINEN	0050776	MATS @ ANIMAL SHELTER	01/31/2018	61.93	.00	
96	HIGH COUNTRY LINEN	C0045473	CREDIT	01/02/2018	49.00-	.00	
96	HIGH COUNTRY LINEN	C0048285	CREDIT	01/16/2018	21.78-	.00	
96	HIGH COUNTRY LINEN	S0045472	KITCHEN TOWELS	12/30/2017	43.70	.00	
96	HIGH COUNTRY LINEN	S0046856	BUILDING MAINT @ PUBLIC W	01/08/2018	86.25	.00	
96	HIGH COUNTRY LINEN	S0047330	BUILDING MAINT @: WWTP- CO	01/10/2018	112.35	.00	
96	HIGH COUNTRY LINEN	S0047893	FLOOR CLEANER	01/13/2018	114.48	.00	
96	HIGH COUNTRY LINEN	S0048281	SUPPLIES @ START	01/16/2018	242.53	.00	
96	HIGH COUNTRY LINEN	S0048282	SUPPLIES @ TOWN HALL	01/16/2018	244.83	.00	
96	HIGH COUNTRY LINEN	S0048284	LIME MATE	01/16/2018	26.85	.00	
96	HIGH COUNTRY LINEN	S0050694	PAPER TOWELS	01/30/2018	39.75	.00	
Total 96:					2,428.42	.00	
102	CASELLE INC.	84539	CONTRACT SUPPORT	12/01/2017	1,198.67	.00	
Total 102:					1,198.67	.00	
106	INTERSTATE BATTERY	22238121	(1) MT-78	01/15/2018	96.95	.00	
106	INTERSTATE BATTERY	22238198	(2) 4D-XHD	01/22/2018	383.90	.00	
Total 106:					480.85	.00	
110	INTERWEST SUPPLY COMPAN	IN0068109	LOADER CTR BLADE, LOADER	01/18/2018	1,769.08	.00	

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
110	INTERWEST SUPPLY COMPAN	IN0068227	PLOW GUARD JR, 3-3 PUNCH,	01/25/2018	913.80	.00	
Total 110:					2,682.88	.00	
131	JACKSON HOLE NEWS & GUID	266809	AD#334251	08/31/2017	700.50	.00	
131	JACKSON HOLE NEWS & GUID	268217	AD#336392	09/27/2017	188.75	.00	
131	JACKSON HOLE NEWS & GUID	268367	AD#336733	09/30/2017	106.50	.00	
131	JACKSON HOLE NEWS & GUID	271597	DISPLAY ADS COMMUNITY DIS	12/05/2017	276.20	.00	
131	JACKSON HOLE NEWS & GUID	271598	DISPLAY ADS AFFORDABLE H	12/05/2017	106.50	.00	
131	JACKSON HOLE NEWS & GUID	272362	AD#340321	12/20/2017	27.83	.00	
131	JACKSON HOLE NEWS & GUID	273168	AD#341353	01/10/2018	364.80	.00	
131	JACKSON HOLE NEWS & GUID	273335	AD#341247	01/10/2018	31.80	.00	
131	JACKSON HOLE NEWS & GUID	273336	AD#341246	01/10/2018	35.78	.00	
131	JACKSON HOLE NEWS & GUID	273405	AD#341441	01/17/2018	364.80	.00	
131	JACKSON HOLE NEWS & GUID	273438	AD#341495	01/17/2018	115.20	.00	
131	JACKSON HOLE NEWS & GUID	273471	AD#341534	01/17/2018	286.20	.00	
131	JACKSON HOLE NEWS & GUID	273472	AD#341483	01/17/2018	223.40	.00	
131	JACKSON HOLE NEWS & GUID	273473	AD#341535	01/17/2018	63.60	.00	
131	JACKSON HOLE NEWS & GUID	273476	AD#341245	01/10/2018	329.93	.00	
131	JACKSON HOLE NEWS & GUID	273522	AD#340873: 2018 SIDEWALK IM	01/17/2018	238.50	.00	
131	JACKSON HOLE NEWS & GUID	273522	AD#340873: 2018 SIDEWALK IM	01/17/2018	119.25	.00	
131	JACKSON HOLE NEWS & GUID	273522	AD#340873: 2018 SIDEWALK IM	01/17/2018	119.25	.00	
131	JACKSON HOLE NEWS & GUID	273522	AD#340873: 2018 SIDEWALK IM	01/17/2018	119.25	.00	
131	JACKSON HOLE NEWS & GUID	273628	AD#341753	01/24/2018	115.20	.00	
131	JACKSON HOLE NEWS & GUID	273672	AD#341868	01/24/2018	119.25	.00	
131	JACKSON HOLE NEWS & GUID	273673	AD#341869	01/24/2018	87.45	.00	
131	JACKSON HOLE NEWS & GUID	273674	AD#341870	01/24/2018	365.70	.00	
131	JACKSON HOLE NEWS & GUID	273675	AD#341871	01/24/2018	266.33	.00	
131	JACKSON HOLE NEWS & GUID	273676	AD#341872	01/24/2018	389.55	.00	
131	JACKSON HOLE NEWS & GUID	273953	AD#341476	01/31/2018	440.70	.00	
131	JACKSON HOLE NEWS & GUID	273954	AD#341475	01/31/2018	483.20	.00	
131	JACKSON HOLE NEWS & GUID	273955	AD#341462	01/31/2018	87.30	.00	
Total 131:					6,172.72	.00	
139	JORGENSEN ASSOCIATES, PC	40297	PROJ: 08013 JACKSON HOLE AI	12/15/2017	2,045.49	.00	
139	JORGENSEN ASSOCIATES, PC	40379	17122 AFFORDABLE HOUSING	01/04/2018	3,309.21	.00	
139	JORGENSEN ASSOCIATES, PC	40386	PROJ: 14005 TOJ/BUDGE DR BI	01/05/2018	181.21	.00	
139	JORGENSEN ASSOCIATES, PC	40390	PROJ: 17019- TOJ/ FOREST SE	01/08/2018	1,644.70	.00	
139	JORGENSEN ASSOCIATES, PC	40417	PROJ: 16101 TOJ/ WY 22 WATE	01/10/2018	222.00	.00	
139	JORGENSEN ASSOCIATES, PC	40417	PROJ: 16101 TOJ/ WY 22 WATE	01/10/2018	156.00	.00	
139	JORGENSEN ASSOCIATES, PC	40417	PROJ: 16101 TOJ/ WY 22 WATE	01/10/2018	222.00	.00	
139	JORGENSEN ASSOCIATES, PC	40433	PROJ: 08013 JACKSON HOLE AI	01/19/2018	6,433.25	.00	
Total 139:					14,213.86	.00	
156	LOWER VALLEY ENERGY INC	1302492089 01	455 VINE STREET #4	01/10/2018	83.89	83.89	01/19/2018
156	LOWER VALLEY ENERGY INC	1302492092 01	455 VINE STREET #3	01/10/2018	105.10	105.10	01/19/2018
156	LOWER VALLEY ENERGY INC	92050-361- 12/	92050-359: MILLER PARK PARKI	01/10/2018	68.66	.00	
156	LOWER VALLEY ENERGY INC	92050-361: 12/	625 W BROADWAY AVE NEW P	01/10/2018	26.20	.00	
156	LOWER VALLEY ENERGY INC	92050-GRP:41	92050-128: SKA MAINTENANCE	01/10/2018	14.34	.00	
156	LOWER VALLEY ENERGY INC	92050-GRP:41	92050-332: N GLENWOOD MCC	01/10/2018	34.02	.00	
156	LOWER VALLEY ENERGY INC	92050-GRP:41	92050-335: N CACHE & N GLEN	01/10/2018	9.34	.00	
156	LOWER VALLEY ENERGY INC	92050-GRP:41	92050-342: 25 S REDMOND ST L	01/10/2018	36.79	.00	
156	LOWER VALLEY ENERGY INC	92050-GRP:41	92050-353: W DELONEY ST FO	01/10/2018	91.93	.00	
156	LOWER VALLEY ENERGY INC	92050-GRP:41	92050-358: 650 W BDWY PATH	01/10/2018	84.44	.00	
156	LOWER VALLEY ENERGY INC	92050-GRP:41	92050-061: PUBLIC WORKS	01/10/2018	1,068.19	.00	
156	LOWER VALLEY ENERGY INC	92050-GRP:41	92050-082: EAST STORAGE BL	01/10/2018	475.03	.00	

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
156	LOWER VALLEY ENERGY INC	92050-GRP:41	92050-092: 3150 ADAMS CANYO	01/10/2018	563.02	.00	
156	LOWER VALLEY ENERGY INC	92050-GRP:41	92050-094: SNOW KING AVE W	01/10/2018	6.34	.00	
156	LOWER VALLEY ENERGY INC	92050-GRP:41	92050-111: PEARL/WILLOW ST	01/10/2018	17.99	.00	
156	LOWER VALLEY ENERGY INC	92050-GRP:41	92050-115: 55 KARNS MEADOW	01/10/2018	14.34	.00	
156	LOWER VALLEY ENERGY INC	92050-GRP:41	92050-053: WELLS #2 & #3	01/10/2018	4,251.39	.00	
156	LOWER VALLEY ENERGY INC	92050-GRP:41	92050-054: CITY WELL ELK REF	01/10/2018	91.56	.00	
156	LOWER VALLEY ENERGY INC	92050-GRP:41	92050-055: CITY WELL ELK REF	01/10/2018	202.56	.00	
156	LOWER VALLEY ENERGY INC	92050-GRP:41	92050-056: CITY WELL ELK REF	01/10/2018	63.53	.00	
156	LOWER VALLEY ENERGY INC	92050-GRP:41	92050-059: POLICE GARAGE	01/10/2018	279.94	.00	
156	LOWER VALLEY ENERGY INC	92050-GRP:41	92050-060: SOUTH GARAGE	01/10/2018	1,605.27	.00	
156	LOWER VALLEY ENERGY INC	92050-GRP:41	92050-039: ST LT LOTS 86, 87	01/10/2018	19.29	.00	
156	LOWER VALLEY ENERGY INC	92050-GRP:41	92050-040: ST LT LOTS 90, 91	01/10/2018	19.73	.00	
156	LOWER VALLEY ENERGY INC	92050-GRP:41	92050-041: ST LT LOTS 99, 101	01/10/2018	16.24	.00	
156	LOWER VALLEY ENERGY INC	92050-GRP:41	92050-043: ST LT LOTS 68, 69	01/10/2018	19.09	.00	
156	LOWER VALLEY ENERGY INC	92050-GRP:41	92050-044: SNOW KING ESTAT	01/10/2018	171.36	.00	
156	LOWER VALLEY ENERGY INC	92050-GRP:41	92050-052: WELLS TOWN OF JA	01/10/2018	440.87	.00	
156	LOWER VALLEY ENERGY INC	92050-GRP:41	92050-030: STREET LIGHT LOT	01/10/2018	18.97	.00	
156	LOWER VALLEY ENERGY INC	92050-GRP:41	92050-031: STREET LIGHT LOT	01/10/2018	18.77	.00	
156	LOWER VALLEY ENERGY INC	92050-GRP:41	92050-032: STREET LIGHT LOT	01/10/2018	19.15	.00	
156	LOWER VALLEY ENERGY INC	92050-GRP:41	92050-034: STREET LIGHT LOT	01/10/2018	18.95	.00	
156	LOWER VALLEY ENERGY INC	92050-GRP:41	92050-035: ST LT COTTONWOOD	01/10/2018	19.15	.00	
156	LOWER VALLEY ENERGY INC	92050-GRP:41	92050-036: ST LT LOTS 12, 13	01/10/2018	16.24	.00	
156	LOWER VALLEY ENERGY INC	92050-GRP:41	92050-019: LIFT PUMP COTTON	01/10/2018	72.09	.00	
156	LOWER VALLEY ENERGY INC	92050-GRP:41	92050-023: RANGEVIEW ST LT	01/10/2018	19.42	.00	
156	LOWER VALLEY ENERGY INC	92050-GRP:41	92050-024: SEWER LIFT PUMP	01/10/2018	21.15	.00	
156	LOWER VALLEY ENERGY INC	92050-GRP:41	92050-026: 450 SNOW KING AV	01/10/2018	274.78	.00	
156	LOWER VALLEY ENERGY INC	92050-GRP:41	92050-027: STREET LIGHT LOT	01/10/2018	18.96	.00	
156	LOWER VALLEY ENERGY INC	92050-GRP:41	92050-028: STREET LIGHT LOT	01/10/2018	18.83	.00	
156	LOWER VALLEY ENERGY INC	92050-GRP:41	92050-091: 665 FLAT CREEK DR	01/10/2018	16.37	.00	
156	LOWER VALLEY ENERGY INC	92050-GRP:41	92050-002: ANIMAL SHELTER	01/10/2018	331.85	.00	
156	LOWER VALLEY ENERGY INC	92050-GRP:41	92050-003: ASPEN HIGHLAND P	01/10/2018	318.73	.00	
156	LOWER VALLEY ENERGY INC	92050-GRP:41	92050-008: CEMETARY	01/10/2018	43.00	.00	
156	LOWER VALLEY ENERGY INC	92050-GRP:41	92050-014: HEAT TAPE	01/10/2018	91.74	.00	
156	LOWER VALLEY ENERGY INC	92050-GRP:41	92050-018: JBP SEWER LIFT PU	01/10/2018	21.74	.00	
156	LOWER VALLEY ENERGY INC	92050-GRP:89	92050-GRP:8952: MULTIPLE ST	01/10/2018	2,222.70	.00	
Total 156:					13,463.04	188.99	
201	SENIOR CENTER OF JACKSON	012418	3RD QUARTER	01/24/2018	20,322.00	.00	
Total 201:					20,322.00	.00	
241	ST JOHN'S HOSPITAL	30763675	CHEM & LAB	11/04/2017	65.00	.00	
241	ST JOHN'S HOSPITAL	30764876	CHEM & LAB	11/11/2017	65.00	.00	
241	ST JOHN'S HOSPITAL	30768401	CHEM & LAB	12/03/2017	65.00	.00	
241	ST JOHN'S HOSPITAL	30769842	CHEM & LAB	12/09/2017	65.00	.00	
241	ST JOHN'S HOSPITAL	30771553-000	EMERGENCY ROOM VISIT	12/19/2017	500.00	.00	
241	ST JOHN'S HOSPITAL	30773760	CHEM & LAB	12/30/2017	65.00	.00	
Total 241:					825.00	.00	
257	NAPA AUTO PARTS INC.	753583	PRIMARY WIRE	12/30/2017	29.60	.00	
257	NAPA AUTO PARTS INC.	753895	DISC PAD, BRAK E ROTOR/HUB	01/03/2018	157.01	.00	
257	NAPA AUTO PARTS INC.	753907	NAPA OIL SEAL	01/03/2018	31.84	.00	
257	NAPA AUTO PARTS INC.	753932	WHEEL SEAL FRONT W	01/03/2018	25.40	.00	
257	NAPA AUTO PARTS INC.	754728	FLAT NUT	01/06/2018	4.10	.00	
257	NAPA AUTO PARTS INC.	754779	16" EXACTFITBLAD	01/08/2018	4.99	.00	
257	NAPA AUTO PARTS INC.	755427	NAPAGOLD OIL FILTERS, NAPA	01/10/2018	425.64	.00	

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
257	NAPA AUTO PARTS INC.	755500	PRIMARY WIRE	01/11/2018	220.00	.00	
257	NAPA AUTO PARTS INC.	755843	WARRANT CREDIT, NAPAGOLD	01/12/2018	.00	.00	
257	NAPA AUTO PARTS INC.	756075	CONNECTOR CLIPS	01/15/2018	10.55	.00	
257	NAPA AUTO PARTS INC.	756274	ADAPTER	01/16/2018	1.89	.00	
257	NAPA AUTO PARTS INC.	756662	NAPAGOLD OIL FILTERS	01/17/2018	42.98	.00	
257	NAPA AUTO PARTS INC.	756878	CLAMP	01/18/2018	21.44	.00	
257	NAPA AUTO PARTS INC.	756889	wiper blades	01/18/2018	35.75	.00	
257	NAPA AUTO PARTS INC.	757037	BATTERY 12V	01/19/2018	89.99	.00	
257	NAPA AUTO PARTS INC.	757864	NAPAGOLD AIR FILTER, NAPA	01/24/2018	129.57	.00	
257	NAPA AUTO PARTS INC.	757936	PTEX THREAD SEAL	01/25/2018	6.58	.00	
257	NAPA AUTO PARTS INC.	757949	D EARTH	01/25/2018	48.12	.00	
257	NAPA AUTO PARTS INC.	757972	D EARTH	01/25/2018	48.12	.00	
257	NAPA AUTO PARTS INC.	758002	PTEX ULTRA BLACK CART	01/25/2018	14.10	.00	
Total 257:					1,347.67	.00	
258	JACKSON HOLE COMMUNITY C	521	3RD QUARTER PAYMENT	01/01/2018	25,000.00	.00	
Total 258:					25,000.00	.00	
260	COMMUNITY SAFETY NETWOR	010818	3RD QUARTER	01/08/2018	9,000.00	.00	
Total 260:					9,000.00	.00	
268	TETON MOTORS INC	5084151	HANDLE	12/27/2017	34.90	.00	
268	TETON MOTORS INC	5084250	ROTOR	01/04/2018	250.60	.00	
268	TETON MOTORS INC	5084288	REMANUFACTURED CASE, FLU	01/08/2018	1,854.21	.00	
268	TETON MOTORS INC	5084310	ARM & CAP	01/09/2018	45.74	.00	
268	TETON MOTORS INC	5084311	CAP	01/09/2018	5.37-	.00	
268	TETON MOTORS INC	5084313	BLADE	01/09/2018	14.95	.00	
268	TETON MOTORS INC	5084314	CREDIT: RETURN REMANUFAC	01/09/2018	300.00-	.00	
268	TETON MOTORS INC	5084333	ROTOR	01/10/2018	257.24	.00	
268	TETON MOTORS INC	5084343	HOUSING	01/18/2018	34.93	.00	
268	TETON MOTORS INC	5084344	MIRROR	01/11/2018	312.98	.00	
268	TETON MOTORS INC	5084350	REGULATOR	01/11/2018	139.85	.00	
268	TETON MOTORS INC	5084351	CREDIT: RETURN REGULATOR	01/11/2018	139.83-	.00	
Total 268:					2,500.20	.00	
298	TETON YOUTH & FAMILY SERV	013118	3RD QUARTER PAYMENT VAN	01/31/2018	33,187.50	.00	
298	TETON YOUTH & FAMILY SERV	013118	3RD QUARTER PAYMENT HIRC	01/31/2018	7,312.50	.00	
Total 298:					40,500.00	.00	
305	KNOBE'S ELECTRONICS	10352366	STERENT	10/13/2017	7.15	.00	
305	KNOBE'S ELECTRONICS	10359709	3' MONO EARPHONE, 15' HAND	01/25/2018	12.98	.00	
Total 305:					20.13	.00	
329	WYOMING RETIREMENT SYST	151409	JANUARY CONTRIBUTIONS	01/23/2018	26,560.90	26,560.90	01/23/2018
329	WYOMING RETIREMENT SYST	151410	JANUARY CONTRIBUTIONS	01/23/2018	34,543.71	34,543.71	01/23/2018
329	WYOMING RETIREMENT SYST	151411	JANUARY CONTRIBUTIONS	01/23/2018	32,133.52	32,133.52	01/23/2018
Total 329:					93,238.13	93,238.13	
415	HAYSE M.D., BRUCE	011018	DOT PHYSICALS	01/10/2018	1,440.00	.00	

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
Total 415:					1,440.00	.00	
447	CDW-GOVERNMENT	LMW5303	XPLORE R	01/25/2018	14,900.00	.00	
Total 447:					14,900.00	.00	
463	ANIMAL CARE CLINIC OF JACK	625906806	RABIES	12/06/2017	15.00	.00	
Total 463:					15.00	.00	
472	WHITE GLOVE CLEANING, INC.	34327	SHELTER & TRASH CAN CLEAN	12/31/2017	530.45	.00	
472	WHITE GLOVE CLEANING, INC.	34327	SHELTER & TRASH CAN CLEAN	12/31/2017	127.31	.00	
472	WHITE GLOVE CLEANING, INC.	34394	ROOM CLEANING- GENERAL W	12/31/2017	37.50	.00	
472	WHITE GLOVE CLEANING, INC.	34395	FIX 2 INWALL TRASH, REPLAC	12/31/2017	260.00	.00	
Total 472:					955.26	.00	
503	HUNT CONSTRUCTION INC	7635	CRACK REPAIR @ SCOTT LAN	10/18/2017	9,593.62	.00	
Total 503:					9,593.62	.00	
544	CENTURYLINK	1430504807	307-734-4419	01/15/2018	7.65	.00	
544	CENTURYLINK	1430953837	307-733-3932	01/19/2018	171.09	.00	
544	CENTURYLINK	307-111-5050	307-111-5050	01/07/2018	1,874.32	.00	
544	CENTURYLINK	307-733-3106	307-733-3106	01/13/2018	36.71	.00	
Total 544:					2,089.77	.00	
552	RENDEZVOUS ENGINEERING,	17-010 #5	PROJ: 17-010- TOJ SNOW KING	12/20/2017	10,209.70	.00	
Total 552:					10,209.70	.00	
564	GEMPLERS INC.	SI03876147	BOOTS INSULATED WTRPRF C	11/17/2017	93.99	.00	
Total 564:					93.99	.00	
611	CUMMINS ROCKY MOUNTAIN L	022-72112	CAP-RAD PRESSURE 7 PSI	01/10/2018	34.47	.00	
611	CUMMINS ROCKY MOUNTAIN L	024-61238	AFM DEVICE GASKET	01/17/2018	72.18	.00	
Total 611:					106.65	.00	
671	LINCOLN NATIONAL LIFE	107747 0218	FEBRUARY PREMIJM	01/22/2017	30.10	30.10	01/23/2018
671	LINCOLN NATIONAL LIFE	107747 0218	FEBRUARY PREMIJM	01/22/2017	171.15	171.15	01/23/2018
671	LINCOLN NATIONAL LIFE	107747 0218	FEBRUARY PREMIJM	01/22/2017	115.02	115.02	01/23/2018
671	LINCOLN NATIONAL LIFE	107747 0218	FEBRUARY PREMIJM	01/22/2017	69.60	69.60	01/23/2018
671	LINCOLN NATIONAL LIFE	107747 0218	FEBRUARY PREMIJM	01/22/2017	186.86	186.86	01/23/2018
671	LINCOLN NATIONAL LIFE	107747 0218	FEBRUARY PREMIJM	01/22/2017	245.28	245.28	01/23/2018
671	LINCOLN NATIONAL LIFE	107747 0218	FEBRUARY PREMIJM	01/22/2017	44.45	44.45	01/23/2018
671	LINCOLN NATIONAL LIFE	107747 0218	FEBRUARY PREMIJM	01/22/2017	44.45	44.45	01/23/2018
671	LINCOLN NATIONAL LIFE	107747 0218	FEBRUARY PREMIJM	01/22/2017	87.23	87.23	01/23/2018
671	LINCOLN NATIONAL LIFE	107747 0218	FEBRUARY PREMIJM	01/22/2017	178.90	178.90	01/23/2018
671	LINCOLN NATIONAL LIFE	107747 0218	FEBRUARY PREMIJM	01/22/2017	198.92	198.92	01/23/2018
671	LINCOLN NATIONAL LIFE	107747 0218	FEBRUARY PREMIJM	01/22/2017	64.27	64.27	01/23/2018
671	LINCOLN NATIONAL LIFE	107747 0218	FEBRUARY PREMIJM	01/22/2017	495.81	495.81	01/23/2018
671	LINCOLN NATIONAL LIFE	107747 0218	FEBRUARY PREMIJM	01/22/2017	163.50	163.50	01/23/2018
671	LINCOLN NATIONAL LIFE	107747 0218	FEBRUARY PREMIJM	01/22/2017	1,336.17	1,336.17	01/23/2018
671	LINCOLN NATIONAL LIFE	107747 0218	FEBRUARY PREMIJM	01/22/2017	91.72	91.72	01/23/2018

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
671	LINCOLN NATIONAL LIFE	107747 0218	FEBRUARY PREMIJM	01/22/2017	87.58	87.58	01/23/2018
671	LINCOLN NATIONAL LIFE	107747 0218	FEBRUARY PREMIJM	01/22/2017	182.15	182.15	01/23/2018
671	LINCOLN NATIONAL LIFE	107747 0218	FEBRUARY PREMIJM	01/22/2017	342.00	342.00	01/23/2018
671	LINCOLN NATIONAL LIFE	107747 0218	FEBRUARY PREMIJM	01/22/2017	420.17	420.17	01/23/2018
671	LINCOLN NATIONAL LIFE	107747 0218	FEBRUARY PREMIJM	01/22/2017	218.30	218.30	01/23/2018
671	LINCOLN NATIONAL LIFE	107747 0218	FEBRUARY PREMIJM	01/22/2017	224.52	224.52	01/23/2018
671	LINCOLN NATIONAL LIFE	107747 0218	FEBRUARY PREMIJM	01/22/2017	165.20	165.20	01/23/2018
671	LINCOLN NATIONAL LIFE	107747 0218	FEBRUARY PREMIJM	01/22/2017	198.63	198.63	01/23/2018
671	LINCOLN NATIONAL LIFE	107747 0218	FEBRUARY PREMIJM	01/22/2017	154.97	154.97	01/23/2018
671	LINCOLN NATIONAL LIFE	107747 0218	FEBRUARY PREMIJM	01/22/2017	113.96	113.96	01/23/2018
671	LINCOLN NATIONAL LIFE	3610294919	107391 february premium	01/25/2018	2,262.48	2,262.48	01/25/2018
Total 671:					7,893.39	7,893.39	
708	DELTA DENTAL PLAN OF WYO	011618	FEBRUARY PREMIUM	01/16/2018	566.80	566.80	01/25/2018
Total 708:					566.80	566.80	
721	EMERG + A + CARE	943218693	EMPLOYEE EXAM	12/01/2017	140.00	.00	
721	EMERG + A + CARE	943218693	EMPLOYEE EXAM	12/01/2017	100.00	.00	
721	EMERG + A + CARE	943219079	POLICE OFFICER TESTING	12/21/2017	237.00	.00	
Total 721:					477.00	.00	
861	ROTARY CLUB OF JACKSON H	473 0118	ROTARY DUES BOB MCLAURIN	01/10/2018	320.00	.00	
Total 861:					320.00	.00	
996	TETON COUNTY SPECIAL FIRE	013018	JNAUARY 2018	01/30/2018	29,701.40	.00	
996	TETON COUNTY SPECIAL FIRE	013018C	JANUARY 2018 CAPITAL	01/30/2018	9,804.38	.00	
Total 996:					39,505.78	.00	
1022	GALLS INC.	009116837	TACTICAL FLEECE	01/12/2018	184.00	.00	
1022	GALLS INC.	009143731	TACTICAL FLEECE	01/17/2018	600.00	.00	
1022	GALLS INC.	009143731	TACTICAL FLEECE	01/17/2018	400.00	.00	
1022	GALLS INC.	009143731	TACTICAL FLEECE	01/17/2018	1,000.00	.00	
1022	GALLS INC.	009143731	TACTICAL FLEECE	01/17/2018	1,128.00	.00	
Total 1022:					3,312.00	.00	
1054	SUNRISE ENVIRONMENTAL	82589	MEGA LUBE	01/04/2018	213.26	.00	
1054	SUNRISE ENVIRONMENTAL	82663	TOMAHAWK & FREIGHT	01/05/2018	59.72	.00	
Total 1054:					272.98	.00	
1064	WYOMING DEPARTMENT OF H	01302018JPD	BLOOD KITS	01/30/2018	246.50	.00	
Total 1064:					246.50	.00	
1134	ENERGY LABORATORIES INC.	131325	INFLUENT, EFFLUENT	01/12/2018	94.00	.00	
1134	ENERGY LABORATORIES INC.	132435	EFFLUENT	01/18/2018	89.00	.00	
1134	ENERGY LABORATORIES INC.	133810	EFFLUENT	01/25/2018	59.00	.00	
1134	ENERGY LABORATORIES INC.	134474	EFFLUENT	01/30/2018	59.00	.00	
Total 1134:					301.00	.00	
1235	MOTOROLA INC.	13198167	DIGITAL SMARTZONE	01/11/2018	460.00	.00	

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
Total 1235:					460.00	.00	
1443	TETON COUNTY CLERK	012418	TRADE IN VALUE FOR VAN	01/24/2018	1,048.00	.00	
1443	TETON COUNTY CLERK	013118F	FEBRUARY 2018 FIRE EMS	01/31/2018	101,360.75	.00	
1443	TETON COUNTY CLERK	013118HA	FEBRUARY 2018	01/31/2018	13,049.50	.00	
1443	TETON COUNTY CLERK	013118PR	FEBRUARY 2018 PARKS & REC	01/31/2018	21,949.66	.00	
1443	TETON COUNTY CLERK	013118PR	FEBRUARY 2018 PARKS & REC	01/31/2018	90,986.59	.00	
1443	TETON COUNTY CLERK	106	CLARION ASSOCIATED pROJE	01/09/2018	1,100.00	.00	
1443	TETON COUNTY CLERK	21	CLARION ASSOCIATED pROJE	01/18/2018	2,228.75	.00	
Total 1443:					231,723.25	.00	
1605	SMITH, G. TODD	122817	TUITON REIMBURSEMENT	12/28/2017	594.50	.00	
Total 1605:					594.50	.00	
1614	TETON COUNTY-FUND 10	013018D	JANUARY 2018 DISPATCH	01/30/2018	13,822.19	.00	
1614	TETON COUNTY-FUND 10	013018K	JANUARY 2018 KOHLHARDT	01/30/2018	2,972.99	.00	
1614	TETON COUNTY-FUND 10	013018N	JANUARY 2018 NORTON	01/30/2018	2,598.03	.00	
1614	TETON COUNTY-FUND 10	013018P	JANUARY 2018 PATHWAYS	01/30/2018	4,874.99	.00	
Total 1614:					24,268.20	.00	
1640	WESTERN STATES	IN000555318	420F2 4XG CATERPILLAR	01/16/2018	99,996.22	.00	
1640	WESTERN STATES	IN000560507	LAMP GP-FRON	01/22/2018	99.16	.00	
1640	WESTERN STATES	IN000561929	SWITCH AS HARNESS A- 950F1	01/23/2018	116.66	.00	
Total 1640:					100,212.04	.00	
1691	CORE & MAIN LP	1282916	NEPTUNE SOFTWARE MAINT 0	01/10/2018	2,126.00	.00	
1691	CORE & MAIN LP	I300007	NEPTUNE, METER FLANGE, 2"	01/19/2018	4,062.24	.00	
Total 1691:					6,188.24	.00	
1783	AT&T	287259163099	MONTHLY CHARGES	01/16/2018	578.28	.00	
1783	AT&T	287272169264	START CELL PHONES	10/12/2017	308.87	.00	
1783	AT&T	287272169264	START CELL PHONES	12/22/2017	154.79	.00	
1783	AT&T	28727995460X	MONTHLY CHARGES	01/19/2018	244.56	.00	
Total 1783:					1,286.50	.00	
1839	RAFTER J IMPROV/SERV DIST	4505	ANIMAL SHELTER QUARTERLY	01/01/2018	146.43	.00	
Total 1839:					146.43	.00	
1949	VERIZON WIRELESS	9799976463	690-7868	01/15/2018	36.32	.00	
1949	VERIZON WIRELESS	9799976463	699-2277	01/15/2018	46.21	.00	
Total 1949:					82.53	.00	
2224	LOCAL GOV'T LIABILITY POOL	11188	AA-20181024 CLOUSE	01/25/2018	1,000.00	.00	
Total 2224:					1,000.00	.00	
2247	WATKINS, MARK	011818	REIMB FOR MILEAGE	01/18/2018	77.04	.00	

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
Total 2247:					77.04	.00	
2269	AFLAC	057120	ACCOUNT #y9599	01/25/2018	3,676.62	3,676.62	01/25/2018
Total 2269:					3,676.62	3,676.62	
2327	TETON COUNTY SHERIFF-DISP	012918	DISPATCH OCT- DEC 2017	01/29/2018	2,198.92	.00	
Total 2327:					2,198.92	.00	
2458	AMERIGAS	3073285802	PROPANE FOR MIDDLE TANK:	01/05/2018	1,227.67	.00	
Total 2458:					1,227.67	.00	
2473	GUHEEN, TOM	011617	REIMBURSE DOT	01/16/2017	100.00	.00	
Total 2473:					100.00	.00	
2485	KENWORTH SALES COMPANY	IDFIN2651141-	ELEMENT PRE	01/15/2018	125.62	.00	
2485	KENWORTH SALES COMPANY	IDFIN2655571	SAE CLASS 1 SURFACE MOUN	01/15/2018	137.44	.00	
2485	KENWORTH SALES COMPANY	IDFIN2666788	LAMP LED 6" RE, BACKUP ALA	01/22/2018	96.00	.00	
Total 2485:					359.06	.00	
2614	PLANET JACKSON HOLE, INC	160274	DISPLAY AD	01/17/2018	504.00	.00	
Total 2614:					504.00	.00	
2758	RANCH INN	012218	VICTIM SERVICES/ROOM RENT	01/22/2018	280.00	.00	
Total 2758:					280.00	.00	
2842	YELLOW IRON EXCAVATION, L	24779	TRASH REMOVAL @ SHELTER	12/31/2017	150.00	.00	
2842	YELLOW IRON EXCAVATION, L	24782	TRASH REMOVAL @ START	12/31/2017	160.00	.00	
Total 2842:					310.00	.00	
2876	CAST	1052	CAST DINNER BOB LENZ	01/25/2018	110.00	.00	
Total 2876:					110.00	.00	
3027	TETON COUNTY-FUND 13	013018C	JANUARY 2018 CAPTIAL	01/30/2018	1,190.44	.00	
Total 3027:					1,190.44	.00	
3070	VALLEY WEST ENGINEERING,	1299	PROJ: SMITH-SIMON SEWER S	12/29/2017	6,135.00	.00	
3070	VALLEY WEST ENGINEERING,	1306	PROJ: JACKSON STREET- BILLI	12/29/2017	700.00	.00	
3070	VALLEY WEST ENGINEERING,	1311	PROJ: SMITH-SIMON SEWER: B	01/29/2018	9,310.00	.00	
Total 3070:					16,145.00	.00	
3187	MERIDIAN ENGINEERING P.C.	ME-1294	PATHWAYS FLOOD MIT	11/14/2017	4,723.95	.00	
Total 3187:					4,723.95	.00	
3408	E.R. OFFICE EXPRESS	07868	CD ENVELOPES	12/28/2017	114.42	.00	
3408	E.R. OFFICE EXPRESS	07889	paper	12/29/2017	87.18	.00	

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
3408	E.R. OFFICE EXPRESS	07995	MARKERS	01/11/2018	8.63	.00	
3408	E.R. OFFICE EXPRESS	08040	SHARPY PENS, PAPER AND HO	01/16/2018	170.62	.00	
3408	E.R. OFFICE EXPRESS	08049	paper	01/16/2018	74.99	.00	
3408	E.R. OFFICE EXPRESS	08070	POST ITS	01/16/2018	9.99	.00	
3408	E.R. OFFICE EXPRESS	08078	STANDING DESK	01/16/2018	839.98	.00	
3408	E.R. OFFICE EXPRESS	08116	FILE FOLDERS	01/22/2018	41.99	.00	
3408	E.R. OFFICE EXPRESS	08135	ENVELOPES	01/22/2018	250.50	.00	
3408	E.R. OFFICE EXPRESS	08176	CD ENVELOPES	01/25/2018	96.38	.00	
3408	E.R. OFFICE EXPRESS	08199	ENVELOPES	01/29/2018	22.41	.00	
3408	E.R. OFFICE EXPRESS	08244	RED TAPE	01/31/2018	65.96	.00	
Total 3408:					1,783.05	.00	
3420	VISA	1065 0118	EVERYTHING KITCHENS	12/24/2017	45.45	45.45	01/18/2018
3420	VISA	1065 0118	WYOMING STATE BAR	12/24/2017	380.00	380.00	01/18/2018
3420	VISA	1065 0118	USPS	12/24/2017	10.22	10.22	01/18/2018
3420	VISA	1065 0118	STRAFFORD PUBLICATIONS	12/24/2017	297.00	297.00	01/18/2018
3420	VISA	1115 0118	EXXON	12/24/2017	42.81	42.81	01/18/2018
3420	VISA	1123 0118	ARTIC CIRCLE	12/24/2017	54.70	54.70	01/18/2018
3420	VISA	1164 0118	NORTHERN TOOL	12/24/2017	148.11	148.11	01/18/2018
3420	VISA	1164 0118	1000 BULBS	12/24/2017	.01	.01	01/18/2018
3420	VISA	1164 0118	TETON TAILS	12/24/2017	16.41	16.41	01/18/2018
3420	VISA	1164 0118	CLARIVATE US	12/24/2017	183.38	183.38	01/18/2018
3420	VISA	1164 0118	TETON TAILS	12/24/2017	98.45	98.45	01/18/2018
3420	VISA	1164 0118	CITGO LUBRICANTS	12/24/2017	73.67	73.67	01/18/2018
3420	VISA	1164 0118	STAPLES	12/24/2017	131.01	131.01	01/18/2018
3420	VISA	1164 0118	1000 BULBS	12/24/2017	295.56	295.56	01/18/2018
3420	VISA	1164 0118	1000 BULBS	12/24/2017	49.11	49.11	01/18/2018
3420	VISA	1164 0118	1000 BULBS	12/24/2017	5.60	5.60	01/18/2018
3420	VISA	1214 0118	STAPLES	12/24/2017	85.79	85.79	01/18/2018
3420	VISA	1255 0118	CHEVRON	12/24/2017	31.02	31.02	01/18/2018
3420	VISA	1255 0118	QUIZNOS	12/24/2017	11.32	11.32	01/18/2018
3420	VISA	1255 0118	HOLIDAY INN	12/24/2017	112.60	112.60	01/18/2018
3420	VISA	1255 0118	CHICK FIL A	12/24/2017	10.66	10.66	01/18/2018
3420	VISA	2030 0118	FROST GUARD	12/24/2017	454.97	454.97	01/18/2018
3420	VISA	2030 0118	CREDIT	12/24/2017	595.00-	595.00-	01/18/2018
3420	VISA	2030 0118	ARC. SERVICES	12/24/2017	513.00	513.00	01/18/2018
3420	VISA	2030 0118	FEDEX	12/24/2017	201.79	201.79	01/18/2018
3420	VISA	4564 0118	SMITHS	11/24/2017	28.71	28.71	01/18/2018
3420	VISA	4564 0118	SMITHS	11/24/2017	9.90	9.90	01/18/2018
3420	VISA	4564 0118	STAPLES	11/24/2017	64.20	64.20	01/18/2018
3420	VISA	4564 0118	THE VIRGINIAN	11/24/2017	180.77	180.77	01/18/2018
3420	VISA	4564 0118	NEW YORK CITY SUB	11/24/2017	142.74	142.74	01/18/2018
3420	VISA	4564 0118	WORKING PERSON STORE	11/24/2017	85.18	85.18	01/18/2018
3420	VISA	4564 0118	AMAZON 9AMP CONTACTOR	11/24/2017	79.98	79.98	01/18/2018
3420	VISA	4564 0118	SMITHS	11/24/2017	29.70	29.70	01/18/2018
3420	VISA	4564 0118	32 NORTH CORP	11/24/2017	798.80	798.80	01/18/2018
3420	VISA	5017 0118	CREEKSIDE MARKET	12/24/2017	81.00	81.00	01/18/2018
3420	VISA	5017 0118	COCOLOVE	12/24/2017	29.04	29.04	01/18/2018
3420	VISA	5017 0118	KMART	12/24/2017	23.30-	23.30-	01/18/2018
3420	VISA	5017 0118	ALBERTSONS	12/24/2017	34.89	34.89	01/18/2018
3420	VISA	5017 0118	TJ MAXX	12/24/2017	21.17	21.17	01/18/2018
3420	VISA	5017 0118	COMMUNITY TRANSPORTATIO	12/24/2017	925.00	925.00	01/18/2018
3420	VISA	5017 0118	RADIO ENGINEERING	12/24/2017	366.19	366.19	01/18/2018
3420	VISA	5017 0118	KMART	12/24/2017	23.30	23.30	01/18/2018
3420	VISA	5017 0118	STAPLES	12/24/2017	8.60	8.60	01/18/2018
3420	VISA	5017 0118	STAPLES	12/24/2017	21.19	21.19	01/18/2018
3420	VISA	5017 0118	MOES BBQ	12/24/2017	96.92	96.92	01/18/2018

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
3420	VISA	5017 0118	ALBERTSONS	12/24/2017	23.98	23.98	01/18/2018
3420	VISA	5215 0118	STAPLES	12/24/2017	40.24	40.24	01/18/2018
3420	VISA	5215 0118	USPS	12/24/2017	49.00	49.00	01/18/2018
3420	VISA	5215 0118	PSA WORLDWIDE	12/24/2017	2,328.75	2,328.75	01/18/2018
3420	VISA	5215 0118	VISTA PRINT	12/24/2017	25.95	25.95	01/18/2018
3420	VISA	5397 0118	DETROIT MEDIA	12/24/2017	656.50	656.50	01/18/2018
3420	VISA	5397 0118	E. LEAVEN	12/24/2017	85.04	85.04	01/18/2018
3420	VISA	5397 0118	PEAKS MOTEL	12/24/2017	224.18	224.18	01/18/2018
3420	VISA	5397 0118	WAV FRESH	12/24/2017	2,781.19	2,781.19	01/18/2018
3420	VISA	5397 0118	PINKY G'S	12/24/2017	63.79	63.79	01/18/2018
3420	VISA	5397 0118	SQUARE SPACE	12/24/2017	10.00	10.00	01/18/2018
3420	VISA	5397 0118	GO DADDY	12/24/2017	18.17	18.17	01/18/2018
3420	VISA	5397 0118	LEXINGTON HERALD	12/24/2017	316.95	316.95	01/18/2018
3420	VISA	5397 0118	CHARLESTOWN NEWSPAPER	12/24/2017	440.08	440.08	01/18/2018
3420	VISA	5397 0118	ZIPREUITER	12/24/2017	249.00	249.00	01/18/2018
3420	VISA	5397 0118	LUCKY'S	12/24/2017	10.24	10.24	01/18/2018
3420	VISA	5397 0118	PINKY G'S	12/24/2017	84.50	84.50	01/18/2018
3420	VISA	6106 0118	CONTEMPORARY FILING	12/24/2017	47.19	47.19	01/18/2018
3420	VISA	6106 0118	PERSEPHONE BAKERY	12/24/2017	25.50	25.50	01/18/2018
3420	VISA	6106 0118	STAPLES	12/24/2017	67.77	67.77	01/18/2018
3420	VISA	6106 0118	DAIRY QUEEN	12/24/2017	61.46	61.46	01/18/2018
3420	VISA	6593 0118	KMART	12/24/2017	2,300.00	2,300.00	01/18/2018
3420	VISA	6684 0118	THE WORT	12/24/2017	122.82	122.82	01/18/2018
3420	VISA	6825 0118	FED EX	12/24/2017	8.00	8.00	01/18/2018
3420	VISA	6825 0118	GALLS	12/24/2017	60.00	60.00	01/18/2018
3420	VISA	6825 0118	STAPLES	12/24/2017	25.21	25.21	01/18/2018
3420	VISA	6825 0118	DIY LETTERING	12/24/2017	118.72	118.72	01/18/2018
3420	VISA	6908 0118	12 Issues of Conde Nast	01/18/2018	5.00	5.00	01/18/2018
3420	VISA	6908 0118	Citizens One Iphone loan	01/18/2018	56.16	56.16	01/18/2018
3420	VISA	6908 0118	Citizens One Iphone loan	01/18/2018	56.16	56.16	01/18/2018
3420	VISA	6908 0118	Amazon Web Services Billing	01/18/2018	78.88	78.88	01/18/2018
3420	VISA	6908 0118	STAPLES -USB,Duracell coppert	01/18/2018	76.36	76.36	01/18/2018
3420	VISA	6908 0118	Paypal Cableand kits.com	01/18/2018	338.19	338.19	01/18/2018
3420	VISA	6908 0118	intuit-Quickbooks Online simpres t	01/18/2018	15.00	15.00	01/18/2018
3420	VISA	6908 0118	Dish Network	01/18/2018	111.66	111.66	01/18/2018
3420	VISA	7294 0118	ANIMAL SHELTER SUPPLIES	12/24/2017	231.96	231.96	01/18/2018
3420	VISA	7294 0118	ANIMAL SHELTER SUPPLIES	12/24/2017	7.19	7.19	01/18/2018
3420	VISA	7294 0118	ANIMAL SHELTER SUPPLIES	12/24/2017	227.75	227.75	01/18/2018
3420	VISA	7294 0118	ANIMAL SHELTER SUPPLIES	12/24/2017	793.49	793.49	01/18/2018
3420	VISA	8144 0118	JACKSON HOLE MARKETPLAC	12/24/2017	30.00	30.00	01/18/2018
3420	VISA	8144 0118	CABELAS	12/24/2017	219.98	219.98	01/18/2018
3420	VISA	8144 0118	CABELAS	12/24/2017	309.95	309.95	01/18/2018
3420	VISA	8144 0118	SKINNY SKIS	12/24/2017	30.00	30.00	01/18/2018
3420	VISA	8144 0118	FRAUD TRANSACTION CREDIT	12/24/2017	175.87-	175.87-	01/18/2018
3420	VISA	8144 0118	SKINNY SKIS	12/24/2017	149.14	149.14	01/18/2018
Total 3420:					18,466.85	18,466.85	
3453	CLARK RADIO ELECTRONICS, I	18565	CODEPLUG	01/02/2018	1,724.60	.00	
3453	CLARK RADIO ELECTRONICS, I	18931	TECH SERVICE	01/02/2018	139.00	.00	
Total 3453:					1,863.60	.00	
3487	ARCHITECTURAL BUILDING SU	7775811	PUSH BUTTOM LOCKSET	01/08/2018	440.38	.00	
Total 3487:					440.38	.00	
3527	UPS	0000129VW40	SHIPPING CHARGE-POLICE	01/06/2018	17.76	.00	

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
3527	UPS	0000129VW40	SHIPPING CHARGE-POLICE	01/20/2018	26.64	.00	
Total 3527:					44.40	.00	
3530	AMSOIL INC	17598808 RI	SYNTHETIC 15W40, SYNTHETI	01/08/2018	8,559.47	.00	
Total 3530:					8,559.47	.00	
3596	ADVANCED GLASS TRIM, LLC	18402	WINDSHIELD #4191- 2014 FOR	01/02/2018	290.00	.00	
3596	ADVANCED GLASS TRIM, LLC	18450	WINDSHIELD #685- 2015 CHEV	01/11/2018	300.00	.00	
3596	ADVANCED GLASS TRIM, LLC	18451	WINDSHIELD #4052- 2013 FOR	01/11/2018	290.00	.00	
3596	ADVANCED GLASS TRIM, LLC	18508	WINDSHIELD #3378- 2016- CHE	01/25/2018	315.00	.00	
Total 3596:					1,195.00	.00	
3619	WY CHILD SUPPORT ENFORCE	011718	case #209790 GALLEGHER	01/17/2018	146.76	146.76	01/17/2018
3619	WY CHILD SUPPORT ENFORCE	011718	case#230073 CORONA	01/17/2018	745.50	745.50	01/17/2018
3619	WY CHILD SUPPORT ENFORCE	013118	case #209790 GALLEGHER	01/31/2018	146.76	146.76	01/31/2018
3619	WY CHILD SUPPORT ENFORCE	013118	case#230073 CORONA	01/31/2018	745.50	745.50	01/31/2018
Total 3619:					1,784.52	1,784.52	
3648	LENZ, BOB	012118CO	TRAVEL EXPENSES TO CAST C	01/21/2018	138.00	.00	
3648	LENZ, BOB	012118CO2	TRAVEL EXPENSES TELLURID	01/21/2018	222.00	.00	
3648	LENZ, BOB	012118NC	RAVEL EXPENSES TO CHARLO	01/21/2018	1,108.10	.00	
Total 3648:					1,468.10	.00	
3794	FISH CREEK VET CLINIC, LLC	52093	RABIES	12/15/2017	15.00	.00	
Total 3794:					15.00	.00	
3919	OMNI SECURITY SYSTEMS INC	17-4349	YEARLY MONITORING SERVIC	01/01/2018	242.00	.00	
Total 3919:					242.00	.00	
3932	MILLER SANITATION	11048	CITY CANS 74/DAY FOR 8 DAY	01/15/2018	1,953.60	.00	
3932	MILLER SANITATION	11049	START ROUTE 10 CANS- FEBR	01/15/2018	280.00	.00	
Total 3932:					2,233.60	.00	
3955	THOMSON WEST	837449568	INFORMATION CHARGES	01/01/2018	680.49	.00	
3955	THOMSON WEST	837449568	INFORMATION CHARGES	01/01/2018	340.24	.00	
3955	THOMSON WEST	837528026	LIBRARY PLAN CHANGES	01/04/2018	40.06	.00	
Total 3955:					1,060.79	.00	
4139	WY WORKERS' SAFETY & COM	012318	FEBRUARY PREMIUM	01/23/2018	276.04	276.04	01/23/2018
4139	WY WORKERS' SAFETY & COM	012318	FEBRUARY PREMIUM	01/23/2018	29.75	29.75	01/23/2018
4139	WY WORKERS' SAFETY & COM	012318	FEBRUARY PREMIUM	01/23/2018	310.32	310.32	01/23/2018
4139	WY WORKERS' SAFETY & COM	012318	FEBRUARY PREMIUM	01/23/2018	63.69	63.69	01/23/2018
4139	WY WORKERS' SAFETY & COM	012318	FEBRUARY PREMIUM	01/23/2018	64.18	64.18	01/23/2018
4139	WY WORKERS' SAFETY & COM	012318	FEBRUARY PREMIUM	01/23/2018	541.27	541.27	01/23/2018
4139	WY WORKERS' SAFETY & COM	012318	FEBRUARY PREMIUM	01/23/2018	64.61	64.61	01/23/2018
4139	WY WORKERS' SAFETY & COM	012318	FEBRUARY PREMIUM	01/23/2018	13.12	13.12	01/23/2018
4139	WY WORKERS' SAFETY & COM	012318	FEBRUARY PREMIUM	01/23/2018	389.78	389.78	01/23/2018
4139	WY WORKERS' SAFETY & COM	012318	FEBRUARY PREMIUM	01/23/2018	511.35	511.35	01/23/2018
4139	WY WORKERS' SAFETY & COM	012318	FEBRUARY PREMIUM	01/23/2018	120.81	120.81	01/23/2018

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
4139	WY WORKERS' SAFETY & COM	012318	FEBRUARY PREMIUM	01/23/2018	3,778.87	3,778.87	01/23/2018
4139	WY WORKERS' SAFETY & COM	012318	FEBRUARY PREMIUM	01/23/2018	307.47	307.47	01/23/2018
4139	WY WORKERS' SAFETY & COM	012318	FEBRUARY PREMIUM	01/23/2018	64.61	64.61	01/23/2018
4139	WY WORKERS' SAFETY & COM	012318	FEBRUARY PREMIUM	01/23/2018	230.06	230.06	01/23/2018
4139	WY WORKERS' SAFETY & COM	012318	FEBRUARY PREMIUM	01/23/2018	211.75	211.75	01/23/2018
4139	WY WORKERS' SAFETY & COM	012318	FEBRUARY PREMIUM	01/23/2018	382.22	382.22	01/23/2018
4139	WY WORKERS' SAFETY & COM	012318	FEBRUARY PREMIUM	01/23/2018	598.33	598.33	01/23/2018
4139	WY WORKERS' SAFETY & COM	012318	FEBRUARY PREMIUM	01/23/2018	183.86	183.86	01/23/2018
4139	WY WORKERS' SAFETY & COM	012318	FEBRUARY PREMIUM	01/23/2018	856.99	856.99	01/23/2018
4139	WY WORKERS' SAFETY & COM	012318	FEBRUARY PREMIUM	01/23/2018	490.84	490.84	01/23/2018
4139	WY WORKERS' SAFETY & COM	012318	FEBRUARY PREMIUM	01/23/2018	262.27	262.27	01/23/2018
4139	WY WORKERS' SAFETY & COM	012318	FEBRUARY PREMIUM	01/23/2018	406.07	406.07	01/23/2018
4139	WY WORKERS' SAFETY & COM	012318	FEBRUARY PREMIUM	01/23/2018	383.51	383.51	01/23/2018
4139	WY WORKERS' SAFETY & COM	012318	FEBRUARY PREMIUM	01/23/2018	223.24	223.24	01/23/2018
4139	WY WORKERS' SAFETY & COM	012318	FEBRUARY PREMIUM	01/23/2018	2,606.89	2,606.89	01/23/2018
Total 4139:					13,371.90	13,371.90	
4198	RESPOND FIRST AID SYSTEMS	192660	FIRST AID KIT SUPPLIES	01/24/2018	68.41	.00	
4198	RESPOND FIRST AID SYSTEMS	192664	FIRST AID KIT SUPPLIES	01/25/2018	40.14	.00	
Total 4198:					108.55	.00	
4212	GILLIG LLC	40413914	HEADLAMP PANEL DUAL, FREI	01/05/2018	412.82	.00	
4212	GILLIG LLC	40414349	1.62 ID FIRE SLEEVE	01/08/2018	78.20	.00	
4212	GILLIG LLC	40414350	1.62 ID FIRE SLEEVE	01/08/2018	78.20	.00	
4212	GILLIG LLC	40414351	SLACK ADJ LH BRAKE, BRAKE	01/08/2018	691.48	.00	
4212	GILLIG LLC	40415114	VDO OIL PRESS 100 PSI SEND	01/10/2018	241.86	.00	
4212	GILLIG LLC	40415534	AIR SLIDE RLS VALVE, DRIVER	01/11/2018	332.82	.00	
4212	GILLIG LLC	40416332	46" NON EGRESS TRA WINDO	01/15/2018	1,202.89	.00	
4212	GILLIG LLC	40416333	SEAT W/ FITTINGS VALVE ASM	01/15/2018	126.30	.00	
4212	GILLIG LLC	40416334	LIGHT KIT	01/15/2018	55.38	.00	
4212	GILLIG LLC	40416860	42 MT 24V STARTER ASM	01/16/2018	406.71	.00	
4212	GILLIG LLC	40416861	BRAKE RELAY R12 VALVE & FR	01/16/2018	246.91	.00	
4212	GILLIG LLC	40417772	EXTERIOR CS-18-D81 MIRROR	01/18/2018	696.42	.00	
4212	GILLIG LLC	40417773	CONVEX MIRRO, 6X10 HEATED	01/18/2018	131.95	.00	
4212	GILLIG LLC	40418193	#8 HOSE ASM	01/19/2018	76.20	.00	
4212	GILLIG LLC	40418194	MASTICATES SLASH SHIELD, L	01/19/2018	100.89	.00	
Total 4212:					4,879.03	.00	
4292	Commercial Tire-ID Falls	107732	185/65R15 BLIZZAK WS-80	01/12/2018	480.28	.00	
Total 4292:					480.28	.00	
4311	ELEAVEN FOOD COMPANY	12591	COFFEE URNS	12/29/2017	250.00	.00	
4311	ELEAVEN FOOD COMPANY	676229	FOOD FOR TRAINING	10/05/2017	249.57	.00	
Total 4311:					499.57	.00	
4320	WARNER TRUCK CENTER	X101141855:0	PRESSURE SENSOR	01/11/2018	84.97	.00	
4320	WARNER TRUCK CENTER	X101142981:0	PRESSURE SENSOR	01/16/2018	184.92	.00	
4320	WARNER TRUCK CENTER	X101143374:0	CRANKCASE BREATHER, VALV	01/17/2018	803.36	.00	
4320	WARNER TRUCK CENTER	X101145084:0	DRAIN VALVE	01/24/2018	61.84	.00	
Total 4320:					1,135.09	.00	
4338	MAILFINANCE	N6911667	POSTAGE	12/23/2017	463.47	.00	

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
Total 4338:					463.47	.00	
4359	SHERWIN-WILLIAMS CO.	5545-7	N95 RESP 10PK	01/11/2018	40.78	.00	
Total 4359:					40.78	.00	
4380	LONG BUILDING TECHNOLOGI	JC131376	PARKING GARAGE VIDEO: DES	01/16/2018	22,397.00	.00	
4380	LONG BUILDING TECHNOLOGI	JC131378	DELONEY VIDEO- DESIGN SUB	01/16/2018	8,807.00	.00	
4380	LONG BUILDING TECHNOLOGI	JC131380	DELONEY ACCESS: DESIGN SU	01/16/2018	8,765.00	.00	
4380	LONG BUILDING TECHNOLOGI	JC131388	START BUS CAM- DESIGN SUB	01/16/2018	2,478.00	.00	
4380	LONG BUILDING TECHNOLOGI	SRVCE008801	SERVICE CALL- REGUALR MAI	01/25/2018	110.00	.00	
Total 4380:					42,557.00	.00	
4401	MEYRING & ASSOCIATES, INC	18195	INSTALLED OUTSIDE RECEPTA	01/15/2018	495.74	.00	
4401	MEYRING & ASSOCIATES, INC	I8117	REPLACE BROKEN FRONT LIG	12/28/2017	90.47	.00	
4401	MEYRING & ASSOCIATES, INC	I8119	REPLACED OWNER SUPPLIED	12/28/2017	1,212.48	.00	
4401	MEYRING & ASSOCIATES, INC	I8126	REPLACE FRONT LIGHT W/OW	12/29/2017	90.47	.00	
Total 4401:					1,889.16	.00	
4412	TOTALFUNDS BY HASLER	790001100241	POSTAGE	01/12/2018	1,000.00	.00	
Total 4412:					1,000.00	.00	
4490	COBAN TECHNOLOGIES, INC	13782	MLC RANSCEND	01/22/2018	240.00	.00	
Total 4490:					240.00	.00	
4614	C & A PROFESSIONAL CLEANI	013118- GYM	CLEAING SERVICE JANUARY 2	01/26/2018	811.62	.00	
4614	C & A PROFESSIONAL CLEANI	013118- P.P.G	CLEAING SERVICE JANUARY 2	01/26/2018	429.66	.00	
4614	C & A PROFESSIONAL CLEANI	013118- TOWN	CLEAING SERVICE JANUARY 2	01/26/2018	3,983.56	.00	
4614	C & A PROFESSIONAL CLEANI	013118-PW	CLEAING SERVICE JANUARY 2	01/26/2018	2,227.96	.00	
4614	C & A PROFESSIONAL CLEANI	013118S	CLEAN START	01/31/2018	1,712.47	.00	
Total 4614:					9,165.27	.00	
4646	CORSI, JIM	760313	SNOW REMOVAL ALPINE	01/03/2018	160.00	.00	
Total 4646:					160.00	.00	
4699	SNAKE RIVER ROASTING	558002	KIRBY'S FIRST TRAM- WHOLE (01/11/2018	48.45	.00	
4699	SNAKE RIVER ROASTING	558021	COFFEE	01/11/2018	48.45	.00	
4699	SNAKE RIVER ROASTING	558201	COFFEE	01/22/2018	48.45	.00	
4699	SNAKE RIVER ROASTING	558294	COFFEE	01/25/2018	96.90	.00	
4699	SNAKE RIVER ROASTING	558299	COFFEE	01/24/2018	48.45	.00	
4699	SNAKE RIVER ROASTING	558452	COFFEE	01/31/2018	96.90	.00	
Total 4699:					387.60	.00	
4707	CELLEBRITE USA	INVUS190699	ULITMATE SW RENEWAL	01/22/2018	3,700.00	.00	
Total 4707:					3,700.00	.00	
4716	INDUSTRIAL TECHNOLOGY GR	PT1977	WEB SERVER ADMIN	01/03/2018	2,100.00	.00	

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
Total 4716:					2,100.00	.00	
4730	ADVANCED PUMP & EQUIPME	7660	REPLACE FUSES- SERVICE CA	01/30/2018	2,402.50	.00	
Total 4730:					2,402.50	.00	
4736	IDAHO CHILD SUPPORT RECEI	011718	case #236965	01/17/2018	350.50	350.50	01/17/2018
4736	IDAHO CHILD SUPPORT RECEI	013118	case#236965 christensen	01/31/2018	350.50	350.50	01/31/2018
Total 4736:					701.00	701.00	
4774	BIG R RANCH & HOME	1305128	FENCE STRETCHER TOOL, BA	01/09/2018	97.90	.00	
4774	BIG R RANCH & HOME	1305410	6MM NUT SELF LOCK, SPECIAL	01/11/2018	11.88	.00	
4774	BIG R RANCH & HOME	1306291	JEANS BLK LBL MD	01/17/2018	49.99	.00	
4774	BIG R RANCH & HOME	1306330	CD S HOOK 3" ZINC, HARDWAR	01/18/2018	8.58	.00	
4774	BIG R RANCH & HOME	1307085	MASON LINE TWIST YELLOW, P	01/24/2018	53.89	.00	
4774	BIG R RANCH & HOME	1307134	CREDIT: REFUND: FENCE PLIE	01/25/2018	9.95-	.00	
Total 4774:					212.29	.00	
4850	SPRADLEY BARR MOTORS, IN	46730	2018 FORD TAURUS WHITE- VI	01/15/2018	22,799.00	.00	
4850	SPRADLEY BARR MOTORS, IN	46749	2018 FORD EXPLORER WHITE:	01/22/2018	29,125.00	.00	
Total 4850:					51,924.00	.00	
4869	RIDGELINE EXCAVATION INC	01/16/18	Partial Release 680 S Cache Stre	01/16/2018	8,000.00	8,000.00	01/16/2018
Total 4869:					8,000.00	8,000.00	
4880	MHL SYSTEMS	18-13821	HENKE F-15 V-PLOW CARBIDE	01/11/2018	680.00	.00	
Total 4880:					680.00	.00	
4887	CONTROL SYSTEM TECHNOLO	8862	DATA ACCESS- VERIZON SERV	01/09/2018	100.00	.00	
Total 4887:					100.00	.00	
4918	DEAN'S PEST CONTROLL LLC	29645	SMALL RODENT CONTROL @ P	01/03/2018	40.00	.00	
4918	DEAN'S PEST CONTROLL LLC	29699	SMALL RODENT CONTROL @ S	01/02/2018	100.00	.00	
Total 4918:					140.00	.00	
4922	PREMIER VEHICLE INSTALLATI	26035	RUGGED IN VEHICLE KEYBOA	01/27/2018	1,399.93	.00	
Total 4922:					1,399.93	.00	
4931	SNOW KING HOTEL	010918	LUNCH BUFFET	01/09/2018	3,455.52	.00	
Total 4931:					3,455.52	.00	
4979	WYOMING WATER QUALITY &	2011-1963A	INDIVIDUAL MEMBERSHIPS & C	01/12/2018	150.00	.00	
4979	WYOMING WATER QUALITY &	2011-1963A	INDIVIDUAL MEMBERSHIPS & C	01/12/2018	210.00	.00	
Total 4979:					360.00	.00	
5016	IACP	1001292788	GEORGE SMITH MEMBERSHIP	12/29/2017	150.00	.00	

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
Total 5016:					150.00	.00	
5022	VISION SERVICE PLAN - (WY)	9531427342	FEBRUARY PREMIUM	01/17/2018	1,664.20	1,664.20	01/23/2018
Total 5022:					1,664.20	1,664.20	
5026	PELLETIER, CARL	011618	22 IN 21 CONFERENCE REGIST	01/16/2018	80.00	.00	
Total 5026:					80.00	.00	
5038	TREFONAS LAW, P.C.	122717	LEGAL SERVICES	12/27/2017	151.00	.00	
Total 5038:					151.00	.00	
5067	TITAN MACHINERY	10374234 GP	SIDE BROOM ARM PIN, DROP S	01/08/2018	111.25	.00	
Total 5067:					111.25	.00	
5084	JACKSON HOLE SECURITY, LL	389	PROJ: PUBLIC WORKS- ANNUA	11/17/2017	437.95	.00	
5084	JACKSON HOLE SECURITY, LL	391	PROJ: PARKING GARAGE- ANN	11/17/2017	420.00	.00	
Total 5084:					857.95	.00	
5085	CORNFORTH CONSULTANTS, I	10755	WEST BROADWAY SLIDE- CON	01/05/2018	812.00	.00	
Total 5085:					812.00	.00	
5098	JACKSON ANIMAL HOSPITAL	12656	RABIES	12/06/2017	15.00	.00	
5098	JACKSON ANIMAL HOSPITAL	12656	RABIES	12/06/2017	15.00	.00	
5098	JACKSON ANIMAL HOSPITAL	12656	RABIES	12/06/2017	15.00	.00	
5098	JACKSON ANIMAL HOSPITAL	12661	RABIES	12/06/2017	15.00	.00	
5098	JACKSON ANIMAL HOSPITAL	12995	ANIMAL CARE	12/20/2017	75.99	.00	
5098	JACKSON ANIMAL HOSPITAL	12996	MEDS	12/20/2017	17.60	.00	
5098	JACKSON ANIMAL HOSPITAL	13002	SPAY FELINE	12/06/2017	360.00	.00	
5098	JACKSON ANIMAL HOSPITAL	13004	ANIMAL CARE	12/06/2017	372.17	.00	
5098	JACKSON ANIMAL HOSPITAL	13004	RABIES	12/06/2017	30.00	.00	
5098	JACKSON ANIMAL HOSPITAL	13057	MEDS	12/26/2017	71.00	.00	
5098	JACKSON ANIMAL HOSPITAL	13062	ANIMAL CARE	12/26/2017	14.60	.00	
5098	JACKSON ANIMAL HOSPITAL	13062	RABIES	12/26/2017	15.00	.00	
5098	JACKSON ANIMAL HOSPITAL	13084	MEDS	12/27/2017	30.00	.00	
Total 5098:					1,016.36	.00	
5144	COCA-COLA BOTTLING COMPA	2431826	RENTAL & WATER	01/03/2018	27.75	.00	
Total 5144:					27.75	.00	
5149	WAVINGATYOU.COM	234131	12" SAFETY CABLE, CHROME S	01/22/2018	42.10	.00	
Total 5149:					42.10	.00	
5155	JELLY DONUT, LLC	655	WINDSHIELD REPAIR #204	12/04/2017	50.00	.00	
5155	JELLY DONUT, LLC	656	WINDSHIELD REPAIR #273	12/04/2017	50.00	.00	
5155	JELLY DONUT, LLC	6654	WINDSHIELD REPAIR #276	12/04/2017	50.00	.00	
5155	JELLY DONUT, LLC	670	WINDSHIELD REPAIR #1600	12/14/2017	50.00	.00	
5155	JELLY DONUT, LLC	671	WINDSHIELD REPAIR #208	12/14/2017	60.00	.00	
5155	JELLY DONUT, LLC	676	WINDSHIELD REPAIR #203	12/19/2017	50.00	.00	

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
5155	JELLY DONUT, LLC	677	WINDSHIELD REPAIR #205	12/19/2017	50.00	.00	
5155	JELLY DONUT, LLC	678	WINDSHIELD REPAIR #678	12/19/2017	50.00	.00	
5155	JELLY DONUT, LLC	679	WINDSHIELD REPAIR	12/19/2017	50.00	.00	
5155	JELLY DONUT, LLC	683	WINDSHIELD REPAIR #209	12/19/2017	100.00	.00	
5155	JELLY DONUT, LLC	691	WINDSHIELD REPAIR #205	12/30/2017	60.00	.00	
5155	JELLY DONUT, LLC	692	WINDSHIELD REPAIR #206	12/30/2017	50.00	.00	
5155	JELLY DONUT, LLC	693	WINDSHIELD REPAIR #293	12/30/2017	50.00	.00	
Total 5155:					720.00	.00	
5236	Bilyeu, Brian	122617	REIMBURSE FOR GLOCK	12/26/2017	440.00	.00	
Total 5236:					440.00	.00	
5278	FBI NATIONAL ACADEMY ASSO	48798 0118	MEMBERSHIP DUES GEORGE	01/04/2018	100.00	.00	
Total 5278:					100.00	.00	
5280	ROUTEMATCH SOFTWARE, INC	33625	ANNUAL SUPPORT	01/01/2018	2,227.89	.00	
Total 5280:					2,227.89	.00	
5473	KELLERSTRASS ENTERPRISES	273716	DF#2 DYED ULTRA LOW SULFU	01/10/2018	23,320.51	.00	
5473	KELLERSTRASS ENTERPRISES	934597	DRUM DEPOSIT, DRUM RETUR	01/10/2018	138.00	.00	
5473	KELLERSTRASS ENTERPRISES	935243	DF#2 DYED ULTRA LOW SULFU	01/17/2018	6,710.75	.00	
5473	KELLERSTRASS ENTERPRISES	936170	MIDGRADE 87 E-10	01/23/2018	5,547.18	.00	
5473	KELLERSTRASS ENTERPRISES	936170-1	DF#2 DYED ULTRA LOW SULFU	01/23/2018	16,058.71	.00	
5473	KELLERSTRASS ENTERPRISES	936170CR	CREDIT: MIDGRADE 87/BULK	01/23/2018	5,547.18	.00	
5473	KELLERSTRASS ENTERPRISES	936170RB	MIDGRADE 87 E-10/BULK	01/23/2018	5,542.75	.00	
Total 5473:					51,770.72	.00	
5489	WRENCH IT PLUMBING & HEAT	4097	DEMO OLD WATER PIPING- MA	01/05/2018	143.26	.00	
Total 5489:					143.26	.00	
5539	Y2 CONSULTANTS, LLC	7670	NORTH CACHE-CO #3: PROFES	12/31/2017	1,002.50	.00	
Total 5539:					1,002.50	.00	
5631	PSA WORLDWIDE COPORTATI	14598	CUSTOM COASTER	01/26/2018	2,332.89	.00	
Total 5631:					2,332.89	.00	
5632	SNAKE RIVER MEP COMPLETE,	2332	SERVICE ON BOILER @ START	01/05/2018	1,155.00	.00	
5632	SNAKE RIVER MEP COMPLETE,	2347	SERVICE CALL FOR HEAT @ S	01/15/2018	110.00	.00	
5632	SNAKE RIVER MEP COMPLETE,	2349	SERVICE ON RADIANT TUBE H	01/15/2018	210.00	.00	
Total 5632:					1,475.00	.00	
5637	TIGHE, JOHN	12511	1/4 TRAN RET, 4-1 ANGLED	01/11/2018	65.30	.00	
5637	TIGHE, JOHN	12513	ROLL OIN DRIVE	01/11/2018	83.40	.00	
Total 5637:					148.70	.00	
5648	NINETY-EIGHT ELECTRIC, INC	7589	REPLACE FLORESCENT LIGHT	01/16/2018	748.33	.00	
5648	NINETY-EIGHT ELECTRIC, INC	7590	WALK THRU, CHECK GENERAT	01/17/2018	8,296.55	.00	

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
Total 5648:					9,044.88	.00	
5691	LEPCO	27303	WORK ORDER #: 20729- SERVI	01/15/2018	158.00	.00	
Total 5691:					158.00	.00	
5707	PERFORM PRINTING INC	P 853	BUSINESS CARDS	01/09/2018	176.55	.00	
Total 5707:					176.55	.00	
5726	AMAZON	17V4-LCH6-9J	TONER	01/11/2018	158.99	.00	
5726	AMAZON	1LW3-YD6G-4	SCANNERS	01/11/2018	1,918.00	.00	
Total 5726:					2,076.99	.00	
5846	TETON TOOLS LLC	0119189342	SOLUS EDGE EURO SCANBAY	01/19/2018	649.00	.00	
Total 5846:					649.00	.00	
5926	DASH MEDICAL GLOVES	INV1090337	EXAM GLOVES	01/18/2018	115.80	.00	
Total 5926:					115.80	.00	
5941	PETHEALTH SERVICES INC	SIUN1123353	REGISTRATIONS	12/31/2017	19.40	.00	
Total 5941:					19.40	.00	
5967	CITY OF DRIGGS	BBSTART2018	BUS BARN RENTAL & ELECTRI	01/04/2018	1,147.55	.00	
Total 5967:					1,147.55	.00	
5969	O'NEAL, BAILEY	020118	RESTITUTION CASE 17-01-0284	02/01/2018	100.00	.00	
Total 5969:					100.00	.00	
6038	FAICCO, AMY	020118	RESTITUTION PAYMENT 17-05-	02/01/2018	500.00	.00	
Total 6038:					500.00	.00	
6041	HOLE FOOD RESCUE	010118	GRANT PAYMENT 2	01/01/2018	1,250.00	.00	
Total 6041:					1,250.00	.00	
6069	RAFTELIS	JAWY1710-03	THREE CREEK RATE ANALYSIS	01/11/2018	3,386.25	.00	
6069	RAFTELIS	JAWY1710-03	THREE CREEK RATE ANALYSIS	01/11/2018	3,386.25	.00	
Total 6069:					6,772.50	.00	
6085	KELLER ASSOCIATES	0000002	PROJ: 217097-000- JACKSON-W	12/14/2017	2,565.00	.00	
Total 6085:					2,565.00	.00	
6090	BAUER, JAMISON	011018	REIMBURSTMENT SAFETY BO	01/10/2018	61.30	.00	
Total 6090:					61.30	.00	
6092	ENERGY 1	18027	RAD-TUBE HEATER SERVICE	01/09/2018	997.45	.00	

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
Total 6092:					997.45	.00	
6103	UTAH POLYGRAPH ASSOCIATI	011918	UPA MEMBERSHIP	01/19/2018	250.00	250.00	01/19/2018
Total 6103:					250.00	250.00	
6104	CHEMSEARCH	2984528	PREMALUBE XTREME GREEN	01/08/2018	557.80	.00	
Total 6104:					557.80	.00	
6105	INFINITE HYDRAULICS LLC	1067	HENKE PLOW CYLINDER	01/22/2018	1,115.69	.00	
Total 6105:					1,115.69	.00	
6106	RELIABLE LOGISTIC SERVICES	SLC009276	ROUTW #2507- AFTON TO JAC	01/08/2018	22.39	.00	
Total 6106:					22.39	.00	
6107	JWC ENVIRONMENTAL, LLC	90240	CAM CUTTERS, STACK HARDE	01/12/2018	6,704.00	.00	
6107	JWC ENVIRONMENTAL, LLC	90242	20000-A4-DI EXCHANGE, CAM	01/12/2018	6,704.00	.00	
Total 6107:					13,408.00	.00	
6108	SULLIVAN, ANITA	012318	REFUND WATER & SEWER	01/23/2018	1,000.00	.00	
Total 6108:					1,000.00	.00	
6109	THE ALPINE HOUSE	011118	REFUND PUBLICATION FEE	01/11/2018	50.00	.00	
Total 6109:					50.00	.00	
6110	CENTRELLA, LOUIS	011618	SEWER REFUND	01/16/2018	37.15	.00	
Total 6110:					37.15	.00	
6111	WSP USA INC.	754880	TIGER GRANT SERVICES	12/26/2017	5,290.00	.00	
Total 6111:					5,290.00	.00	
6112	NICHOLS, RYAN	020118	CDL REIMBURSE	02/01/2018	100.00	.00	
Total 6112:					100.00	.00	
6113	CENTER OF WONDER	092817	FY2018 FUNDING	09/28/2017	9,000.00	.00	
Total 6113:					9,000.00	.00	
6114	CLIMB WYOMING	123117	1ST & 2ND QUARTER	12/31/2017	2,475.00	.00	
Total 6114:					2,475.00	.00	
Grand Totals:					1,059,136.98	153,634.48	

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
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Dated: _____

Mayor: _____

City Council: _____

City Recorder: _____

City Treasurer: _____

Report Criteria:

Detail report.

Invoices with totals above \$0 included.

Paid and unpaid invoices included.



TOWN OF JACKSON

TOWN COUNCIL

AGENDA DOCUMENTATION

PREPARATION DATE: January 31, 2018
MEETING DATE: February 5, 2018

SUBMITTING DEPARTMENT: Legal
DEPARTMENT DIRECTOR: Audrey Cohen-Davis
PRESENTER: Audrey Cohen-Davis

SUBJECT: Electrical Distribution Easement for Game and Fish Power Line

STATEMENT/PURPOSE

The purpose of this item is to approve an electrical power easement that will provide electrical power from the Intermediate Pumping Facility (I.P.S.) transformer at the Wastewater Treatment Plant to the Game and Fish South Park Wildlife Habitat Management Area metal building.

BACKGROUND/ALTERNATIVES

The Wyoming Game and Fish Department would like to run a buried electrical power line to their South Park Wildlife Habitat Management Area metal building, which is directly east of the Wastewater Plant. After talking with Lower Valley Energy, the closest power source would be on the Town of Jackson's property at the Wastewater Treatment Plant's I.P.S. Pumping Facility. The Game and Fish Department would like to extend the underground power from the transformer at the I.P.S. Facility, south onto their property, terminating at their metal building. This would entail connecting to the Town's transformer, installing a junction box, and trenching a line to the Game and Fish property. Lower Valley Energy would require a twenty (20) foot wide maintenance easement on the Town's property.

ATTACHMENTS

- Electric Distribution Easement
- Exhibit B Description
- Aerial Photo

FISCAL IMPACT

None

STAFF IMPACT

Legal review

LEGAL REVIEW

Complete

RECOMMENDATION

Staff's recommends Town Council approval for a twenty (20) foot wide electric distribution easement that will allow for a buried electrical power line to be installed near the I.P.S. Facility at the Wastewater Treatment Plant.

SUGGESTED MOTION

I move to approve an easement for a twenty (20) foot wide buried electrical power line at the Town of Jackson Wastewater Treatment Plant to the South Park Wildlife Habitat Management Area metal building.

PARCEL IDENTIFICATION # 22-40-16-29-1-00-003

WORK ORDER #71599

SEC.29, T40N, R116W

ELECTRIC DISTRIBUTION EASEMENT

KNOW ALL MEN BY THESE PRESENT:

That the undersigned, **TOWN OF JACKSON, a Municipal Corporation**, (“Grantor”) for a good and valuable consideration, the receipt of which is hereby acknowledged, do hereby grant, convey and warrant unto Lower Valley Energy, a Cooperative Utility Corporation, of Afton and Jackson, Wyoming and to its successors and assigns, (“Grantees”), a perpetual easement and right of way for the construction and continued maintenance, repair, technological upgrades or alteration and replacement of the electric distribution circuits, lines and equipment of the Grantee to be constructed and maintained under, upon and across the premises of Grantor in Teton County, State of Wyoming, described in **Exhibits B**, to wit:

RIGHT-OF-WAY Width 10 feet on each side of described line, together with all necessary and reasonable rights of ingress and egress and to excavate and refill ditches and trenches for the location and repair of said facilities and to cut, trim, spray herbicides, or remove trees, shrubbery, undergrowth or other obstructions interfering with the repair and maintenance of the facilities.

The Grantor acknowledges that Electric and Magnetic Fields (EMF) are naturally occurring in the transmission or distribution of electricity, and that the Grantee has here notified Grantor that EMF testing and information is available upon request from the Grantee. This Easement by Grantor is intended to include so much space as is necessary or appropriate to the presence of EMF and reasonable operation of the Grantee's distribution lines.

The Grantor in no way waives sovereign or governmental immunity by entering into this Easement specifically retain all immunities and defenses available to them as sovereigns pursuant to Wyo. Stat. § 1-39-104(a) and all other applicable law. Designations of venue, choice of law, enforcement actions, and similar provisions shall not be construed as a waiver of sovereign or governmental immunity.

Grantor agrees that all poles, wires and other facilities, installed on or under the described lands shall remain the property of the Grantee removable in the sole discretion of the Grantee at the Grantee’s expense. The rights, conditions and provisions of this easement shall inure to the benefit of and be binding upon the parties, their heirs, executors, administrators, successors and assigns. Grantor shall compensate Grantee for any damages to Grantee’s facilities caused by Grantor, including payment of Grantee’s attorney fees if action is undertaken by Grantee to enforce the commitments described in this easement. Grantor reserves the right to improve, occupy and use this easement for all purposes not inconsistent with the easement grant. Each party shall have the remedy of specific performance regarding this easement. The rights and obligations described in this easement shall run with the land. This easement is not exclusive, and Grantor retains all rights not specifically granted by this easement. This is the entire agreement of the parties regarding this easement, except as may be set forth in writing after the date of this easement and signed by the parties. Grantor hereby releases and waives all rights by virtue of the Homestead Exemption Laws of Wyoming.

WITNESS the Hand of the Grantor, this ___ day of _____, 20__.

TOWN OF JACKSON, a Municipal Corporation

Hon. Peter Muldoon, Mayor

ATTEST: _____
Sandy Birdyshaw, Town Clerk

STATE OF }
COUNTY OF }

The foregoing instrument was acknowledged before me by _____, affirming proper authority as the Mayor of the **TOWN OF JACKSON, a Municipal Corporation** this _____ day of _____, 20__.

Witness my hand and official seal.

Notary Public My commission expires:



TOWN COUNCIL PROCEEDINGS

JANUARY 16, 2018

JACKSON, WYOMING

The Jackson Town Council met in regular session in the Council Chambers of the Town Hall at 150 East Pearl at 6:01 P.M. Upon roll call the following were found to be present:

MAYOR: Pete Muldoon was absent.

COUNCIL: Jim Stanford, Hailey Morton Levinson, Don Frank, and Bob Lenz.

STAFF: Bob McLaurin, Larry Pardee, Roxanne Robinson, Audrey Cohen-Davis, Lea Colasuonno, Tyler Sinclair, Paul Anthony, Todd Smith, and Sandy Birdyshaw

Public Comment. Public comment was given by Tim Young of Wyoming Pathways.

Consent Calendar. A motion was made by Hailey Morton Levinson and seconded by Bob Lenz to approve the consent calendar including items A-D as presented with the following motions.

A. **To approve the meeting minutes for the January 2, 2018 regular meeting and January 8, 2018 special meeting as presented.**

B. **To approve the disbursements as presented.** Carquest \$265.52, Cash \$182.25, Safety Supply \$3150.81, Ace Hardware \$2141.15, Delcon \$236.14, Thyssen Krupp \$288.39, Evans Construction \$1044.87, Airgas \$226.94, High Country Linen \$751.23, Caselle \$1398.67, Interstate Battery \$175.90, Jackson Hole News & Guide \$4967.16, Children's Learning Center \$25350.00, LVPL \$19576.01, Teton County Fund 19 \$13406.40, Nelson Engineering \$16093.15, O'Ryan Cleaners \$121.40, Napa \$907.85, Teton Motors \$139.83, Thompson Palmer \$19500.00, Teton County Weed & Pest \$509.81, Antler Motel \$120.00, Post Register \$682.00, CDW-Government \$5155.00, Electrical Wholesale \$32.94, Wydot \$9.00, Quick Brown Fox \$48.00, Centurylink \$2103.22, Westbank Sanitation \$586.87, Teton County Integrated \$285.00, Freedom Mailing \$1785.47, Emerg-a-care \$180.00, Codale Electric \$1836.00, Robert Heiner \$80.00, Henderson Wheel & Warehouse \$993.60, Teton Country Special Fire \$13334.41, Galls \$896.80, Wyoming Department of Health \$240.00, Energy Laboratories \$64.00, Teton County Clerk \$230434.81, One Call of Wyoming \$81.75, Spring Creek Animal Hospital \$36.88, Blue Spruce Cleaners \$43690, Teton County Fund 10 \$26114.17, Western States \$930.45, Core & Main \$2942.04, Wyoming.com \$5.00, AT&T \$816.18, Verizon Wireless \$5611.69, Wyoming Taxpayers Assoc \$195.00, Division of Victim Services \$100.00, Xerox \$493.80, Alphagraphics \$1462.92, WPOA \$330.00, Wyoming Mechanical \$4423.02, Teton County Public Health \$151.00, Tom Guheen \$80.00, Kenworth \$515.28, Planet Jackson Hole \$2520.00, Safety Kleen \$289.24, Ranch Inn \$275.00, Yellow Iron \$490.00, Winter Equipment \$1201.84, LDA \$58.76, Jackson Hole Air \$15000.00, Urban Accessories \$2393.00, Smith Electric \$6305.18, James Bristol \$145.00, ER Office Express \$145.86, Rainmaker Coaching \$4500.00, UPS \$17.00, Charter \$1612.26, Gillig \$1717.52, Sherwin-Williams \$39.45, Long Building Technology \$690.50, Fish Creek Excavation \$43362.66, Silver Creek Supply \$114.07, Porter's \$86.97, C&A Professional Cleaning \$1442.08, Snake River Roasting \$193.80, Gym Outfitters \$160.00, Fleetpride \$148.07, Silverstar \$2371.35, Double H Bar \$25.00, Big R \$339.93, Schaeffer MFG \$2420.00, Focus 43 \$50.00, Kois \$2973.12, Dean's Pest Control \$140.00, Premier Vehicle \$36831.68, HD Fowler \$171.09, Swagit \$920.00, Carl Pelletier \$9450.00, H&R Enterprises \$278.34, Jackson Hole Security \$2955.00, Scott Schmiller \$997.50, MSC \$205.76, Jackson Hole Contracting \$25000.00, Toolson Telephone \$1689.63, Mobile Wireless \$2961.00, Kellerstrass \$25284.24, Rush Truck \$40.94, Ninety-eight Electric \$259.95, Superior Tire \$758.00, Lepco \$773.86, Amazon \$1716.35, Greenway Painting \$1858.65, Wyoming Garage Door \$3910.75, Rich Broadcasting \$1176.00, Wyoming Water Assoc \$500.00, Teton Tools \$400.00, Bailey O'Neal \$100.00, Superior \$8622.43, Western Municipal Construction \$87912.00, Matt Smith \$475.00, Water Werks \$594.27, Energy 1 \$974.57, Justin Lancaster \$63.04, Brady Hansen \$2734.88, Falline Corp \$1360.84, Brian Sell \$90.00, Print Shop 22 \$115.00, TH Media \$425.00, Always Connect Solution \$632.00

C. **December 2017 Municipal Court Report.** To accept the December 2017 Municipal Court Report as presented.

D. **Temporary Sign Permit: Snow King Beacon Training Park (P18-014).** To approve the temporary banner in conjunction with Snow King Mountain Resort, subject to three (3) conditions of approval.

Vice-Mayor Stanford called for the vote on the motion to approve the consent calendar. The vote showed all in favor. The motion carried.

Special Event: Rendezvous Concert on the Town Square. Carl Pelletier made staff comment. Peggy Wolfe of Highline Sports & Entertainment made comment as the applicant.

A motion was made by Hailey Morton Levinson and seconded by Don Frank to approve the special event application made by the Highline Sports and Entertainment and the Jackson Hole Chamber of Commerce for the Rendezvous Town Concert, subject to the conditions and restrictions listed in the staff report. Vice-Mayor Stanford called for the vote. The vote showed all in favor and the motion carried.

Microbrewery Permit Transfer of Ownership for Roadhouse Brewing Company at 1225 Gregory Lane. Sandy Birdyshaw made staff comment. Amberley Baker made comment on behalf of the applicant. Vice-Mayor Stanford opened a public hearing to hear protests against the issuance of this license. Norris Brown opposed approval based on conflicts created on Gregory Lane. The public hearing was closed.

A motion was made by Hailey Morton Levinson and seconded by Don Frank to approve the application to transfer ownership of the microbrewery permit from Roadhouse Brewery Group, LLC to Get Funky, LLC d/b/a Roadhouse Brewing Company located at 1225 Gregory Lane, through the end of the current liquor license year, subject to the conditions and restrictions listed in the staff report and as amended today, and further direct the Town Clerk to issue the license upon confirmation that the conditions of approval have been met within the timeframe set forth in W.S. 12-4-103(a)(iv).

- 1) Prior to operation, the applicant shall comply with all Town of Jackson Building Codes, Land Development Regulations, and will have obtained all required permits and approvals from all applicable Town/County departments, in the name of Get Funky, LLC.
- 2) Prior to license issuance, the applicant shall have obtained the required Federal Basic Permit from the Department of Treasury - Alcohol and Tobacco Tax and the Trade Bureau, in the name of Get Funky, LLC.
- 3) Any additional minor corrections deemed necessary by staff and the Wyoming Liquor Division.
- 4) All sales of other malt beverages for on-premises consumption must be obtained through a licensed wholesale malt beverage distributor.
- 5) The applicant shall request, and obtain Town Council approve prior to any service or consumption of alcohol on any outdoor deck or patio.
- 6) The brewery operation shall be allowed to have a 'tasting room' that is incidental to the principal brewery use. A 'tasting room' is an incidental use to the brewery provided it complies with the following provisions:
 - a) The hours of operation for the tasting room shall be limited to, opening no earlier than 4:00 p.m. and closing no later than 10:00 p.m.
 - b) Only free samples of food shall be served to customers for on-site consumption;
 - c) A maximum of ten seats shall be provided, and the 'tasting room' shall be limited to 10% of the total square footage.
 - d) On-premises consumption shall be limited to 10% of yearly production.
 - e) The 'tasting room' shall not generate any additional employees or car trips to the site than the principal brewery use.

Vice-Mayor Stanford called for the vote. The vote showed all in favor and the motion carried.

Item P17-230: Petition to Vacate Alley at 112 Center Street. This item was not heard as action was taken in the January 16, 2018 workshop.

Item P17-187: Development Plan for 990, 988, 986 West Broadway. Paul Anthony and Larry Pardee made staff comment. Scott Zabriskie of Berlin Architects made comment on behalf of the applicant.

Based upon the findings presented by staff and the applicant for Item P17-187, a motion was made by Hailey Morton Levinson and seconded by Bob Lenz to make findings 1 – 6 for a Development Plan as set forth in Section 8.3.2.C, of the Land Development Regulations relating to 1) Consistency with the desired future character 2) Achieves the standards of the NRO and SRO 3) Does not have a significant impact on public facilities or services 4) Complies with the Town of Jackson Design Guidelines 5) Complies with all relevant standards of these Land Development Regulations and other Town Ordinances and 6) Is in substantial conformance with all standards and conditions of prior applicable permits or approval, and to approve a Development Plan for a physical development for the addition of 7,318 sf of office space to the existing Bank of Jackson Hole site, and two ARUs, at 986, 988, and 990 West Broadway Avenue, subject to the department reviews attached hereto and one condition below.

1. A signed workforce housing deed restriction for the ARUs shall be provided with the submittal of the building permit.

Vice-Mayor Stanford called for the vote. The vote showed all in favor and the motion carried.

Matters from Mayor and Council. A brief discussion was held on the affordable fee in lieu amendment previously approved at the last joint meeting and holding a half-day joint retreat with the County Commissioners on March 12 in the afternoon.

Town Manager's Report. A motion was made by Don Frank and seconded by Bob Lenz to accept the Town Manager's Report. The Town Manager's Report contained an update on the proposed schedule for the FY2019 Town Budget and sales and lodging tax. Mr. McLaurin added that the County did not approve the Rodeo Grounds Agreement and that staff would meet to discuss the agreement. Vice-Mayor Stanford called for a vote. The vote showed all in favor and the motion carried.

Adjourn. A motion was made by Hailey Morton Levinson and seconded by Bob Lenz to adjourn the meeting. Vice-Mayor Stanford called for the vote. The vote showed all in favor and the motion carried. The meeting adjourned at 6:57 p.m.

TOWN OF JACKSON

ATTEST:

Jim Stanford, Vice Mayor

Sandra P. Birdyshaw, Town Clerk

minutes: spb

Published JH News & Guide: January 24, 2018

TOWN COUNCIL PROCEEDINGS

JANUARY 16, 2018

JACKSON, WYOMING

The Jackson Town Council met in workshop session in the Council Chambers of the Town Hall at 150 East Pearl at 3:03 P.M. Upon roll call the following were found to be present:

MAYOR: Pete Muldoon was absent.

COUNCIL: Vice-Mayor Jim Stanford, Hailey Morton Levinson, and Bob Lenz. Don Frank joined the meeting at 3:05 p.m.

STAFF: Bob McLaurin, Larry Pardee, Roxanne Robinson, Audrey Cohen-Davis, April Norton, Tyler Sinclair, Paul Anthony, Brian Lenz, and Sandy Birdyshaw.

Alley Vacation for Center Street Hotel. Audrey Cohen-Davis made staff comment on the petition received from Crystal Creek Capital to vacate an alley in order to purchase the alley from the Town and include it in the redevelopment project of 112 Center Street and 165 East Deloney Avenue into a proposed hotel.

Jim Walter of Crystal Creek Capital and Matt Bowers as the Project Manager from Nelson Engineering gave a presentation on their petition to vacate the alley and plans for development that would bring the alley into compliance with fire code, provide a pedestrian corridor from King Street, and provide both two-way access and traffic.

The Council held discussion with the applicant and staff on the property surrounding the alley, easements needed, sidewalks, and pedestrian access.

Based upon the finding that the public will be benefited by the vacation of the alley located between Lots 1-5 of Block 3 of the Club House Addition to the Town of Jackson, and Lots 8, 9 of Block 1 of the Van Vleck Addition to the Town of Jackson, and that consideration will be provided for the value of the land vacated, a motion was made by Hailey Morton Levinson and seconded by Don Frank to approve the vacation of that portion of the alley with the 12 conditions as presented:

1. That the applicant shall install a sign on the King Street access easement entrance that clearly states that the alley easement is open to all public access similar to any other Town alley.
2. Article 9: The Town Property does border alley to the north and should be shown on Exhibit B, as well as all other properties in the proximity.
3. Article 10: Gray Crane Studios LLC does not benefit from the "Town Access Grant" between the Town and Pebble LLC.
4. Article 12: It is not definitive that the public does not use the existing alley. Once a through way to the north is established public access could be more prevalent.
5. Article 14: Pertaining to the Wyoming Gas Company references the "telephone line" and not the "gas line"
6. Article 16: Language allowing the Town the right to get a second appraisal if it is not satisfied with the Rocky Mountain Appraisal should be considered for addition.
7. Article 17: Consideration of snow removal from the Town and Pebble LLCs should be considered as part of the applicant's responsibility into the future. This would allow them control of equipment used and timing, so long at the level of service is consistent with the existing level of service.
8. Applicant shall provide additional information regarding the design vehicle used for the delivery truck maneuvering exhibit and confirm that the area shown is the maximum traveled way of the vehicle including overhang.
9. Applicant shall provide additional drawings and renderings that document the access space in three dimensions, such that a clear understanding of the finished conditions can be ascertained.
10. The proposed future access shall benefit the public, including pedestrians and nonmotorized access. Additional, easement may be required to accommodate pedestrians on the proposed sidewalk.
11. The access shall be clearly signed indicating that the access is public.
12. The sewer proposed for abandonment in addition to serving the Wells Fargo Properties, also serves as an overflow for the sewer when blockages occur at the intersection of Deloney and King. The applicant should work with the Town to reconfigure the sewer at the intersection of Deloney and King to eliminate the blockage that occurs due to higher flows from the east.

Vice-Mayor Stanford called for the vote. The vote showed 3-1 in favor with Stanford opposed. The motion carried.

Adoption Schedule for ENGAGE 2017 Projects: Housing, Parking, and Natural Resources.

Alex Norton made staff comment on a proposed meeting schedule for the adoption process for the following projects: Character Districts 3-6 Zoning Update, Character Districts 3-6 Parking Study, Housing Requirements LDR Update, Housing Rules and Regulations Update, and Natural Resource Protection LDRs Update. Public comment was given by Arne Jorgenson.

A motion was made by Hailey Morton Levinson and seconded by Bob Lenz to schedule the following meetings, subject to coordination with the County on joint meetings with possibility of changing the meetings scheduled 4/25 and 4/26 may be held earlier that week:

- A Special JIM, March 19 at 2:00pm, for a Presentation of the draft Housing Mitigation LDRs and District 3-6 Zoning
- Special JIM, March 21 at 2:00pm, for a Modifications Brainstorm on the Housing Rules
- Special JIM, April 11 at 6:00pm, for 1st Reading/Approval of the Housing Rules
- Special JIM, April 12 at 9:00am, to continue 1st Reading/Approval of the Housing Rules (if needed)
- Special Meeting with the Planning Commission, April 23 at 5:30pm, for a Modifications Brainstorm on the District 3-6 Zoning
- Special JIM with the joint Planning Commissions, April 24 at 5:30pm, for a Modifications Brainstorm on the Housing Mitigation LDRs
- Special JIM, May 21 at 2:00pm, for 2nd Reading of the Housing Rules
- Special Meeting, May 29 at 6:00pm, for 1st Reading of District 3-6 Zoning
- Special Meeting, May 30 at 2:00pm, to continue 1st Reading of District 3-6 Zoning (if needed)
- Special Meeting, May 31 at 2:00pm, to continue 1st Reading of District 3-6 Zoning (if needed)
- Special JIM, June 6 at 6:00pm, for 1st Reading/Approval of Housing Mitigation LDRs
- Special JIM, June 7 at 9:00am, to continue 1st Reading/Approval of Housing Mitigation LDRs (if needed)
- Special Meeting, June 25 at 1:00pm, for 2nd Reading of District 3-6 Zoning
- Special JIM, June 25 at 3:00pm, for 2nd Reading of Housing Mitigation LDRs

Vice-Mayor Stanford called for the vote. The vote showed all in favor and the motion carried.

Adjourn. A motion was made by Hailey Morton Levinson and seconded Bob Lenz to adjourn. The vote showed all in favor and the motion carried. The meeting adjourned at 4:28 P.M.

TOWN OF JACKSON

ATTEST:

Jim Stanford, Vice-Mayor

Sandra P. Birdyshaw, Town Clerk
minutes:spb
Published JH News & Guide: January 24, 2018



TOWN OF JACKSON TOWN COUNCIL AGENDA DOCUMENTATION

PREPARATION DATE: January 12, 2018
MEETING DATE: February 5, 2018

SUBMITTING DEPARTMENT: Legal
DEPARTMENT DIRECTOR: Audrey Cohen-Davis
PRESENTER: Lea Colasuonno

SUBJECT: Public Defender Contract Renewal

STATEMENT/PURPOSE

The purpose of this item is to renew the contract with the Public Defender, Elisabeth Trefonas.

BACKGROUND/ALTERNATIVES

The Town of Jackson Municipal Code includes offenses for which jail time may be imposed and therefore has contracted with Elisabeth Trefonas to serve as the Public Defender when such is needed. The Public Defender is appointed on a case-by-case basis by the Municipal Judge in accordance with state and federal law. The Public Defender has been appointed to a total of 23 cases, according to the following per year:

- 7 cases in 2014;
 - Average cost per case \$221.22.
- 2 cases in 2015;
 - Average cost per case \$152.50.
- 7 cases in 2016; and
 - Average cost per case \$206.23.
- 7 cases in 2017.
 - Average cost per case \$223.78 (one case this year accounted for \$781.00).

The only change to the existing contract for this renewal term is an increase in rate from \$50.00 per hour (agreed to in 2013) to \$60.00 per hour.

ALIGNMENT WITH COUNCIL'S STRATEGIC INTENT

This item aligns with providing effective and efficient service to the community.

ATTACHMENTS

- Public Defender Contract

FISCAL IMPACT

The fiscal impact of this item is minimal. The Public Defender would be paid at a rate of \$60.00 per hour for her services and is not appointed in every case. Additionally, if at the close of a case the Municipal Judge determines a defendant has the financial ability to pay the costs of the Public Defender, she may order that the Town be reimbursed.

STAFF IMPACT

The staff impact of this item is minimal. Whether a public defender is appointed is controlled and mandated by state and federal law and the Municipal Judge is constitutionally obligated to ensure each defendant has access to a lawyer when legally mandated. Other than the Municipal Judge's duty to appoint counsel as required by law, the additional impacts include processing bills from the Public Defender and paying those bills per disbursements through the Finance Department.

LEGAL REVIEW

Complete.

RECOMMENDATION

The Legal Department recommends renewing this contract.

SUGGESTED MOTION

I move to approve the renewal of the Public Defender contract as drafted by the Legal Department.

INDEPENDENT CONTRACTOR AGREEMENT FOR SERVICES

THIS AGREEMENT made and entered into on the date last written below, by and between Town of Jackson, Wyoming (hereinafter "Town"), and Elisabeth M. W. Trefonas, an independent contractor (hereinafter "Attorney");

WHEREAS, the Town desires to retain the services of Attorney, and Attorney desires to render services to the Town, upon the terms and conditions hereinafter stated:

NOW, THEREFORE, the parties hereto, intending to be legally bound, do hereby promise and agree as follows:

SECTION 1 – SCOPE OF DUTIES TO BE PROVIDED

- 1.1 Term.** Town agrees to hire Attorney, at will, for a term commencing on October 1, 2014 and continuing until terminated in accordance with Section 4 of this Agreement.
- 1.2 Duties.** Attorney agrees to perform work for the Town on the terms and conditions set forth in this Agreement, and agrees to devote all necessary time and attention (reasonable periods of illness excepted) to the performance of the duties specified in this Agreement. Attorney's duties shall include the following: Representation of clients on a case by case basis assigned to Attorney at Town's discretion, including but not limited to drafting applications, declarations, motions, briefs, client conferences, court appearances when needed, and maintaining open communication with Town concerning the ongoing case status of each assigned case. Attorney further agrees that in all aspects of such work, Attorney shall comply with the policies, standards, regulations of the Town from time to time established, and shall perform the duties assigned faithfully, intelligently, to the best of her ability, and in the best interest of the Town.

SECTION 2 – CONFIDENTIALITY

2.1 Confidentiality. Attorney acknowledges and agrees that all records, lists and information pertaining to clients and cases and other Town data and information related to its business (hereinafter collectively "Confidential Information") are valuable assets of the Town. Except for disclosures required to be made to advance the business of the Town and information which is a matter of public record, Attorney shall not, during the term of this Agreement or after the termination of this Agreement, disclose any Confidential Information to any person or use any Confidential Information for the benefit of Attorney or any other person, except with the prior written consent of the Town. Town understands that certain Confidential Information may be required to be disclosed to certain individuals: directors, officers, employees, agents, or advisors (collectively, Representatives) of Attorney. Attorney shall maintain records of the persons to whom Confidential Information is distributed, will inform all such persons of the confidential nature of the information, will direct them to treat such information in accordance with this Agreement, will exercise such precautions or measures as may be reasonable in the circumstances to prevent improper use of Confidential Information by them, and will be responsible for any breaches by them of the provisions of this Agreement. The term "confidential information" does not include information that is or becomes publicly available (other than through breach of this Agreement) or information that is or becomes available to Attorney on a non-confidential basis, provided that the source of such information was not known by Attorney (after such inquiry as would be reasonable in the circumstances) to be bound by a confidentiality agreement or other legal or contractual obligation of confidentiality with respect to such information. In the event that Attorney or any of Attorney's representatives, assigns, or agents are requested or required by law or legal process to disclose any of the Confidential Information, the party required to disclose such information shall provide Town with prompt oral and written notice before making any disclosure. In addition, Confidential Information may be disclosed to the extent required in the

course of inspections or inquiries by federal or state regulatory agencies to whose jurisdiction Attorney is subject and that have the legal right to inspect the files that contain the Confidential Information, and Attorney will advise Town promptly upon such disclosure.

- 2.2 Return of Documents.** Attorney acknowledges and agrees that all originals and copies of records, reports, documents, lists, plans, memoranda, notes and other documentation related to the business of the Town or containing any Confidential Information shall be the sole and exclusive property of the Town, and shall be returned to the Town upon the termination of this Agreement or upon the written request of the Town.
- 2.3 No Release.** Attorney agrees that the termination of this Agreement shall not release Attorney from any obligations under Section 2.1 or 2.2.

SECTION 3 - COMPENSATION

- 3.1 Compensation.** In consideration of all services to be rendered by Attorney to the Town, the Town shall pay, for any case submitted to Attorney the amount of \$ 60.00 per hour. Compensation will be paid within a reasonable time, not to exceed one (1) month, upon Attorney's written submission and documentation of hours spent for each case and/or client.
- 3.2 Withholding; Other Benefits.** Compensation paid pursuant to this Agreement shall not be subject to the customary withholding of income taxes and other employment taxes. Attorney shall be solely responsible for reporting and paying any such taxes. The Town shall not provide Attorney with any coverage or participation in the Town's accident and health insurance, life insurance, disability income insurance, medical expense reimbursement, wage continuation plans, or other fringe benefits provided to regular employees.

SECTION 4 - TERMINATION

- 4.1 Termination at Will.** This Agreement may be terminated by the Town immediately, at will, and in the sole discretion of Town. Attorney may terminate this Agreement upon three (3) days written notice to Town. This Agreement also may be terminated at any time upon the mutual written agreement of the Town and Attorney.
- 4.2 Contract Duration.** Notwithstanding Section 4.1 of this Agreement, the duration of this contract shall be until October 1, 2018 unless further written agreement or written modification signed by both parties is made, except as noted below in Section 7 for the use of facilities and sublet agreement.

SECTION 5 - INDEPENDENT CONTRACTOR STATUS

- 5.1 Status.** Attorney acknowledges that she is an independent contractor and is not an agent, partner, joint venturer nor employee of Town. Attorney shall have no authority to bind or otherwise obligate Town in any manner nor shall Attorney represent to anyone that it has a right to do so. Attorney further agrees that in the event that the Town suffers any loss or damage as a result of a violation of this provision Attorney shall indemnify and hold harmless the Town from any such loss or damage.
- 5.2 Assignment.** The Attorney shall not assign any of her rights under this Agreement, or delegate the performance of any of her duties hereunder, without the prior written consent of the Town.

SECTION 6 - REPRESENTATIONS AND WARRANTIES OF ATTORNEY

- 6.1** Attorney represents and warrants to the Town that there is no employment contract or other contractual obligation to which Attorney is subject, which prevents Attorney from entering into this Agreement or from performing fully Attorney's duties under this Agreement.

6.2 Attorney represents that she is licensed by the appropriate licensing agency for the legal profession and that she is in good standing with such agency. Should said standing be altered, or should Attorney be suspended, disciplined, or reprimanded by any state agency, Attorney shall notify Town within eight (8) days or as soon as practicable.

SECTION 7 – INSURANCE AND USE OF FACILITIES

7.1 Attorney shall obtain and maintain in force, at her own expense, throughout the performance of Attorney’s obligations under this Agreement, insurance coverage against claims, regardless of when asserted, that may arise out of, or result from, Attorney's operations in connection with the services or duties described above only in such case that Attorney hires or maintains additional employees separate and apart from Town. Attorney agrees, if necessary, to provide worker's compensation insurance for Attorney's employees and agents and agrees to hold harmless and indemnify Town for any and all claims arising out of any injury, disability, or death of any of Attorney's employees or agents.

7.2. Town shall obtain and maintain in force, at her own expense, throughout the performance of Attorney’s obligations under this Agreement, insurance coverage against claims, regardless of when asserted, that may arise out of, or result from, Attorney's operations in connection with the services or duties described above. This insurance shall include the following coverages that below:

7.2.1. Workers Compensation and Town's Liability (if required by state law). Attorney agrees to provide worker's compensation insurance for Attorney's employees and agents and agrees to hold harmless and indemnify Town for any and all claims arising out of any injury, disability, or death of any of Attorney's employees or agents.

7.2.2. General Malpractice Liability or General Errors and Omissions coverage in the minimum amount of \$500,000.00 for losses incurred as a result of professional

malpractice or professional errors and omissions made in the performance of this Agreement.

SECTION 8 - MISCELLANEOUS PROVISIONS

- 8.1 The provisions of this Agreement shall be binding upon and inure to the benefit of the heirs, personal representatives, successors and assigns of the parties. Any provision hereof which imposes upon Attorney or Town an obligation after termination or expiration of this Agreement shall survive termination or expiration hereof and be binding upon Attorney or Town.
- 8.2 No waiver of any provision of this Agreement shall be deemed, or shall constitute, a waiver of any other provision, whether or not similar, nor shall any waiver constitute a continuing waiver. No waiver shall be binding unless executed in writing by the party making the waiver.
- 8.3 This Agreement shall be governed by and shall be construed in accordance with the laws of the State of Wyoming.
- 8.4 This Agreement constitutes the entire agreement between the parties pertaining to its subject matter and supersedes all prior contemporaneous agreements, representations and understandings of the parties. No supplement, modification or amendment of this Agreement shall be binding unless executed in writing by all parties.
- 8.5 If any provision of these policies and regulations or the application thereof to any person or circumstances is held invalid, such invalidity shall not affect other provisions or applications of these policies and regulations which can be given effect without the invalid provision or application, and to this end the provisions of these policies and regulations are severable. In lieu thereof there shall be added a provision as similar in terms to such illegal, invalid and unenforceable provision as may be possible and be legal, valid and enforceable.

8.6 The Town does not waive its sovereign immunity by entering into this Agreement, and retains all immunities and defenses provided by law with respect to any action based on or occurring as a result of this Agreement.

WITNESS OUR SIGNATURES, this the ____ day of _____, 2018.

BY: Elisabeth M. W. Trefonas, ATTORNEY

Town of Jackson, Wyoming, TOWN

BY: Pete Muldoon, Mayor



TOWN OF JACKSON TOWN COUNCIL AGENDA DOCUMENTATION

PREPARATION DATE: FEBRUARY 1, 2018
MEETING DATE: FEBRUARY 5, 2018

SUBMITTING DEPARTMENT: PLANNING & BUILDING
DEPARTMENT DIRECTOR: TYLER SINCLAIR
PRESENTER: TYLER SINCLAIR

APPLICANT: NATIONAL ELK REFUGE

SUBJECT: TEMPORARY SIGN PERMIT – Feathered Fridays

STATEMENT/PURPOSE

To approve or deny relief from the Town's sign ordinance for the use of temporary signage not requiring a special event or exposition license.

BACKGROUND/ALTERNATIVES

The applicant has requested one temporary banner to be located at 532 N Cache Street, the Jackson Hole & Greater Yellowstone Visitor Center, during:

February 9, 2018 to March 30, 2018

Section 4670.I of the Town's Land Development Regulations allows Council to approve up to four (4) off-site banners. The event does not require any Town services; therefore, a special event license is not required. Staff recommends approval, as the Town has permitted such signs in the past, as long as all other regulations for signage are complied with.

ALIGNMENT WITH COUNCIL'S STRATEGIC INTENT

Staff finds that the proposal is consistent with Council's strategic intent.

ATTACHMENTS

Applicant Submittal

FISCAL IMPACT

None

STAFF IMPACT

None

LEGAL REVIEW

N/A

RECOMMENDATION

The Planning Director makes no recommendation for the banner located at 532 N Cache Street, the Jackson Hole & Greater Yellowstone Visitor Center, subject to the following conditions:

1. The use of the site shall be granted by the property owner.
2. The sign shall not be located on the sidewalks or in the public right of way.
3. The sign for the Jackson Hole & Greater Yellowstone Visitor Center may be installed during:

February 9, 2018 to March 30, 2018

SUGGESTED MOTION

I move to **approve** the temporary banner in conjunction with the National Elk Refuge, subject to three (3) conditions of approval.

(Although Staff is not making a recommendation of the application, the motion is made in the affirmative.)



TEMPORARY SIGN PERMIT APPLICATION

**Planning & Building Department
Planning Division**

150 East Pearl Ave. | ph: (307) 733-0520 or
P.O. Box 1687 | (307) 733-0440
Jackson, WY 83001 | fax: (307) 734-3563
www.townofjackson.com

EVENT NAME:

Event Name: **Feathered Fridays** Physical Address of Event: **532 N Cache Street Jackson WY 83001**

Description of Event: **The National Elk Refuge is again partnering with the Teton Raptor Center to present a series of "Feathered Fridays" visits during the 2017 / 2018 winter season at the Jackson Hole & Greater Yellowstone Visitor Center. The programs, which are free to visitors, will be offered each Friday from 12:00-2:00pm, from December 22, 2017 through March 30, 2018. During the program the Teton Raptor Center brings at least two of their avian ambassadors to the Visitor Center to inform visitors about birds of prey in collaboration with staff from the National Elk Refuge. Feathered Fridays has occurred at the Jackson Hole & Greater Yellowstone Visitor Center every winter season (Dec-Mar) since 2016. The same banner proposed in this application was approved by the Town Council and erected in the same location during winter 2017.**

EVENT SPONSOR/APPLICANT:

Name: **National Elk Refuge / Natalie Fath** Phone: **307-739-9322**
Mailing Address: **PO Box 510 Jackson WY** ZIP: **83001**
E-mail: **natalie_fath@fws.gov** Non-Profit: **X** For Profit: **_____**

TEMPORARY BANNER LOCATION: Consent from Property Owner Required (maximum of 4 signs allowed, display dates up to two weeks allowed)

Business/Description: **Jackson Hole & Greater Yellowstone Visitor Center**

Physical Address: **532 N Cache Street Jackson WY 83001**
Dates of Display: **2/9/18-3/30/18**

Consent from Owner Obtained? Yes **X** No _____

SUBMITTAL REQUIREMENTS. Attach the following:

- X** _____ Illustration of each proposed sign that includes dimensions, colors, materials and type of sign.
- X** _____ Installation specifications, and any structural details or specifications required for freestanding signs.

Under penalty of perjury, I hereby certify that I have read this application and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of the Town of Jackson to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.

Signature of Authorized Event Applicant *Natalie Fath*

Applicant Name Printed: **Natalie Fath**

Date: **1/26/2018**
Title: **Visitor Services Manager**
U.S. Fish & Wildlife Service
National Elk Refuge

84" x 24"

Feathered Fridays

Meet Live Raptors - Every Friday: Noon - 2 p.m.

At The Jackson Hole & Greater Yellowstone Visitor Center



Sponsored By:

Maki Foundation & Jackson Hole Wildlife Safaris



Banner illustration specifications:

The banner pictured is 84" X 24" and made for use in the outdoors (reinforced plastic), therefore it's able to withstand the elements.

Installation specification:

This banner will be tied to the National Parks and Visitor Center directional sign located on the southwestern lawn of the Jackson Hole and Greater Yellowstone Visitor Center. The banner will be secured to the poles under the sign and secured to each pole temporarily with outdoor rope. The rope is removable and non-permanent. The same image appears on both sides of the banner so it can be viewed from the north or south along North Cache Street during the period requested - February 9 through March 30 2018. The purpose of the banner is to advertise the free public program, Feathered Fridays in a highly visible location. Feathered Fridays has occurred at the Jackson Hole and Greater Yellowstone Visitor Center every winter season (Dec-Mar) since 2016 and the same banner was approved by the Town Council and erected in 2017.



TOWN OF JACKSON TOWN COUNCIL AGENDA DOCUMENTATION

PREPARATION DATE: FEBRUARY 1, 2018

MEETING DATE: FEBRUARY 5, 2018

SUBMITTING DEPARTMENT: PLANNING & BUILDING

DEPARTMENT DIRECTOR: TYLER SINCLAIR

PRESENTER: TYLER SINCLAIR

APPLICANT: JACKSON HOLE SHRINE CLUB

SUBJECT: TEMPORARY SIGN PERMIT – JH Shriners Winter Carnival

STATEMENT/PURPOSE

To approve or deny relief from the Town's sign ordinance for the use of temporary signage not requiring a special event or exposition license.

BACKGROUND/ALTERNATIVES

The applicant has requested one temporary banner to be located at the Snow King Ball Field and 105 Buffalo Way (Albertsons) during:

February 5, 2018 to February 19, 2018

Section 4670.I of the Town's Land Development Regulations allows Council to approve up to four (4) off-site banners. The event does not require any Town services; therefore, a special event license is not required. Staff recommends approval, as the Town has permitted such signs in the past, as long as all other regulations for signage are complied with.

ALIGNMENT WITH COUNCIL'S STRATEGIC INTENT

Staff finds that the proposal is consistent with Council's strategic intent.

ATTACHMENTS

Applicant Submittal

FISCAL IMPACT

None

STAFF IMPACT

None

LEGAL REVIEW

N/A

RECOMMENDATION

The Planning Director makes no recommendation for the banner located at the Snow King Ball Field and 105 Buffalo Way (Albertsons), subject to the following conditions:

1. The use of the site shall be granted by the property owner.
2. The sign shall not be located on the sidewalks or in the public right of way.
3. The sign for the Snow King Ball Field and 105 Buffalo Way (Albertsons) may be installed during:

February 5, 2018 to February 19, 2018

SUGGESTED MOTION

I move to **approve** the temporary banner in conjunction with Jackson Hole Shrine Club, subject to three (3) conditions of approval.

(Although Staff is not making a recommendation of the application, the motion is made in the affirmative.)



TOWN COUNCIL AGENDA DOCUMENTATION

PREPARATION DATE: January 24, 2018

MEETING DATE: February 5, 2018

SUBMITTING DEPARTMENT: Legal

DEPARTMENT DIRECTOR: Audrey Cohen-Davis

PRESENTER: Audrey Cohen-Davis, Town Attorney

SUBJECT: Easement from Bank of Jackson Hole to Town of Jackson In Connection with Landslide Remediation and Service to Budge Drive

STATEMENT/PURPOSE

For the Town Council to consider approval of the attached Underground Utility Easement from Bank of Jackson Hole to the Town in connection with the landslide remediation measures by the Town and service to Budge Drive.

BACKGROUND

Subsequent to the landslide that occurred in April, 2014, the Town has continuously worked with numerous parties to obtain necessary temporary and permanent easements for the health, safety and welfare of the Town of Jackson public infrastructure and the public.

One such easement is the attached Underground Utility Easement so the Town may replace the existing 6 inch water line that is currently serving Budge Drive with an 8' water line, and an underground LVE Gas Line.

The history is that the Budes subdivided the land in 1965 and replatted the subdivision in 1973. The Budes constructed a water line from the Town of Jackson water system sometime in the late 1970's. In 1978 Nelson Engineering determined the location of the waterline and prepared a Map of Survey Utility Easement for Town of Jackson that was recorded in the Teton County Clerk's office in Book 1 of Maps Page 186. The Town of Jackson and Nelson Engineering, however, have not been able to locate an instrument that actually granted the easement to the Town of Jackson.

The Bank of Jackson Hole has agreed to the attached Underground Utility Easement and Exhibits A and B granting the Town the ability to access, enter, layout, construct, inspect, operate, maintain, alter, repair and/or replace water main facilities, appurtenances and utilities necessary to service Budge Drive.

ALIGNMENT WITH COUNCIL'S STRATEGIC INTENT

The Mission of the Town of Jackson is to provide municipal services necessary to support the residential, business, environmental, and historical interests that define our community and support economic development.

STAFF IMPACT

The Staff impact has included years of negotiations by the legal, administrative and public works departments, and for the preparation of these easements.

FISCAL IMPACT

LEGAL ISSUES

Complete.

ATTACHMENT

Underground Utility Easement and Exhibits A and B from Bank of Jackson Hole to the Town.

RECOMMENDATION

Staff recommends approval of the attached Underground Utility Easement.

SUGGESTED MOTIONS

I move to approve of the attached Underground Utility Easement and authorize the Mayor to execute it.

UNDERGROUND UTILITY EASEMENT

This UNDERGROUND UTILITY EASEMENT (this “Agreement”) is made and entered into by and between BANK OF JACKSON HOLE, a Wyoming corporation of P.O. Box 7000, Jackson, WY 83002 (hereinafter referred to as “Grantor”) and TOWN OF JACKSON, a Wyoming municipal corporation of P.O. Box 1687, Jackson, Wyoming, 83001 (hereinafter referred to as “Grantee”).

RECITALS

WHEREAS, Grantor owns that parcel of real property commonly known as 975 W. Broadway in the Town of Jackson, Wyoming and more particularly described as Lot 15, Hillside Subdivision reflected in that Warranty Deed recorded as document 0857050, Bk 868 pp. 36-37 in the office of the Clerk of Teton County, Wyoming (hereinafter referred to as the “Property”); and,

WHEREAS, Grantee currently owns and operates utilities located underneath a portion of the Property (collectively “Town’s Water Mains”); and,

WHEREAS, Grantee desires to replace the Town’s Water Mains in, under, and through a portion of the Property in the location more particularly described on **Exhibits “A” and “B”** (the “Burdened Property”); and,

WHEREAS, Grantor and Grantee desire to establish a non-exclusive easement to and for the benefit of Grantee on the Burdened Property, according to the terms and conditions set forth herein.

AGREEMENT

NOW, THEREFORE, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00), and other good and valuable consideration, in hand paid, the receipt and sufficiency of which is hereby acknowledged and confessed, Grantor and Grantee do hereby agree as follows:

1. Grant of Non-Exclusive Easement. Grantor hereby declares and establishes for the benefit of Grantee, a non-exclusive easement in, under and through the Burdened Property for the purpose of accessing, entering, laying out, constructing, inspecting, operating, maintaining, altering, repairing, and/or replacing underground water main facilities, underground appurtenances and underground utilities serving the public within the easement, including but not limited to the following to the extent reasonably necessary for the exercise of the easement rights conveyed herein: staging materials, supplies and equipment for the removal and replacement of the Town’s Water Mains and necessary underground appurtenances thereto, a temporary underground sewer line and an underground LVE Gas Line, together with the right to remove trees, bushes, undergrowth, and other natural obstructions unreasonably interfering with the installation,

construction, and maintenance of the Town's Water Lines, and the further right to limited ingress and egress to and from the Burdened Property over and across reasonable routes approved by Grantor in order that the Grantee might exercise the rights granted by this easement (hereinafter referred to as the "Easement") Grantee shall have no right to remove, alter, or damage any permanent fixture or structure located within the Burdened Property as of the date of this Easement, other than the utilities being replaced by the Grantee. The Easement shall be for the benefit of Grantee and not appurtenant to any particular parcel of property.

2. Improvement and Maintenance; Repair of Surface. Grantee shall give Grantor advance notice of its intent to exercise its right under this Easement and Grantee shall be required to and shall, prior to final completion and acceptance of said improvements, repair, replace, or rebuild any items damaged or destroyed by the exercise of the rights under the Easement, specifically including damaged asphalt and landscaping, and any other damage to the Property, to the condition upon which it was found immediately prior to the commencement of any work done by Grantee or Grantee's agents or contractors within the Easement. Grantee shall make all reasonable efforts to perform such work in a workmanlike manner and consistent with Town construction standards. The Grantor shall be required to review and, if reasonably acceptable to Grantor, accept all repairs and/or replacements of any items removed, damaged or destroyed due to the Grantee's activities pursuant to the Easement.

2A. Mechanic's Liens. Grantee shall prevent the creation of any lien against the Property on account of any labor or materials furnished by or through Grantee in connection with any construction, maintenance, repairs or alterations within the Easement by Grantee or at Grantee's direction ("Grantee Lien"). If a Grantee Lien is filed against the Property, Grantee shall cause such lien to be released within 30 days after the Grantor's receipt of actual notice of the filing thereof, including furnishing a bond or other security as required by Wyo. Stat. § 29-1-310 to discharge and release the lien against the Property. If Grantee fails to remove a Grantee Lien on the Property in accordance with this paragraph, then the Grantor shall have the right, after providing written notice to Grantee, to take all steps reasonably necessary to have the lien removed and Grantee shall indemnify the Grantor for all actual hard costs and expenses reasonably incurred by the Grantor in having the Grantee Lien removed from the Property, including reasonable attorneys' fees actually incurred by the Grantee in having the lien removed.

3. Reservation of Grantor. The Grantor reserves unto itself, its guests, invitees, legal representatives, heirs, successors and assigns, the right to use the Burdened Property for any purpose whatsoever that does not unduly interfere, or otherwise damage or destroy the underground utilities and appurtenances, and does not permanently block, encroach or interfere with Grantor's rights, including access to the Easement. The Grantor retains the right to place any moveable objects upon the Burdened Property that do not interfere with the Grantees rights in this easement, together with the right to utilize the Burdened Property for parking, storage, driveway (excluding heated driveways), or authorized business purposes, with the understanding that the Grantee is not responsible for repairing, replacing or rebuilding any moveable objects created by Grantor within the Easement.

4. **No Merger.** This Agreement and the Easement and rights declared and established herein are intended to remain separate from the Grantor's fee simple interest in the Burdened Properties and shall not merge therewith.

5. **Construction.** Any recitals in this Agreement are represented by the parties to be accurate and constitute a part of the substantive agreement as if set forth in their entirety herein. This Agreement shall be construed in accordance with the laws of the State of Wyoming. Venue is in Teton County, Wyoming.

6. **Enforcement.** If any party hereto fails to perform any of its obligations under this Agreement or if a dispute arises concerning the meaning or interpretation of any provision of this Agreement, the defaulting party or the party not substantially prevailing in such dispute, as the case may be, shall pay any and all costs and expenses incurred by the other party in enforcing or establishing its rights hereunder, including, without limitation, all court costs and all reasonable attorneys' fees (including the costs of in-house counsel) regardless of whether litigation is commenced.

7. **Term.** The within Easement grant is an easement running with the land and shall be permanent so long as it is used for the above-described purposes. The Grantee's rights and interests in the Easement shall not be transferrable or assignable without the prior written consent of Grantor or Grantor's successor or assigns.

8. **No Assumption of Liability.** Grantor, by granting, declaring and establishing the Easement, does not assume any responsibilities or liabilities with respect thereto, nor shall Grantor at any time incur any liability for failure to comply with any law, ordinance, regulation or order with respect to this Easement.

9. **Warranties.** Grantor makes no representations or warranties, express or implied, in connection with the Easement or the Burdened Property, whether of title, fitness of use, condition, purpose, or of any other nature. Notwithstanding the foregoing, Grantor represents and warrants that Grantor has the authority to grant the Easement contained herein.

10. **Severability.** In case any one or more of the provisions contained in this Agreement shall for any reason be held to be invalid, illegal or unenforceable in any respect, such invalidity, illegality, or unenforceability shall not affect any other provision hereof, and this Agreement shall be construed as if such invalid, illegal, or unenforceable provision had never been contained herein.

11. **Entire Agreement; Modification.** This Agreement embodies and constitutes the entire agreement with respect to the subject matters hereof and all prior or contemporaneous agreements, understandings, representations, statements are merged into this Agreement. Neither this Agreement nor any provision hereof may be waived, modified, amended, discharged, or terminated in whole or in part, unless agreed to in writing by the parties, except as otherwise specifically set forth herein; provided,

however, that such amendment or termination shall be properly recorded in the Office of the Clerk of Teton County, Wyoming as a condition to its effectiveness.

12. Counterparts. This Agreement may be executed in any number of counterparts and each such counterpart hereof shall be deemed to be an original instrument, but all such counterparts together shall constitute but one Agreement.

13. Binding Effect. This Agreement shall be binding on the parties hereto, and their permitted heirs, successors and assigns.

14. Indemnity. Grantee agrees to indemnify, defend and hold harmless Grantor, their beneficiaries, employees, heirs, successors and assigns (the "Grantor Indemnitees") from and against any and all liability, loss, claims, demands, liens, damages, penalty, fines, interest, costs and expenses (including, without limitation, reasonable attorney's fees and litigation costs incurred by Grantor Indemnitees in connection therewith) and for any and all loss of life, injury to persons or damage to the Burdened Property, the Property, or the person or property of any other person or entity which is due to the acts or omissions of the Grantee in exercising its rights pursuant to the Easement. All indemnification provided for herein shall not include indemnification for negligence of Grantor Indemnitees or for actions of Grantor Indemnitees which would otherwise make the indemnification void pursuant to Wyoming State Statutes, Wyoming law or any other applicable law.

DATED this _____ day of _____, 2018.

GRANTOR:

BANK OF JACKSON HOLE, a Wyoming corporation

By: _____

Its: _____

GRANTEE:

TOWN OF JACKSON, a Wyoming municipal corporation

By: _____

Its: _____

ATTEST:

By: Sandy Birdyshaw
Its: Town Clerk

STATE OF _____)
) ss
COUNTY OF _____)

On this day of _____, 2018, before me personally appeared _____ as the _____ of **BANK OF JACKSON HOLE**, a Wyoming Corporation personally known to me, or proved to me on the basis of satisfactory evidence, to be the person whose name is subscribed within this instrument and acknowledged to me that he executed the same in his authorized capacity, and that by its signature on this instrument, the entities upon behalf of which the person acted executed this instrument.

WITNESS my hand and official seal.

Notary Public
My commission expires:

STATE OF _____)
) ss
COUNTY OF _____)

On this day of _____, 2018, before me personally appeared _____ as the _____ of the **TOWN OF JACKSON**, personally known to me, or proved to me on the basis of satisfactory evidence, to be the person whose name is subscribed within this instrument and acknowledged to me that he executed the same in his authorized capacity, and that by its signature on this instrument, the entities upon behalf of which the person acted executed this instrument.

WITNESS my hand and official seal.

Notary Public
My commission expires:

STATE OF _____)
) ss
COUNTY OF _____)

On this day of _____, 2018, before me personally appeared **SANDY BIRDYSHAW** as Town Clerk, personally known to me, or proved to me on the basis of satisfactory evidence, to be the person whose name is subscribed within this instrument and acknowledged to me that he executed the same in his authorized capacity, and that by its signature on this instrument, the entities upon behalf of which the person acted executed this instrument.

WITNESS my hand and official seal.

Notary Public
My commission expires

EXHIBIT A
Utility Easement from
Bank of Jackson Hole
To Town of Jackson

A Utility Easement located in the SE1/4 NE1/4, Section 32, T41N, R116W, of the 6th P.M., Teton County, Wyoming being a portion of Lot 15 of the Hillside Subdivision recorded as Plat No. 227 in the office of the Teton County Clerk, said lot 15 being a combination of Lot 13 and the southerly portion of Lot 14 as described in the affidavit record in Book 455 Page 835-836 in said office of Teton County Clerk, said Utility Easement being 20 feet in width, 10 feet each side of the following described easement centerline;

Commencing at the southwest corner of said Hillside Subdivision, being the southwest corner of said Lot 15, thence N 79° 47' E along the south boundary of said Hillside Subdivision a distance of 10.16 feet to the point of beginning;

Thence North, 150.68 feet to a point;

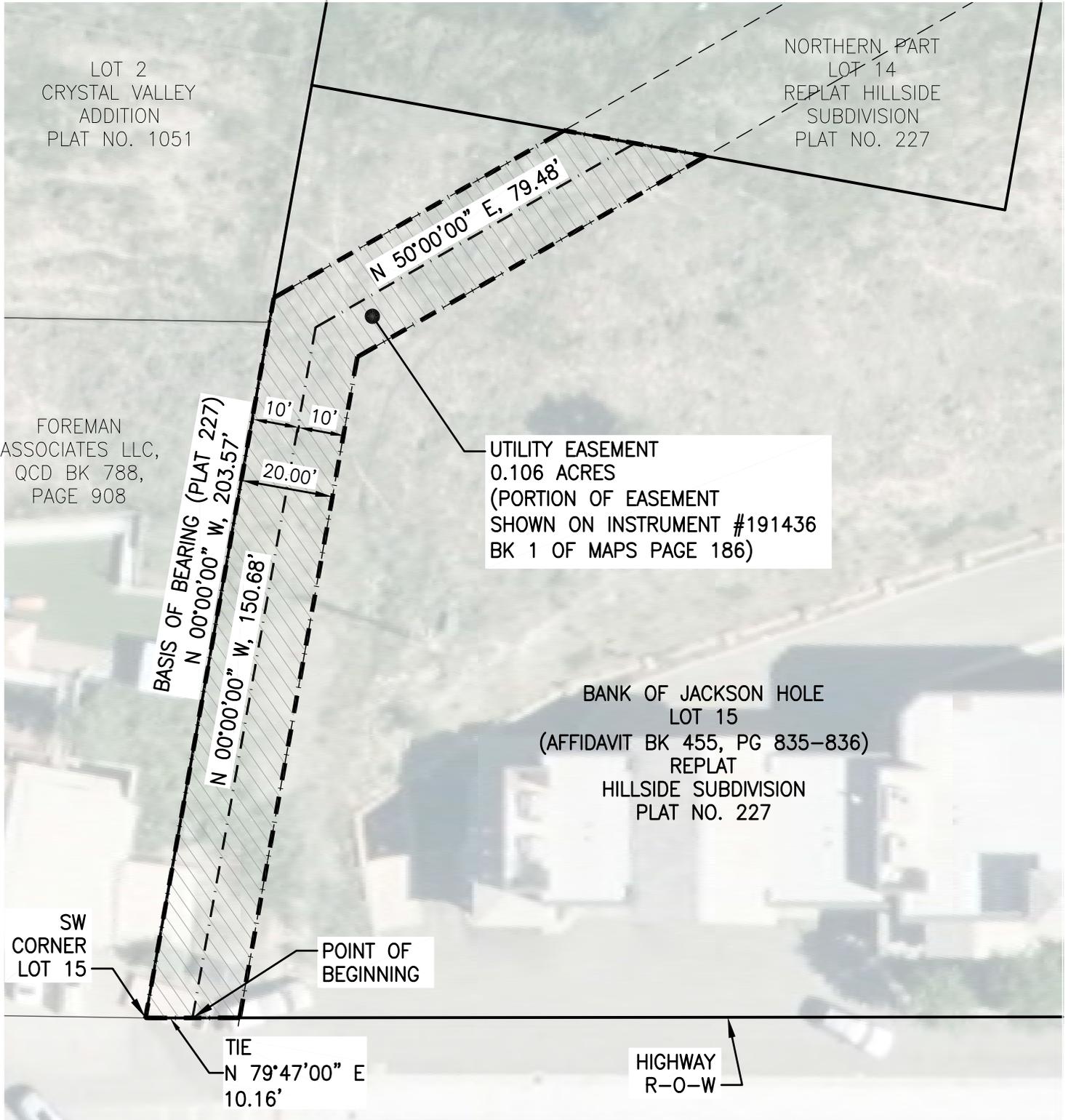
Thence N 50° 00' E, 79.48 feet more or less to the north boundary of said Lot 15.

Said easement containing 0.106 acres and being subject to existing easements and rights of way of sight or record.

Nelson Engineering
Robert R. Norton PE&LS 2910

EXHIBIT B

UTILITY EASEMENT
FROM
BANK OF JACKSON HOLE
TO TOWN OF JACKSON



UTILITY EASEMENT
0.106 ACRES
(PORTION OF EASEMENT
SHOWN ON INSTRUMENT #191436
BK 1 OF MAPS PAGE 186)

BANK OF JACKSON HOLE
LOT 15
(AFFIDAVIT BK 455, PG 835-836)
REPLAT
HILLSIDE SUBDIVISION
PLAT NO. 227

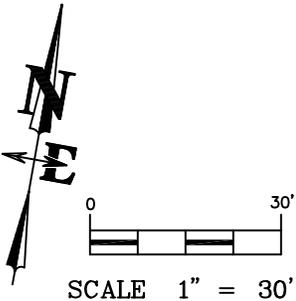
SW
CORNER
LOT 15

POINT OF
BEGINNING

TIE
N 79°47'00" E
10.16'

HIGHWAY
R-O-W

WEST BROADWAY - US HWY 191



DRAWING NO	DRAWING TITLE	<h2 style="margin: 0;">NELSON ENGINEERING</h2> <p style="margin: 0;">P.O. BOX 1599, JACKSON WYOMING (307) 733-2087</p>	DATE	6/08/17
	UTILITY EASEMENT		ENGINEERED	RN
JOB NO	FROM THE		DRAWN	BJG
14-175-01	BANK OF JACKSON HOLE		CHECKED	
			APPROVED	

S:\Projects\14-175-01 (Budget Drive Landslide Mitigation)\Easements\Proposed Easements\Exhibit B LOT 14-15 HILLSIDE.dwg (BANK OF JACKSON HOLE UTIL EASE) - Jun 08 2017 01:37:43 pm PLOTTED BY: green DWG FORMAT: 210



TOWN COUNCIL AGENDA DOCUMENTATION

PREPARATION DATE: January 24, 2018

MEETING DATE: February 5, 2018

SUBMITTING DEPARTMENT: Legal

DEPARTMENT DIRECTOR: Audrey Cohen-Davis

PRESENTER: Audrey Cohen-Davis, Town Attorney

SUBJECT: Easement from Tim Sandlin and Carol Chesney to Town of Jackson In Connection with Landslide Remediation and Service to Budge Drive

STATEMENT/PURPOSE

For the Town Council to consider approval of the attached Utility Easement from Tim Sandlin and Carol Chesney, a married couple, to the Town in connection with the landslide remediation measures by the Town and service to Budge Drive.

BACKGROUND

Subsequent to the landslide that occurred in April, 2014, the Town has continuously worked with numerous parties to obtain necessary temporary and permanent easements for the health, safety and welfare of the Town of Jackson public infrastructure and the public.

One such easement is the attached Utility Easement so the Town may replace the existing 6 inch water line that is currently serving Budge Drive with an 8' water line and an underground LVE Gas Line.

The history is that the Budes subdivided the land in 1965 and replatted the subdivision in 1973. The Budes constructed a water line from the Town of Jackson water system sometime in the late 1970's. In 1978 Nelson Engineering determined the location of the waterline and prepared a Map of Survey Utility Easement for Town of Jackson that was recorded in the Teton County Clerk's office in Book 1 of Maps Page 186. The Town of Jackson and Nelson Engineering, however, have not been able to locate an instrument that actually granted the easement to the Town of Jackson.

Tim Sandlin and Carol Chesney, a married couple, have executed the attached Utility Easement and Exhibits A and B granting the Town the ability to access, enter, layout, construct, inspect, operate, maintain, alter, repair and/or replace water main facilities, appurtenances and utilities necessary to service Budge Drive.

ALIGNMENT WITH COUNCIL'S STRATEGIC INTENT

The Mission of the Town of Jackson is to provide municipal services necessary to support the residential, business, environmental, and historical interests that define our community and support economic development.

STAFF IMPACT

The Staff impact has included years of negotiations by the legal, administrative and public works departments, and for the preparation of these easements.

FISCAL IMPACT

LEGAL ISSUES

Complete.

ATTACHMENT

Utility Easement and Exhibits A and B from Sandlin/Chesney to the Town.

RECOMMENDATION

Staff recommends approval of the attached Utility Easement.

SUGGESTED MOTIONS

I move to approve of the attached Utility Easement and authorize the Mayor to execute it.

UTILITY EASEMENT

This UTILITY EASEMENT (this "Agreement") is made and entered into by and between TIM B. SANDLIN AND CAROL J. CHESNEY, husband and wife, of P.O. Box 1974, Jackson, WY 83001 (hereinafter referred to as "Grantor") and TOWN OF JACKSON, a Wyoming municipal corporation of P.O. Box 1687, Jackson, Wyoming, 83001 (hereinafter referred to as "Grantee").

RECITALS

WHEREAS, Grantor owns that parcel of real property commonly known as 980 Budge Drive in the Town of Jackson, Wyoming and more particularly described as Lot NORTH PT Lot 14, Hillside Subdivision and the Warranty Deed recorded as document 0699089, Bk 658 pp. 608-609 in the office of the Clerk of Teton County, Wyoming (hereinafter referred to as the "Property"); and,

WHEREAS, Grantee currently owns and operates utilities located underneath a portion of the Property pursuant to that Map of Survey Utility Easement for Town of Jackson located in Hillside Subdivision Bk 1 Maps p. 186 recorded in the office of the Clerk of Teton County, Wyoming document and pursuant to that Water Line Easement Bk 83 p. 482 recorded in the office of the Clerk of Teton County, Wyoming (collectively "Town's Water Mains"); and

WHEREAS, Grantee desires to replace the Town's Water Mains in, under, over, through, across and on a portion of the Property in the location more particularly described on **Exhibits "A" and "B"** (the "Burdened Property"); and

WHEREAS, Grantor and Grantee desire to establish a non-exclusive easement to and for the benefit of Grantee on the Burdened Property, according to the terms and conditions set forth herein.

AGREEMENT

NOW, THEREFORE, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00), and other good and valuable consideration, in hand paid, the receipt and sufficiency of which is hereby acknowledged and confessed, Grantor and Grantee do hereby agree as follows:

1. **Grant of Non-Exclusive Easement.** Grantor hereby declares and establishes for the benefit of Grantee, a non-exclusive easement in, on, over, across, under and through the Burdened Property for the purpose of accessing, entering, laying out, constructing, inspecting, operating, maintaining, altering, repairing, and/or replacing water main facilities, appurtenances and utilities serving the public within the easement, including but not limited to the following to the extent reasonably necessary for the exercise of the easement rights conveyed herein: staging materials, supplies and equipment for the

removal and replacement of the Town's Water Mains and necessary appurtenances thereto, a temporary sewer line and an LVE Gas Line, together with the right to remove trees, bushes, undergrowth, and other obstructions unreasonably interfering with the installation, construction, and maintenance of the Town's Water Lines, and the further right to limited ingress and egress to and from the Burdened Property over and across reasonable routes approved by Grantor in order that the Grantee might exercise the rights granted by this easement (hereinafter referred to as the "Easement").

2. **Improvement and Maintenance; Repair of Surface.** Grantee shall give Grantor advance notice of its intent to exercise its right under this Easement and Grantee shall be required to and shall, prior to final completion and acceptance of said improvements, repair, replace, or rebuild any items damaged or destroyed by the exercise of the rights under the Easement, specifically including damaged asphalt and landscaping, and any other damage to the Property, to the condition upon which it was found immediately prior to the commencement of any work done by Grantee or Grantee's agents or contractors within the Easement. Grantee shall make all reasonable efforts to perform such work in a workmanlike manner and consistent with Town construction standards. The Grantor shall be required to review and, if reasonably acceptable to Grantor, accept all repairs and/or replacements of any items removed, damaged or destroyed due to the Grantee's activities pursuant to the Easement.

3. **Reservation of Grantor.** The Grantor reserves unto itself, its guests, invitees, legal representatives, heirs, successors and assigns, the right to use the Burdened Property for any purpose whatsoever that does not unduly interfere, or otherwise damage or destroy the underground utilities and appurtenances, and does not permanently block, encroach or interfere with Grantor's rights, including access to the Easement. The Grantor retains the right to place any moveable objects upon the Burdened Property that do not interfere with the Grantees rights in this easement, together with the right to utilize the Burdened Property for parking, storage, driveway (excluding heated driveways), or authorized business purposes, with the understanding that the Grantee is not responsible for repairing, replacing or rebuilding any moveable objects created by Grantor within the Easement.

4. **No Merger.** This Agreement and the Easement and rights declared and established herein are intended to remain separate from the Grantor's fee simple interest in the Burdened Properties and shall not merge therewith.

5. **Construction.** Any recitals in this Agreement are represented by the parties to be accurate and constitute a part of the substantive agreement as if set forth in their entirety herein. This Agreement shall be construed in accordance with the laws of the State of Wyoming. Venue is in Teton County, Wyoming.

6. **Enforcement.** If any party hereto fails to perform any of its obligations under this Agreement or if a dispute arises concerning the meaning or interpretation of any provision of this Agreement, the defaulting party or the party not substantially

prevailing in such dispute, as the case may be, shall pay any and all costs and expenses incurred by the other party in enforcing or establishing its rights hereunder, including, without limitation, all court costs and all reasonable attorneys' fees (including the costs of in-house counsel) regardless of whether litigation is commenced.

7. **Term.** The within grant is an easement running with the land and shall be permanent so long as it is used for the above-described purposes.

8. **No Assumption of Liability.** Grantor, by granting, declaring and establishing the Easement, does not assume any responsibilities or liabilities with respect thereto, nor shall Grantor at any time incur any liability for failure to comply with any law, ordinance, regulation or order with respect to this Easement.

9. **Warranties.** Grantor makes no representations or warranties, express or implied, in connection with the Easement or the Burdened Property, whether of title, fitness of use, condition, purpose, or of any other nature. Notwithstanding the foregoing, Grantor represents and warrants that Grantor has the authority to grant the Easement contained herein.

10. **Severability.** In case any one or more of the provisions contained in this Agreement shall for any reason be held to be invalid, illegal or unenforceable in any respect, such invalidity, illegality, or unenforceability shall not affect any other provision hereof, and this Agreement shall be construed as if such invalid, illegal, or unenforceable provision had never been contained herein.

11. **Entire Agreement; Modification.** This Agreement embodies and constitutes the entire agreement with respect to the subject matters hereof and all prior or contemporaneous agreements, understandings, representations, statements are merged into this Agreement. Neither this Agreement nor any provision hereof may be waived, modified, amended, discharged, or terminated in whole or in part, unless agreed to in writing by the parties, except as otherwise specifically set forth herein; provided, however, that such amendment or termination shall be properly recorded in the Office of the Clerk of Teton County, Wyoming as a condition to its effectiveness.

12. **Counterparts.** This Agreement may be executed in any number of counterparts and each such counterpart hereof shall be deemed to be an original instrument, but all such counterparts together shall constitute but one Agreement.

13. **Binding Effect.** This Agreement shall be binding on the parties hereto, their heirs, successors and assigns.

14. **Indemnity.** Grantee agrees to indemnify, defend and hold harmless Grantor, their beneficiaries, employees, heirs, successors and assigns (the "Grantor Indemnitees") from and against any and all liability, loss, claims, demands, liens, damages, penalty, fines, interest, costs and expenses (including, without limitation, reasonable attorney's fees and litigation costs incurred by Grantor Indemnitees in

connection therewith) and for any and all loss of life, injury to persons or damage to the Burdened Property, the Property, or the person or property of any other person or entity which is due to the acts or omissions of the Grantee in exercising its rights pursuant to the Easement. All indemnification provided for herein shall not include indemnification for negligence of Grantor Indemnitees or for actions of Grantor Indemnitees which would otherwise make the indemnification void pursuant to Wyoming State Statutes, Wyoming law or any other applicable law.

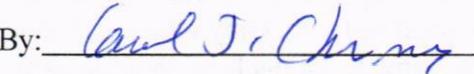
DATED this 16th day of October, 2017.

GRANTOR:

TIM B. SANDLIN, a married man

By: 

CAROL J. CHESNEY, a married woman

By: 

GRANTEE:

TOWN OF JACKSON, a Wyoming municipal corporation

By:
Its:

ATTEST:

By: Sandy Birdyshaw
Its: Town Clerk

STATE OF Wyoming)
) ss
COUNTY OF Teton)

On this day of October 16, 2017, before me personally appeared **TIM B. SANDLIN**, personally known to me, or proved to me on the basis of satisfactory evidence, to be the person whose name is subscribed within this instrument and acknowledged to me that he executed the same in his authorized capacity, and that by its signature on this instrument, the entities upon behalf of which the person acted executed this instrument.

WITNESS my hand and official seal.

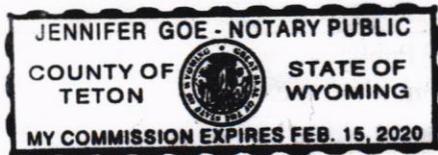


Jennifer Goe
Notary Public
My commission expires: 2/15/20

STATE OF Wyoming)
) ss
COUNTY OF Teton)

On this day of October 16, 2017, before me personally appeared **CAROL J. CHESNEY**, personally known to me, or proved to me on the basis of satisfactory evidence, to be the person whose name is subscribed within this instrument and acknowledged to me that he executed the same in his authorized capacity, and that by its signature on this instrument, the entities upon behalf of which the person acted executed this instrument.

WITNESS my hand and official seal.



Jennifer Goe
Notary Public
My commission expires: 2/15/20

STATE OF _____)
) ss
COUNTY OF _____)

On this day of _____, 2017, before me personally appeared _____ as the _____ of the **TOWN OF JACKSON**, personally known to me, or proved to me on the basis of satisfactory evidence, to be the person whose name is subscribed within this instrument and acknowledged to me that he executed the same in his authorized capacity, and that by its signature on this instrument, the entities upon behalf of which the person acted executed this instrument.

WITNESS my hand and official seal.

Notary Public
My commission expires: _____


STATE OF _____)
) ss
COUNTY OF _____)

On this day of _____, 2017, before me personally appeared **SANDY BIRDYSHAW** as Town Clerk, personally known to me, or proved to me on the basis of satisfactory evidence, to be the person whose name is subscribed within this instrument and acknowledged to me that he executed the same in his authorized capacity, and that by its signature on this instrument, the entities upon behalf of which the person acted executed this instrument.

WITNESS my hand and official seal.

Notary Public
My commission expires: _____


EXHIBIT A
Utility Easement from
Tim B. Sandlin & Carol J. Chesney
To Town of Jackson

A Utility Easement located in the SE1/4 NE1/4, Section 32, T41N, R116W, of the 6th P.M., Teton County, Wyoming being a portion of the Northern Part of Lot 14 of the Hillside Subdivision recorded as Plat No. 227 in the office of the Teton County Clerk, said Northern Part of Lot 14 being as described in the Warrantee Deed of record in Book 658 Page 608-609 in said office of Teton County Clerk, said Utility Easement being 20 feet in width, 10 feet each side of the following described easement centerline;

Commencing at the southwest corner of said Northern Part of Lot 14 of Hillside Subdivision, thence N 90° 00' E along the south boundary of said Northern Part of Lot 14 a distance of 70.88 feet to the point of beginning;

Thence N 50° 00' E, 90.85 feet to a point;

Thence N 01° 00' E, 14.06 feet more or less to the north boundary of said Northern Part of Lot 14.

Said easement containing 0.048 acres and being subject to existing easements and rights of way of sight or record.

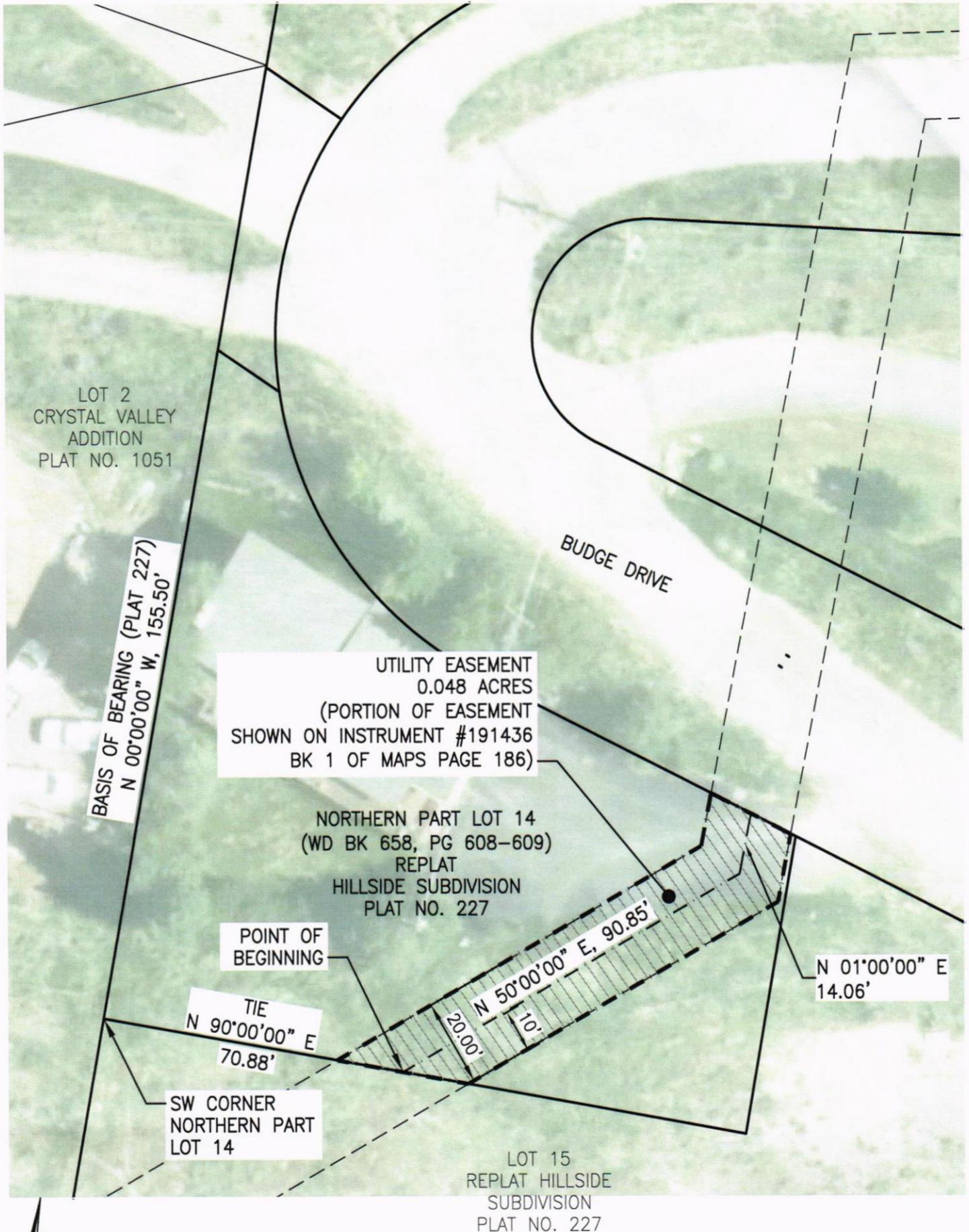
Nelson Engineering
Robert R. Norton PE&LS 2910

EXHIBIT B

UTILITY EASEMENT

FROM

TIM B. SANDLIN & CAROL J. CHESNEY
TO TOWN OF JACKSON



LOT 2
CRYSTAL VALLEY
ADDITION
PLAT NO. 1051

BUDGE DRIVE

BASIS OF BEARING (PLAT 227)
N 00°00'00" W, 155.50'

UTILITY EASEMENT
0.048 ACRES
(PORTION OF EASEMENT
SHOWN ON INSTRUMENT #191436
BK 1 OF MAPS PAGE 186)

NORTHERN PART LOT 14
(WD BK 658, PG 608-609)
REPLAT
HILLSIDE SUBDIVISION
PLAT NO. 227

POINT OF
BEGINNING

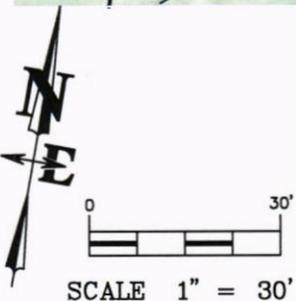
TIE
N 90°00'00" E
70.88'

SW CORNER
NORTHERN PART
LOT 14

N 50°00'00" E, 90.85'
20.00'
10'

N 01°00'00" E
14.06'

LOT 15
REPLAT HILLSIDE
SUBDIVISION
PLAT NO. 227



DRAWING NO
JOB NO
14-175-01

DRAWING TITLE
UTILITY EASEMENT
FROM TIM SANDLIN
& CAROL CHESNEY

**NELSON
ENGINEERING**
P.O. BOX 1599, JACKSON WYOMING (307) 733-2087

DATE	6/08/17
ENGINEERED	EN
DRAWN	BJG
CHECKED	
APPROVED	



TOWN OF JACKSON TOWN COUNCIL AGENDA DOCUMENTATION

PREPARATION DATE: February 1, 2018
MEETING DATE: February 5, 2018

SUBMITTING DEPARTMENT: Public Works
DEPARTMENT DIRECTOR: Larry Pardee

PRESENTER: Jeremy Parker, Associate Engineer

SUBJECT: Request Council APPROVAL of the bid for the 2018 Sidewalk Improvements Project.

STATEMENT/PURPOSE

The purpose of this item is to obtain direction from the Council on how to proceed with the 2018 Sidewalk Improvements Project.

BACKGROUND/ALTERNATIVES

The Town of Jackson's Sidewalk Improvement Projects have been in place for many years in an effort to address locations along the Town of Jackson's street corridors where pedestrian amenities do not currently exist or where there are gaps that exist between completed sidewalk sections. The 2018 Sidewalk Improvement Project aims to connect the corridors of South Cache Street and South Millward Street along the south side of West Kelly Avenue, in addition to completing sidewalk on South Millward Street to fill the gap between the new Marriott Hotel and the St. John's Apartment Building.

The proposed project generally consists of constructing approximately 9,000 square feet of concrete sidewalk, approximately 580 lineal feet of curb and gutter, alleyway and driveway approaches, ADA ramps, associated crushed base, 720 square feet of concrete pavers, 20 cubic yards of top soil, 1,300 lineal feet dry utility trenching, street lights, electrical system tie in, and asphalt street patching. Weather permitting, the project is scheduled to be completed between April 2nd and June 8th, 2018.

The project was advertised in the JH News & Guide Weekly for three weeks beginning January 3rd, 2018.

The Town received construction Bids for the project on January 30th, 2018. Eight bids were received.

- | | |
|---------------------------------|---------------|
| 1. GREGCO, LLC | \$326,515.00 |
| 2. CM Owen Construction | \$339,000.00 |
| 3. Westwood Curtis Construction | \$359,120.00 |
| 4. Fish Creek Excavation | \$369,865.90* |
| 5. MD Landscaping & Excavation | \$392,218.90 |
| 6. DePatco, Inc. | \$405,183.50 |
| 7. Evans Construction | \$447,014.00 |
| 8. JM Concrete | \$514,025.00* |

(* errors found in bid schedule)

The Town of Jackson Engineering Department had estimated construction costs for the project to be approximately \$306,075.00.

The Jackson Town Council has a couple of options to consider and proceed with:

- Approve the contract of the 2018 Sidewalk Improvements Project as presented and secure additional funding
- Place the 2018 Sidewalk Improvements Project on hold by rejecting the bids
- Direct Public Works staff to construct portions of the project acting as general contractor.
- Other

ALIGNMENT WITH COUNCIL'S STRATEGIC INTENT

This proposed project aligns with Strategic Objectives of the Town of Jackson to foster Environmental Stewardship, Economic Sustainability, Town as Heart, and Maintaining the Unique Character of Jackson Hole. The project aligns with these Strategic Objectives by providing improved pedestrian corridors by which citizens and visitors to Jackson are able and encouraged to walk safely to and from the places they want to be, choose to walk rather than drive a vehicle thus conserving fuel and reducing traffic congestion, and encouraging a vibrant and connected community which promotes economic sustainability by providing pedestrian facilities that connect major street corridors within the Town of Jackson.

ATTACHMENTS

None.

FISCAL IMPACT

The project will be funded with the approved 2010 SPET expenditures. Currently available funds amount to approximately \$241,000.00. Factoring in additional work not included in the contract price (hydrant move by TOJ, tree removal, final landscaping behind new sidewalk, grass seed in buffer strip, etc.), it is estimated that an additional \$105,000.00 in funding will be required to complete the project. The additional funding will come from the Town's 5th cent capital funds.

STAFF IMPACT

Some coordination between the Contractor and Engineering Staff will be necessary. It is estimated that 20 hours/week of PW staff time shall be required if the contract is awarded and staff is directed to proceed with construction as scheduled.

LEGAL REVIEW

The Town Attorney shall provide a final approval of the construction contract prior to execution by the Mayor.

RECOMMENDATION

That the Town Council approve the contract for the 2018 Sidewalk Improvements Project with GREGCO, LLC of Evanston, Wyoming as presented, in the amount of \$326,515.00, and secure additional funding.

SUGGESTED MOTION

I move that the Town Council approve the contract for the 2018 Sidewalk Improvements Project with GREGCO, LLC of Evanston, Wyoming in the amount of \$326,515.00, secure additional funding, and upon legal approval, authorize the Mayor to execute all necessary contract Agreements.



TOWN OF JACKSON

TOWN COUNCIL

AGENDA DOCUMENTATION

PREPARATION DATE: January 10, 2018

SUBMITTING DEPARTMENTS:

Jackson Police Department, Attorney's Office,
Assistant Town Manager, and Town Clerk

MEETING DATE: February 5, 2018

SUBJECT: Identification Compliance Check Failures / Alcohol Sales to a Minor

STATEMENT/PURPOSE

The Town Council is the local licensing authority and pursuant to the Jackson Municipal Code, acts on enforcement of alcohol-related regulations for liquor license holders.

BACKGROUND/ALTERNATIVES

At a January 2016 Town Council meeting, Matt Stech of the Teton County Substance Abuse and Tobacco Prevention Coalition proposed new regulations to reduce substance abuse and tobacco use. Following this initial discussion, staff presented proposals for new regulations and three workshops were held with Council between August 2016 and April 2017. In April 2017, an Ordinance was presented setting forth a graduated system of compliance checks. The regulations were developed by Mr. Stech, Chief Todd Smith, Assistant Town Manager Roxanne Robinson, and Jim Waldrop (representing some liquor license holders).

In May 2017, the Town Council adopted Ordinance 1173 amending and reenacting the Jackson Municipal Code to assess stricter penalties on liquor license holders who fail to check a person's identification before selling alcohol to them. The revised Municipal Code addressing compliance checks reads as follows:

6.60.010 C. 7. Initial, consecutive, and cumulative compliance check failures. Should a business fail an initial, consecutive, or cumulative compliance check as outlined below and conducted by law enforcement for the purposes of checking compliance with Wyoming liquor laws, in addition to constituting a basis for nonrenewal;

- a. On the first compliance check failure, the business shall be required to have the employee failing the compliance check attend a four (4) hours TIPS (Training for Intervention Procedures) or RBST (Responsible Beverage Server Training approved by the Jackson Police Department or the Wyoming Liquor Division) training within thirty (30) days of failing the compliance check.
- b. On the second consecutive compliance check failure or a second compliance check failure within a twelve (12) month period, the business shall be required to have all of its employees who serve alcohol attend a four (4) hours TIPS/RBST (approved by Jackson Police Department or Wyoming Liquor Division) training within forty-five (45) days of failing the compliance check.

6.60.020 H. In addition to the penalty provided by this code or state law, excessive drinking or disorderly conduct, or consecutive and cumulative compliance check failures as outlined below may be cause for the initiation of suspension and/or revocation procedures.

1. If a business fails a third consecutive compliance check or a third compliance check in a twelve (12) month period, the business shall be subject to suspension for a minimum of one hundred twenty (120) days and shall be subject to revocation proceedings.
2. If a business fails five (5) compliance checks in a twenty-four (24) month period, the business shall be subject to suspension for a minimum of one hundred fifty (150) days and shall be subject to revocation proceedings.

Beginning in 2016, pursuant to direction from the Town Council, the Jackson Police Department (JPD) received additional funding allowing them to increase their routine compliance check visits from twice a year, to up to four times a year, depending on officer availability. In 2017, the JPD performed eighty-two compliance check visits on three separate occasions taking place in February, August, and December.

Pizzeria Caldera LLC *dba* Pizzeria Caldera failed each of their three compliance checks during 2017. The first compliance failure was on February 12th and a citation was issued to the employee-server. The employee attended 4 hours of TIPS training within thirty days per JMC §6.60.010 C.7.a.

The second compliance failure was on August 13th and a citation was issued to the employee-server. After two failures, JMC § 6.60.010 C.7.b. requires all employees who serve alcohol to attend four hours of TIPS training within forty-five days. Nine employees attended training given by the JPD on October 3rd.

The third consecutive compliance failure was on December 27th and the owner, who both served and sold the alcohol, received a citation. As stated in JMC § 6.60.020 H. "In addition to the penalty provided by this code or state law, excessive drinking or disorderly conduct, or consecutive and cumulative compliance check failures as outlined below may be cause for the initiation of suspension and/or revocation procedures.

1. If a business fails a third consecutive compliance check or a third compliance check in a twelve (12) month period, the business shall be subject to suspension for a minimum of one hundred twenty (120) days and shall be subject to revocation proceedings."

The owner of Pizzeria Caldera has been notified that this is on the agenda.

The Town Council has several options available to them including:

1. **Suspend** the restaurant liquor license held by Pizzeria Caldera, LLC *dba* Pizzeria Caldera for a minimum of 120 calendar days, beginning today, February 5, 2018, and going through 11:59 PM on June 4, 2018, direct the Jackson Police Department to perform random compliance checks during this period, and, direct the Town Clerk to notify the Wyoming Liquor Division of the suspension.
2. **Initiate** proceedings to revoke the restaurant liquor license held by Pizzeria Caldera, LLC *dba* Pizzeria Caldera in District Court and so direct the Legal Department.
3. **Suspend** the restaurant liquor license as stated in Option #1 **and**, simultaneously, **initiate** revocation proceedings as stated in Option #2.
4. Discuss the recommendation and continue any action to the February 20, 2018 Town Council meeting, or to a special meeting for this purpose held on or before February 28, 2018.
5. Take no action.
6. Other.

[ATTACHMENTS](#)

Jackson Police Department Report

FISCAL IMPACT

The fiscal impact of a suspension will include the loss of sales tax on liquor sales.

STAFF IMPACT

Minimal. Should the Town Council approve the suggested Motion, the Jackson Police Department will need to perform random compliance checks during this period. Additionally, Pizza Caldera has the right to appeal a suspension, and, if that right were exercised, staff from the Town Clerk's Office, Legal Department, and Police Department would be involved in the proceedings.

LEGAL REVIEW

As set forth above, Jackson Municipal Code § 6.60.020 H.1 requires a minimum of a 120-day suspension, with or without initiating revocation proceedings, for a liquor license holder failing three consecutive compliance checks within a 12-month period.

It should be noted that this suspension would carry through the annual liquor license renewal scheduled to be heard on February 20, 2018, therefore this suspension would affect Pizzeria Caldera's 2018-2019 Liquor License, pending Council's approval of the renewal.

RECOMMENDATION

Pizzeria Caldera failed three consecutive compliance checks within a 12-month period. As such, Staff recommends Town Council adhere to the Town liquor law regulations set forth in JMC § 6.60.020 H.1 and issue a 120-day suspension.

SUGGESTED MOTION

I move to:

- a. Suspend the restaurant liquor license held by Pizzeria Caldera, LLC *dba* Pizzeria Caldera for a minimum of 120 calendar days, beginning today February 5, 2018, and going through 11:59 PM on June 4, 2018;
- b. Direct the Jackson Police Department to perform random compliance checks during this period, and
- c. Direct the Town Clerk to notify the Wyoming Liquor Division of the suspension.



Jackson Police Department

Todd Smith Chief of Police

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Primary Narrative

Printed on January 10, 2018

Primary Report By Michelle Weber, 01/09/18 16:08

Code Enforcement

Case #PDP180100029

Typed By Michelle Weber

The following is a portion of the **Town of Jackson Municipal Code** as it pertains to liquor licenses, compliance checks and renewals.

6.60.010.C.7.a.

On Initial, consecutive, and cumulative compliance check failures. Should a business fail an initial, consecutive, or cumulative compliance check as outlined below and conducted by law enforcement for the purposes of checking compliance with Wyoming liquor laws, in addition to constituting a basis for nonrenewal;

On the first compliance check failure, the business shall be required to have the employee failing the compliance check attend a four (4) hours TIPS (Training for Intervention Procedures) or RBST (Responsible Beverage Server Training approved by the Jackson Police Department or the Wyoming Liquor Division) training within thirty (30) days of failing the compliance check.

6.60.010.C.7.b.

On the second consecutive compliance check failure or a second compliance check failure within a twelve (12) month period, the business shall be required to have all of its employees who serve alcohol attend a four (4) hours TIPS/RBST (approved by Jackson Police Department or Wyoming Liquor Division) training within forty-five (45) days of failing the compliance check.

6.60.020.H.1.

In addition to the penalty provided by this code or state law, excessive drinking or disorderly conduct, or consecutive and cumulative compliance check failures as outlined below may be cause for the initiation of suspension and/or revocation procedures.

1. If a business fails a third consecutive compliance check or a third compliance check in a twelve (12) month period, the business shall be subject to suspension for a minimum of one hundred twenty (120) days and shall be subject to revocation proceedings.

During 2017, the Jackson Police Department conducted alcohol compliance checks on three separate occasions. The dates of the compliance checks were February 12, 2017, August 13, 2017 and December 27, 2017. On each occasion a minor was served alcohol and the clerk was cited.

FIRST COMPLIANCE FAILURE - Case 1702P-1709 (See attached)

On February 12, 2017 at 2207 hours, Jackson Police Department conducted an alcohol compliance check at Pizzeria Caldera, 20 West Broadway, Jackson, Wy. As a result of the compliance check, the clerk (██████████) was issued a must appear citation in to Circuit court on February 23, 2017.

SECOND COMPLIANCE FAILURE - Case PDP170800084 (See attached)

On August 13, 2017 at 1927 hours, Jackson Police Department conducted an alcohol compliance check at Pizzeria Caldera, 20 West Broadway, Jackson, Wy. As a result of the compliance check, the clerk (██████████) was issued a must appear citation in to Municipal court on August 30, 2017.

TIPS TRAINING

After the second alcohol compliance failure, I contacted the owner, Chris Hansen and scheduled a TIPS training for all his employees (Per 6.60.010.C.7.b.) The TIPS training was taught by the Jackson Police Department on October 3, 2017. The following employees attended and passed the course:

Christine Whitby
Christopher Hansen
Loredan Darlea
Abbey Greene
Michael Lillard
Christopher Maher
Peter Petrov
Alison Keffer
Miga Rossetti

As of January 10, 2018, [REDACTED] and [REDACTED], each who have received citations for serving to a minor in 2017 have not attended TIPS training. It is unknown if [REDACTED] and [REDACTED] are still employed with Pizzeria Caldera.

THIRD COMPLIANCE FAILURE - Case PDP171200134 (See attached)

On December 27, 2017 at 1300 hours, Jackson Police Department conducted an alcohol compliance check at Pizzeria Caldera, 20 West Broadway, Jackson, Wy. As a result of the compliance check, the clerk (also the owner), [REDACTED] was issued a must appear citation in to Municipal court January 10, 2018.

NO FURTHER INFORMATION. CASE FORWARDED TO THE CITY ATTORNEY AND TOWN CLERK.



Jackson Police Department

Todd Smith Chief of Police

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Primary Narrative

Printed on January 10, 2018

Primary Report By Andrew Carter, 01/03/18 11:22

Alcohol Compliance Checks

Case #PDP171200134

Typed By Andrew Carter

On 12/27/17, at approximately 1255 hours, [REDACTED] (20 year old youth assistant) and I entered Pizzeria Caldera (20 W Broadway) restaurant/bar in performance of Alcohol Compliance Checks. [REDACTED] and I approached the counter and [REDACTED] took our drink orders. I ordered water and [REDACTED] ordered a Bud Light. [REDACTED] did not request [REDACTED] identification and served her a bottle of Bud Light. The bottle was opened and [REDACTED] was provided with a glass. [REDACTED] exchanged money for the beer (I am not sure the exact amount).

At this point, I identified myself as a Jackson Police Officer and informed [REDACTED] we were conducting compliance checks and he had just served alcohol to a 20 year old. [REDACTED] was issued a citation for furnishing intoxicating liquor to a minor (JMC 9-64-010). This was [REDACTED] first offense of this ordinance. [REDACTED] was released on-scene.

End of report.

Case closed by citation.



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Primary Narrative

Printed on January 10, 2018

Primary Report By Christian Smith, 08/15/17 14:38

Alcohol compliance check at Pizza Caldera. Server issued citation for selling alcohol to minor.

Case #PDP170800084

Typed By Christian Smith

On 8/13/2017 at approximately 1927 hours, Youth assistant [REDACTED] [REDACTED] and I performed a alcohol compliance check on Pizza Caldera.

Upon arrival, [REDACTED] and I were seated in the middle of the restaurant and [REDACTED] took our drink orders. [REDACTED] ordered one Bud Light and I ordered a water. [REDACTED] asked [REDACTED] for her ID which was given to [REDACTED] in the form of a Wyoming drivers license. [REDACTED] glanced at the ID for a moment and handed the ID back to [REDACTED]. A few minutes later, [REDACTED] returned to our table with one bottled Bud Light. [REDACTED] twisted the cap off the bottle and placed it in front of [REDACTED]

At this point, I stood up from the table and asked to speak with [REDACTED]. [REDACTED] agreed to this and we walked to the back hall of the restaurant. I showed [REDACTED] my badge and announced myself as a Police Officer. I advised [REDACTED] that I was performing a compliance check and that she had served a beer to a minor. [REDACTED] apologized and I explained the action which would be taken. [REDACTED] gave me her Wyoming Drivers license and she was issued a citation for furnishing alcohol to a minor. I explained the citation to [REDACTED] and she verbally told me she understood the cite.

[REDACTED] was released on scene.

End of report

Case closed.



Jackson Police Department

Todd Smith Chief of Police

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Primary Narrative

Printed on January 10, 2018

Primary Report By Christian Smith, 02/12/17 23:01

Case #1702P-1709

Typed By Christian Smith

On 02/12/2017 at approximately 1830 hours, youth assistant, [REDACTED] [REDACTED] and myself began alcohol compliance checks throughout the Town of Jackson And ended at approximately 2130 hours completing 21 total checks. On 02/11/2017 Officer Nathan Karnes and [REDACTED] completed nine checks in total. (See Officer Karnes supplemental report for additional information). [REDACTED] and myself completed checks at the following locations with two businesses which failed the checks.

Pizza Hut
Rendezvous Bistro
Gun Barrel
Chinatown
Bubbas
Virginian
Rusty Parrot
White Buffalo
Rustic Inn
Merry Piglets
Liberty Burger
Moe's BBQ
Lotus Cafe
Million Dollar Cowboy Bar
Town Square Tavern
Pinky G's
The Rose
Silver Dollar Bar
Pizza Caldera
Sidewinders
Buds East Side Liquor

Pizza Hut and Pizza Caldera were the only two businesses which failed the checks by selling alcohol to [REDACTED]. See event 1702P-1944 and 1702P-1945 for more information.

End of report
Case closed.



Jackson Police Department

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Supplemental Narrative

Printed on January 10, 2018

Supplemental Report By Nathan Karnes, 02/23/17 11:04

Case #1702P-1709

Typed By Nathan Karnes

On 02/11/2017 at 0909 hours I was performing alcohol compliance checks at various businesses with [REDACTED] [REDACTED] who is under the age of 21. [REDACTED] and I completed nine total alcohol compliance checks with one business failing and eight falling into compliance they are as follows.

Creekside Deli
Hotel Jackson
The Lift
Plaza Liquor
Bin 22
KJ's Phillips 66
The Liquor Store
Smith's Liquor
Picas

Hotel Jackson was the one business that failed to check for identification of the minor, and served him an alcoholic beverage (see related case 1702P-1736).

Participant Session Roster



HEALTH COMMUNICATIONS INC.

Trainer: **Jonathan Ayling (63160)**
Date Held: 10/03/2017
Total: 9
No. Retakes: 0 (*N = New, R = Retake*)
Course: TIPS On Premise

For State: WY
No. Passed: 9
Session ID: 374552

Processed: 10/23/2017
No. Failed: 0
Received: 10/19/2017

4655578	Pass	CHRISTINE WHITBY	Pizzeria Caldera
N	Expires: 10/03/2020	[REDACTED]	[REDACTED]
4655579	Pass	CHRISTOPHER HANSEN	Pizzeria Caldera
N	Expires: 10/03/2020	[REDACTED]	[REDACTED]
4655580	Pass	LOREDAN DARLEA	Pizzeria Caldera
N	Expires: 10/03/2020	[REDACTED]	[REDACTED]
4655581	Pass	ABBEY GREENE	Pizzeria Caldera
N	Expires: 10/03/2020	[REDACTED]	[REDACTED]
4655582	Pass	MICHAEL LILLARD	Pizzeria Caldera
N	Expires: 10/03/2020	[REDACTED]	[REDACTED]
4655583	Pass	CHRISTOPHER MAHER	Pizzeria Caldera
N	Expires: 10/03/2020	[REDACTED]	[REDACTED]
4655584	Pass	PETER PETROV	Pizzeria Caldera
N	Expires: 10/03/2020	[REDACTED]	[REDACTED]
4655585	Pass	ALISON KEFFER	Pizzeria Caldera
N	Expires: 10/03/2020	[REDACTED]	[REDACTED]
4655586	Pass	MIGA ROSSETTI	Pizzeria Caldera
N	Expires: 10/03/2020	[REDACTED]	[REDACTED]

Note: Due to state privacy restrictions, Social Security Number is now only listed when required by state law

From: Chris Hansen
To: [Pete Muldoon](#); [Hailey Morton Levinson](#); [Bob Lenz](#); [Jim Stanford](#); [Don Frank](#)
Cc: [Audrey Cohen-Davis](#); [Lea Colasuonno](#); [Sandy Birdyshaw](#)
Subject: Pizzeria Caldera liquor license
Date: Friday, February 2, 2018 1:38:45 PM
Attachments: [180202-Caldera-compliance check letter to ToJ Council.pdf](#)
[302813288-Order of Dismissal.PDF](#)

Town Councilors,

In an effort to provide you with some time to consider agenda item IV. A. 2.) ID Compliance Check Failures, for next Monday's Town Council meeting, I am sending you a copy of what I plan to present in defense of Pizzeria Caldera's liquor license. It is with hat in hand that I approach the Council on this matter and hope that you will give it some consideration between now and the meeting. I welcome the opportunity to discuss the matter privately if anyone cares to. While probably unlikely, I also welcome a positive outcome that would allow us to remove this issue from the Town Council agenda and move on with other matters. Regardless, I appreciate your time in reviewing my letter before the meeting. In addition to the letter, I've also included the Order of Dismissal referred to in regard to our failed compliance check in February 2017.

Thank you,

Chris
307-690-6457
chris@pizzeriacaldera.com

To: Town Council of Town of Jackson
From: Chris Hansen, Pizzeria Caldera
RE: ID Compliance Check Failures
Date: February 2, 2018

Town Council Members:

I fully understand that the ability to sell alcohol is not a right. It is a privilege that comes with a lot of responsibility. I approach this council with humility and frankly am a bit embarrassed that the failure of the most recent compliance check was my own.

I realize my personal failure of a compliance check may send the message that I don't care about that privilege, our obligation to follow the law or our responsibility to not serve alcohol to minors. On the contrary, we take all of those responsibilities very seriously, and we realize how our employees conduct themselves is a reflection on us, the owners. My wife, Miga Rossetti, and I run Pizzeria Caldera as owners/managers and have always been hands-on and proactive about training our staff how to properly store, sell, pour and serve alcohol in accordance with the law.

When I heard last spring about the pending changes to Town ordinance regarding liquor licenses (Title 6 Liquor Licenses and Permits), I made sure to learn everything I needed to about it. Along with what I assume were all other restaurant liquor license holders in the town of Jackson, I was invited to attend a meeting at the town hall in May or June. I was shocked that I was one of only about 7 people in the room. I asked a lot of questions and took the information back to our staff to educate them on the current law and the changes that would soon take place.

After the compliance check failure in August, I was contacted by Officer Michelle Webber about TiPs training for our staff. I invited a trainer to our restaurant for a morning in October when all of our Front-of-House employees could attend and receive training. I made this a mandatory training for all FoH staff that did not already hold TiPs

certification. There were nine employees in attendance, including my wife and me, and we all passed.

As I first stated, the most recent compliance check failure was my own. My daily activities consist of running the business and not necessarily working directly with customers as a server or cashier. I feel confident that none of my servers or cashiers would have failed to ask for ID. My wife trains Front of House and drills it regularly. In fact, the cashier that day had already carded 2 customers before the compliance check. We have taken our TIPS training very seriously. The day I failed the compliance check it was a very busy lunch during the Christmas holiday and I jumped in to take a few orders and help out. In my urgency to help, I was careless and rushed and did not ID. I'm not making excuses, those are simply the facts of the situation and I learned a valuable lesson.

I know that Town Council has several options available to them in making a decision about our liquor license. I ask you to consider a few things before you make that decision.

I understand that the current ordinance states that 3 compliance check failures in a calendar year may result in initiation of suspension or revocation of our liquor license. However, the change to the ordinance happened in May of 2017 and our first compliance check failure was in February of 2017. This makes the new ordinance an ex post facto law. In addition, that first compliance check failure was thrown out by the court. Considering those two issues, I would suggest that first check shouldn't count toward our total of 3.

I see in the Agenda Documentation that the fiscal impact to the town is noted as a loss in sales tax revenue. As the business owner, I am painfully aware that the fiscal impact to my business will be much greater than that loss of tax revenue. Alcohol accounts for approximately 11% - 12% of my revenue. Running a restaurant is a tough business with very tight margins. Like many tourism-based businesses, we make most of our money

in the summer. We make only a little or sometimes only break even in the winter months and we lose money in the off-seasons. Coincidentally, 11% was my profit margin for all of 2017.

In addition to those raw sales numbers, there is the hidden cost of not being able to sell alcohol. If people know they can't get a beer with their pizza, they are likely to go to one of my competitors where they can. It's hard enough to get people through the door in the first place; if they decide to go elsewhere, even if they have been long-term customers, the effect of not being able to sell alcohol is very likely to persist well beyond 120 days.

My servers make their wages in tips, tips are based on the bill total, and the bill total will be smaller if they don't have the ability to sell alcohol. Their wages will be affected and it's possible I may even lose employees if they know they won't make as much money.

So please understand: if you take away our ability to sell alcohol to our guests, you are essentially taking away my ability to turn a profit for the next 120 days and quite possibly beyond. And you are effectively lowering the wage of my front-of-house employees and punishing those who do their jobs properly and in accordance of the law for the failure of others who no longer work at Pizzeria Caldera. (Their employment was terminated due to their failure to follow the law.) Suspension of our liquor license will have a devastating impact on our employees, our business and our family.

I realize this decision is at the discretion of the Town Council. I hope you have a clearer picture of our situation and realize that it is not as black and white as simply failing compliance check after compliance check. There are real life situations behind what we do on a daily basis. While we have failed some checks in the past year, we have only failed one in the previous five years of business. I have no reason to believe that we are serving alcohol to minors. Ours is not the type of establishment where underage people go to try to get served alcohol. We are a family-friendly restaurant. We're not a bar and we're not open late. We don't get that kind of clientele and we don't have that

reputation. No one comes to Pizzeria Caldera to drink or party. They come for lunch and dinner. That is not going to change. What will change is this bad streak of failing compliance checks. We have always and will continue to make alcohol serving training a priority for our staff, and for myself. And with that I encourage you to not take any action that results in our inability to continue to serve alcohol to our guests.

Thank you for your thoughtful consideration in this matter.

Sincerely,

A handwritten signature in black ink, appearing to read "Chris Hansen". The signature is fluid and cursive, with a long horizontal stroke extending to the right.

Chris Hansen

Owner, Pizzeria Caldera

IN THE CIRCUIT COURT OF THE NINTH JUDICIAL DISTRICT
TETON COUNTY, WYOMING

THE STATE OF WYOMING,

Plaintiff,

vs.



Defendant.

Case No. CR-2017-119

ORDER OF DISMISSAL

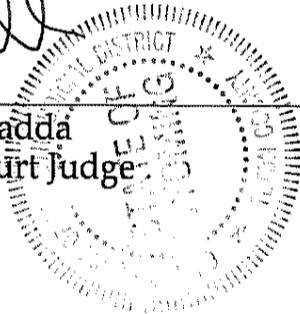
FILED
MAR - 3 2017
Circuit Court
9th Judicial District
Teton County Wyoming

WHEREAS, the above-captioned matter having come before the Court on the State's Motion To Dismiss, and good cause appearing therefor, and the Court being otherwise fully advised in the premises;

NOW, THEREFORE, IT IS HEREBY ORDERED that the *Sell Alcohol to a Minor* charge in the above-captioned matter be and the same is hereby dismissed without prejudice.

Dated the 1st day of March, 2017.


James L. Radda
Circuit Court Judge



CERTIFICATE OF SERVICE
This is to certify that a copy of the foregoing was served by Fax, Hand Delivery or Prepaid Mail upon all parties below-listed.
This 5 day of March, 2017.
By [Signature]

COPIES TO:	Mail	<input checked="" type="checkbox"/>	Hand	Fax
Co. Atty	Mail	<input type="checkbox"/>	Hand	Fax
Defendant	Mail	<input type="checkbox"/>	Hand	Fax
Defense Counsel	Mail	<input type="checkbox"/>	Hand	Fax <input checked="" type="checkbox"/>
Dispatch	Mail	<input type="checkbox"/>	Hand	Fax
Jail	Mail	<input type="checkbox"/>	Hand	Fax
Probation & Parole	Mail	<input type="checkbox"/>	Hand	Fax
	Mail	<input type="checkbox"/>	Hand	Fax
	Mail	<input type="checkbox"/>	Hand	Fax
	Mail	<input type="checkbox"/>	Hand	Fax



TOWN OF JACKSON TOWN COUNCIL AGENDA DOCUMENTATION

PREPARATION DATE: FEBRUARY 1, 2018
MEETING DATE: FEBRUARY 5, 2018

SUBMITTING DEPARTMENT: PLANNING
DEPARTMENT DIRECTOR: TYLER SINCLAIR
PRESENTER: PAUL ANTHONY

SUBJECT: **ITEM P17-192:** REQUEST FOR APPROVAL OF A CONDITIONAL USE PERMIT TO ALLOW A WIRELESS COMMUNICATIONS FACILITY ON AT 610 EAST BROADWAY.

APPLICANT/OWNER: IRENE COOK, KAPPA CONSULTING, FOR VERIZON WIRELESS

REQUESTED ACTION

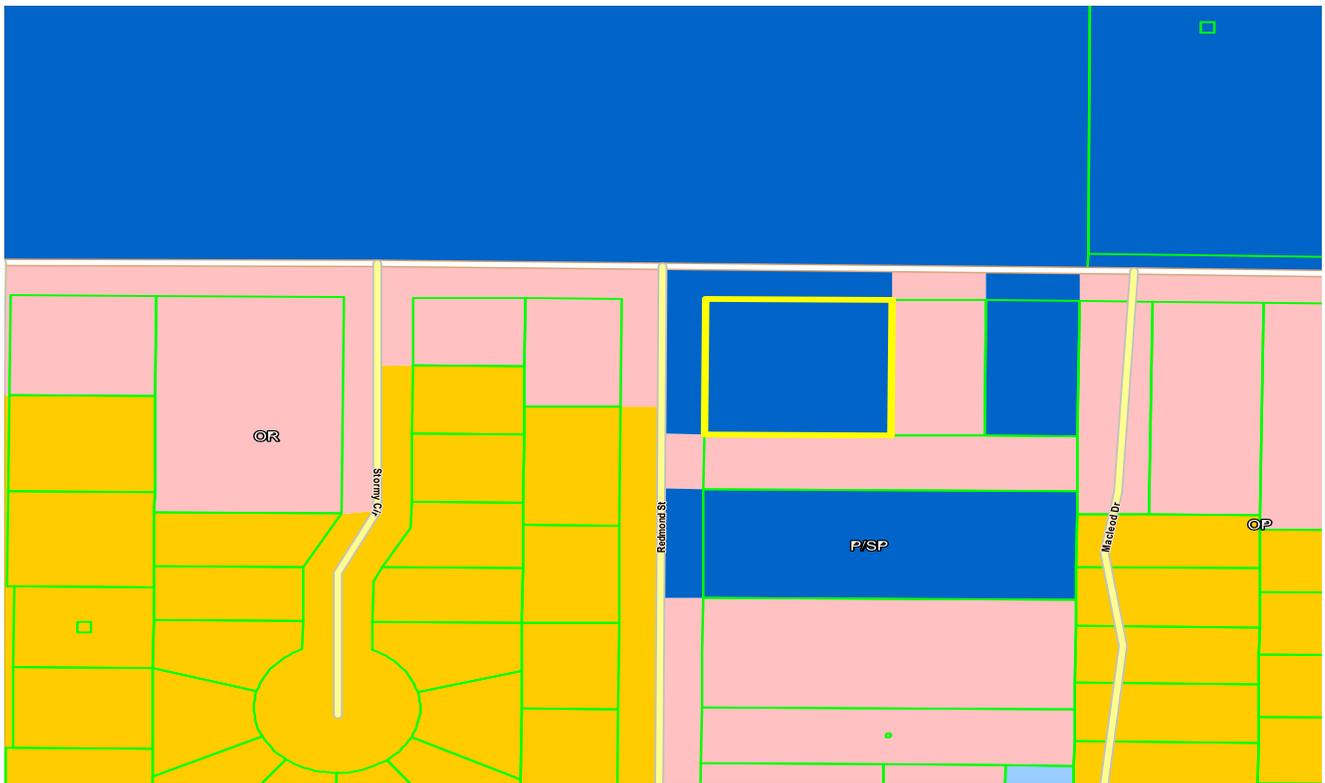
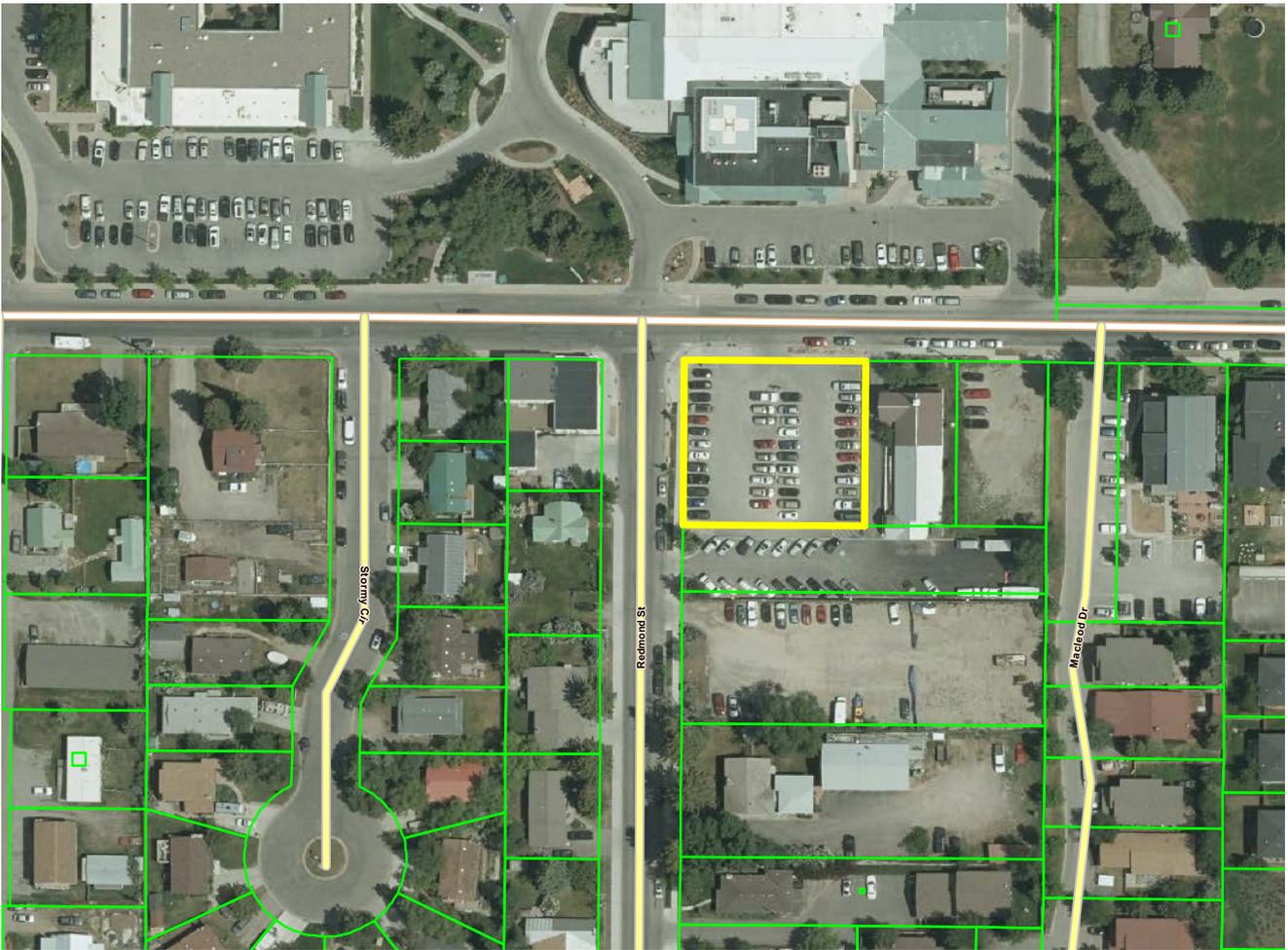
The applicant is requesting approval of a Conditional Use Permit to locate a wireless communications facility at 610 East Broadway Avenue on property owned by St. John's Hospital.

APPLICABLE REGULATIONS

Section 4.2.1 Public/Semi-Public Zone (P/SP)
Section 6.1.10.D Wireless Communications Facilities
Section 8.4.2 Conditional Use Permit (CUP)

LOCATION

The subject property is addressed as 610 East Broadway Avenue and legally described as Lots 1-2, BL. 1, Redmond - 2 (fka OJ-000900). An aerial photo and zoning map are shown on the following page showing the general location of the proposed site:



BACKGROUND

The Town Council recently adopted amendments in the Land Development Regulations (LDRs) to modify the requirements for wireless communications facilities. The amendments were necessitated by changes in federal law that limited and defined the authority of local governments to regulate the permitting of wireless communications facilities. Through the amendments the Town set up two types of permits for all new proposed wireless facilities: 1) a Basic Use Permit for any facility that was an expansion of an existing approved wireless facility provided that it is not a “substantial change” over current conditions; and 2) a Conditional Use Permit for any proposed facility that is a new facility at a new location.

In addition, the Town’s new wireless standards require, among other things, that all new facilities a) be “stealth,” b) that the applicant justify the need for the new facility, c) the height of a rooftop facility be no more than 5’ above the existing roof, and d) that a stand-alone tower be no more than 30’ in height. Wireless facilities are allowed only in the Public/Semi Public (P/SP); Business Park (BP), Park and Open Space (P), and Resort (PR) zones. The practical effect of allowing wireless facilities in these limited zones is that the Town government has taken on the responsibility of needing to approve a certain number of these facilities in order to provide the public the level of wireless service required by federal law.

PROJECT DESCRIPTION

The project site is a .40-acre parking lot owned by St. John’s Hospital located on the southeast corner of East Broadway and Redmond Street. The applicant is requesting a Conditional Use Permit (CUP) to replace two existing 18’- tall light poles with three new 30’ - tall light poles that will each hold one wireless antenna. The poles would be dark brown in color and located toward the center of the site but no closer than 31’ from any property line. Each antenna will be concealed within a canister above the light fixture. The base of each new light pole will be approximately 8” wider than the existing bases so the new bases will encroach about an additional 4” in the adjacent parking spaces. The ground equipment will be housed in a new enclosure (dark brown with wood siding) that will have a continuous 15’- long roof that is 9’ tall and is constructed to fit around the existing parking signs near the entrance. This enclosure is intended to look like a parking kiosk. Both the new light poles with antennas and the equipment enclosure are designed to be ‘stealth’ facilities intended to hide the true identity of the proposed facilities. The project will remove no parking spaces but will reduce the width of two parking spaces by less than 1 foot. There will be no impact to circulation of cars in the parking lot. The applicant will enter into a lease with the hospital for all access and structural improvements.

The primary purpose of the project is to provide better 4G-LTE capacity in the downtown area of Jackson, especially during summer months when existing capacity is strained. Verizon has already received approval for a new wireless facility on the Town’s parking garage and is pursuing another wireless facility at the base of Snow King Resort near the new roller coaster and ski services building.

STAFF ANALYSIS

The primary development standards that apply to CUP wireless communications facility are found in Sec. 6.1.10.D of the LDRs. Below staff has provided analysis of the primary standards.

Determination of Need (Sec. 6.1.10.D.3.f.ii.a)

The applicant is required to demonstrate that no existing facility or tower can accommodate the proposed use without causing impacts greater than the impacts caused by the proposed facility.

Complies: The applicant has provided an explanation of the need for the proposed wireless facility. In summary, the applicant states that existing capacity for 4G-LTE is inadequate in East Jackson, especially during the busy summer months when the number of users on their network increases dramatically and the use of tablets and smartphones for data is a particular problem. The applicant further states that they have looked at other locations in the desired service area (e.g., recreational center, Lutheran Church site, main

hospital complex) but that those locations were either not feasible or technically undesirable, or both. In addition, Town Police Chief, Todd Smith, recently provided a letter (3/17/17) related to Verizon's parking garage facility stating that the Jackson Police Department relies on the Verizon network for its communications and that it has experienced slower speeds during the busy summer months, an indication that public safety is potentially being compromised by the lack of Verizon service in Jackson.

Stealth Requirement (Sec. 6.1.10.D.3.f.i)

All wireless facilities are required to be stealth. This means that the facility must be either integrated into an existing structure or constructed new in a manner "that the purpose and nature of the Wireless facility is not readily apparent to the reasonable observer." The one exception is that a non-stealth facility (e.g., whip antenna) is allowed if it can be demonstrated that it would be less visually impactful than a stealth facility.

Complies. The proposed facility meets the standards for a stealth facility. The wireless antennas are integrated into the new light poles such that a reasonable observer would not easily notice their presence. In addition, the equipment shelter is designed to mimic a parking kiosk in design and materials and so meets the stealth requirement. Please see the discussion below in the Design Review Committee (DRC) section for more detail on this issue.

Design Review Committee (Sec. 6.1.10.D.3.d.ii)

All Wireless Communications Facility – Major uses shall be subject to review by the Design Review Committee (DRC) prior to submission of the Planning Commission. The DRC shall review such facilities for consistency with the stealth requirements in 6.1.10.D.3.f.

Complies. This application went before the DRC on December 13, 2017. They recommended approval of the project with the following condition: 1) The roof covering should be a mat or dark bronze/color to match the color of the light poles so that the colors of the light poles and kiosk are better coordinated. In general, the DRC found the proposed stealth design to be effective but wanted to see better color coordination as expressed through the condition.

Height (Sec. 6.1.10.D.3.f.ii.c)2)

The maximum height of a stand-alone tower for a Wireless Communications Facility is 30 feet.

Complies. The proposed light poles are 30' in height.

Collocation (Sec. 6.1.10.D.3.f.ii.1)3)

New towers shall be constructed to allow collocation of as many antenna arrays as feasible without causing interference, complying with height limits, and not defeating stealth elements.

Complies: Due to the small-scale nature of the facility (i.e., three 30' light poles), there is limited space for future collation. Furthermore, most wireless providers have indicated to staff that there is little point in putting antennas at 20' or below in height, as would be required on the proposed poles, because of limited signal strength. Thus, given that the proposed light poles comply with all other wireless requirements, staff finds that the limited ability for future collocation is a not the fault of the applicant's design but a function of complying with other more critical LDR requirements, such as stealth, and height.

Setbacks (Sec. 6.1.10.D.3.f.ii.d))

If the supporting structure is not constructed using breakpoint technology, the minimum setback distance shall be equal to the height of the supporting structure.

Complies. The light poles are 30' in height and are no closer than 31' from any property line.

Lighting (Sec. 6.1.10.D.3.f.ii.h))

Lighting shall be prohibited on all Wireless Facilities unless required by the Federal Aviation Administration (FAA) or by the FCC.

Complies. The lighting on the proposed light poles is intended to illuminate the hospital parking lot for safety reasons and is not associated with the wireless facility in any way. Also, the light fixtures on the poles are a major element of the stealth design and so do not violate the lighting requirements for wireless facilities. Consistent with Sec. 5.3.1. in the LDRs, the light fixtures will be located no higher than 18' above ground and will otherwise comply with the limits on light intensity (lumens), light color (kelvins), and light trespass.

Quantity Limit (Sec. 6.1.10.D.3.f.ii.i))

Only one Tower shall be permitted per legally created parcel of property.

Complies. The proposal is to replace two existing light poles with new light poles with the concealed antennas and to add one similar light pole with a concealed antenna. Staff does not consider the two replaced light poles/antennas to be 'towers' because they are not built for the 'sole or primary purpose of supporting FCC-licensed or authorized antennas.' Instead, the primary purpose of these structures is to continue to serve as light poles but to be modified to support a secondary use which are the antennas. In contrast, the proposed third light pole/antenna is only needed to support a new wireless antenna and so it is considered to be a 'tower' as defined in the LDRs. The end result is that there is only one 'tower' on the proposed site.

Noise (Sec. 6.1.10.D.3.f.ii.k))

All noise coming from a Wireless facility must comply with the standards in Sec. 6.4.3 Noise, that provides limits on allowed decibels (DBA) in different zones. The P/SP zone has a maximum noise level of 65 DBA as measured from the property line. Emergency generators are exempt from this standard.

Complies. The applicant's submittal states that there is very little noise expected from the proposed electrical equipment and that the manufacturer does not provide noise specifications because the amount of noise is so minimal. Regardless, the Town reserves its right to enforce the noise limitations in the LDRs in the event that the proposed facility is proven to be in violation.

All other standards in Sec. 6.1.10.D

There are a number of additional standards in Sec. 6.1.10.D that address requirements for application submittal, landscaping, signage, access, visibility, and security. These standards are either met as part of this application (e.g., application submittal, access, security), will be met in the future at the building permit stage, or do not apply to this particular application (landscaping, visibility). The proposed application, therefore, complies with each of these standards, as applicable to this project.

DRC REVIEW

This item was reviewed by the Design Review Committee on December 13, 2017. The DRC talked about the color of the proposed light poles and the color of the roof on the equipment shelter. They wanted to make sure that the colors were more similar than what was shown. They also asked how the lighting fixtures would be integrated into the poles. It was explained that the light fixtures cannot exceed 18' in height due to LDR limitations. The DRC approved of the stealth design for both the poles and equipment shelter/kiosk. The roof covering should be a mat or dark bronze/color to match the color of the light poles so that the colors of the light poles and kiosk are better coordinated.

STAFF FINDINGS

Item A: Pursuant to Section 8.4.2.C (Conditional Use Permit Standards) of the Land Development Regulations, the following findings shall be made for the approval of a Conditional Use Permit.

1. ***Compatibility with Future Character.*** *The proposed Conditional Use shall be compatible with the desired future character of the area.*

Sub-area 2.6 Mixed-Use Office and Residential: This TRANSITIONAL Subarea is envisioned to be a pedestrian-oriented mixed use area comprised of mixed use office or multifamily residential structures. The subarea currently contains a variety of single family residential, multifamily residential, office and institutional uses such as St. John's Hospital, the National Elk Refuge Headquarters and Town and County administrative facilities. The future development pattern should locate buildings toward the street predominantly two stories in height. Parking should be minimized and screened from the view of the public right of way. Office, residential and local convenience commercial should be located on the first level with residential above and behind. Some limited local convenience commercial is desirable to serve the surrounding residential areas with the goal of reducing trips outside the neighborhood. The existing institutional uses shall remain as anchors to the local economy that provide many jobs and services to the community. The bulk, scale and intensity of the St. John's campus has always been and will continue to be of a higher intensity than the surrounding mixed use and residential neighborhoods. Particular care and attention will be necessary to ensure a successful integration between this mixed use subarea and the adjacent Core Residential (Subarea 3.2). Particular attention will need to be given to the location of buildings, parking, types of uses, and intensity of uses to ensure a successful transition

Complies. Staff finds that the project is consistent with the above described visions for Subareas 2.6 because it will increase the level of cellular service in a part of Jackson where many offices and residences need reliable access to internet service. In addition, the scale of the three proposed light poles with antennas is consistent with the scale of development and character in this subarea.

Staff has also analyzed this application for consistency with the Policy Objectives for District 2. *Town Commercial Core* as follows:

Common Value 1: Ecosystem Stewardship

N/A

Common Value 2: Growth Management

Policy 4.1.d: Maintain Jackson as the economic center of the region

This project will improve wireless service in East Jackson where the hospital and other important businesses need reliable wireless services to meet their needs. These services and businesses are a critical component of the Town's economic base.

Policy 4.2.c: Create vibrant walkable mixed-use subareas

Not applicable to this proposal.

Policy 4.2.d: Create Downtown Retail Shopping District

Not applicable to this proposal.

Policy 4.2.e: Protect the image and function of Town Square

Not applicable to this proposal.

Policy 4.2.f: Maintain lodging as a key component in the downtown

Not applicable to this proposal.

Policy 4.4.a: Maintain and improve public spaces.

This project will improve wireless reception on the hospital property and in the public ROW, thus it will improve the public's ability to use these areas with mobile wireless devices.

Policy 4.4.c: Continue tradition of community events

Not applicable to this proposal.

Policy 4.5.a: Identify and preserve historically significant structures and sites

Not applicable to this proposal.

Common Value 3: Quality of Life

Policy 6.2.a: Enhance tourism as the basis of the economy

This project will improve wireless reception in areas near and east of the Town Square so it should help tourists visiting these areas to access wireless services critical to making their stay enjoyable and safe.

Policy 6.3.a: Ensure year-round economic viability

By helping to create a reliable wireless service network in all parts of Town, the project will help ensure the year-round economic viability of the community.

Policy 7.1.c: Increase the capacity for use of alternative transportation modes

Not applicable to this proposal.

2. ***Use Standards.*** *The proposed Conditional Use shall comply with the use specific standards of Division 6.1.*

Complies. The proposed request complies with all the standards in Sec. 6.1.10.D, as demonstrated in the Staff Analysis above in this staff report.

3. ***Visual Impacts.*** *The design, development, and operation of the proposed Conditional Use shall minimize the visual impact of the proposed use on adjacent lands.*

Complies. Staff finds that the proposed project will have minimal visual impacts on adjacent lands due to the stealth design of the wireless facility. The DRC has reviewed the project and provided a condition of approval that the color scheme for the project be simplified and better coordinated. With this condition, staff is confident that the facility look more integrated into the existing parking lot.

4. ***Minimizes adverse environmental impacts.*** *The development and operation of the proposed Conditional Use shall minimize adverse environmental impacts.*

Complies. Staff finds that the proposed wireless facility will not have any significant adverse impacts to wildlife habitat, water or air quality, or any other environmental resources.

5. ***Minimizes adverse impacts from nuisances.*** *The development and operation of the proposed Conditional Use shall minimize adverse impacts from nuisances.*

Complies. Staff finds that the proposed wireless facility will not have any significant adverse impacts from nuisances, such as noise, light, vibration, dust, etc.

6. ***Impact on Public Facilities.*** *The proposed Conditional Use shall not have a significant adverse impact on public facilities and services, including transportation, potable water and wastewater facilities, parks, schools, police, fire, and EMT facilities.*

Complies. Staff finds that the proposal will have no significant adverse impact on public facilities, such as the operation of the hospital parking lot because there will be no reduction in parking spaces to accommodate the proposed project.

7. ***Other Relevant Standards/LDRs.*** *The development and operation of the proposed Conditional Use shall comply with all standards imposed on it by all other applicable provisions of the LDRs and all other Town Ordinances.*

Complies. Staff finds that the proposed use, as conditioned, complies with other provisions of the LDRs and with all other Town Ordinances.

8. ***Previous Approvals.*** *The proposed Conditional Use shall be in substantial conformance with all standards or conditions of any prior applicable permits or approvals.*

Complies. There are no applicable previous permits or approvals.

PLANNING COMMISSION

1. The Planning Commission heard this item on January 17, 2018. The Commission asked about the possibility of future colocation of additional wireless facilities on the light poles and how the original design compared to the proposed design. It was explained that due to the limited height (30') of the poles that future colocation opportunities are limited but that the poles could possibly be increased in height in the future to allow an additional carrier. The Commission recommended approval of the CUP with a recommendation that the kiosk roof covering should be a mat or dark bronze/color to match the color of the light poles so that the colors of the light poles and kiosk are better coordinated. This has been added as a condition of approval.

(see below for full recommendations).

PUBLIC COMMENT

The Planning Department has received no public comment on this project.

FISCAL IMPACT

There should no significant fiscal impact from the proposed project.

STAFF IMPACT

There should no significant staff impact from the proposed project.

LEGAL REVIEW

Complete.

ATTACHMENTS

Applicant Submittal
Departmental Reviews

RECOMMENDATIONS / CONDITIONS OF APPROVAL

The Planning Director and Planning Commission recommend **approval** of request P17-192 for a Conditional Use Permit (CUP) to construct a wireless communications facility consisting of three new light poles at 610 East Broadway Avenue on property owned by St. John's Hospital, subject to the department reviews attached hereto and the following condition of approval:

2. The kiosk roof covering should be a mat or dark bronze/color to match the color of the light poles so that the colors of the light poles and kiosk are better coordinated.

SUGGESTED MOTIONS

Based upon the findings as presented in the staff report and as made by the applicant for Item P17-192, I move to make findings 1-8 as set forth in Section 8.4.2.C (Conditional Use Permit Standards) of the Land Development Regulations relating to 1) Compatibility with Future Character; 2) Use Standards; 3) Visual Impacts; 4) Minimizes adverse environmental impact; 5) Minimizes adverse impacts from nuisances; 6) Impact on Public Facilities; 7) Other Relevant Standards/LDRs; and 8) Previous Approvals for a Conditional Use Permit and to **approve** a Conditional Use Permit to construct a wireless communications facility consisting of three new light poles at 610 East Broadway Avenue on property owned by St. John's Hospital, subject to the department reviews attached hereto and the following condition of approval.

1. The kiosk roof covering should be a mat or dark bronze/color to match the color of the light poles so that the colors of the light poles and kiosk are better coordinated.



TO: Paul Anthony, Principal Planner

RE: Compliance with FCC Standards
Verizon Wireless WY3 Herbie Application

DATE: September 25, 2017

This letter is submitted in accordance with Sec. 6.1.10.D.3.d.vi of the Town of Jackson Land Development Regulations. Verizon Wireless affirms that the proposed base station known as "WY3 Herbie" to be located at 610 E. Broadway, a hospital parking lot, will be constructed and maintained in compliance with all applicable regulations of the Federal Communications Commission (FCC) including but not limited to "The Enhanced Best Practices Guide" as set forth in Appendix D of FCC04-168 (released August 6, 2004 or as amended). The application is in compliance with all FCC rules regarding interference with other radio services. The application is in compliance with all FCC rules regarding human exposure to radio frequency energy.

Respectfully submitted,

A handwritten signature in blue ink, appearing to read "Travis Griffin".

Travis Griffin
Senior Manager RF System Design



TO: Paul Anthony, Principal Planner

RE: Compliance with ANSI Standards
Verizon Wireless WY3 Herbie Application

DATE: September 25, 2017

This letter is submitted in accordance with Sec. 6.1.10.D.3d.v of the Town of Jackson Land Development Regulations. Verizon Wireless affirms that the proposed base station known as "WY3 Herbie" to be located at 610 E. Broadway, a hospital parking lot, will be constructed and maintained in compliance with all applicable standards of the American National Standards Institute (ANSI) for electromagnetic radiation. Verizon Wireless further affirms that the facility will meet or exceed current ANSI standards as adopted by the Federal Communications Commission (FCC).

Respectfully submitted,

A handwritten signature in blue ink, appearing to read "T. Griffin".

Travis Griffin
Senior Manager RF System Design

KAPPA CONSULTING, LLC

REPRESENTING

Verizon Wireless (VAW) LLC, d/b/a Verizon Wireless

APPLICATION FOR CONDITIONAL USE PERMIT

PROJECT INFORMATION:

Applicant Information: Verizon Wireless (VAW) LLC d/b/a/ Verizon Wireless, 9656 S. Prosperity Road, West Jordan, UT 84081

Applicant's Agent: Leasing and Zoning Consultant, Kappa Consulting LLC, Irene Cooke, P O Box 423, Tabernash, CO 80478; (970) 531-0831

Property Owner Information: Teton County Hospital District, 625 E. Broadway Avenue, Jackson, WY 83001, (307) 739-7404

Engineering Firm Preparing Site Plan: J5 Infrastructure Partners, Josh Malberg, 767 N. Star Rd., Star, ID; (208) 288-0266 ext. 170

Name of Project: Verizon Wireless WY3 HERBIE

Address of Project: 610 E. Broadway Avenue, Jackson, WY 83001
Assessor Parcel No. 22-41-16-34-1-11-003

ZONING REGULATIONS:

This application is submitted pursuant to Sec. 6.1.10.D of the Town of Jackson Land Development Regulations regarding Wireless Telecommunications Facilities complies with all regulations set forth therein.

The enclosed application form and associated materials are in compliance with the requirements of Subsection 6.1.10.D.3.d which outlines Standards for Wireless Facility Conditional Use Permits. Pursuant to this subsection, the following are requirements:

- i) The Application form signed by the Applicant: Attached;
- ii) A Letter of Authorization signed by John Kren, Chief Financial Officer: Attached;
- iii) Detailed site plans consistent with the Administrative Manual: Attached;
- iv) Documentation from a licensed professional engineer regarding structural capacity:
Note: not included, as collocation on the proposed poles would require additional engineering;

- v) Documentation providing compliance with American National Standards Institute (ANSI) standards for electromagnetic radiation: Attached letter from Travis Griffin dated September 25, 2017;
- vi) Affirmation in a written statement that the proposed facility complies with FCC regulations: Attached letter from Travis Griffin dated September 25, 2017;
- vii) Affirmation in a written statement that the new Base Station will comply with all non-discretionary structural, electrical, energy, building, and safety codes: Attached letter from Jennifer Sedillo dated September 25, 2017.

PROJECT BACKGROUND:

Request and Justification: Verizon Wireless (“VZW”), the nation’s largest wireless telecommunications provider with over 109 million subscribers, has, through extensive testing and customer complaints, determined that delivery of wireless coverage and capacity in the Town of Jackson is not optimal. Particularly during the busy summer tourist season, there is an alarming depletion of capacity in the Town. Why is this happening? The short answer is that usage of smartphones and tablet devices has grown exponentially in the past few years. These devices require large amounts of data to transmit the videos, emails, sophisticated applications (“apps”) and other uses that have become such a part of daily life. The two existing sites that have served the Town of Jackson for many years can no longer adequately provide data capacity required.

In 2016, mobile data use was 35 times the volume of 2010 usage, with each North American customer consuming an average of 3.7 GB of data per month. This average usage is expected to increase to 22 GB per month by 2021. Thus, it has become necessary to provide additional sites to provide the required capacity. In 2017, 52% of North American households are wireless-only, meaning that the home no longer has a land line and residents rely on cell phones for their communication service, including emergency services calls.

Since 2013, VZW has been attempting to improve coverage and capacity for 4G-LTE service in the Town of Jackson. To address the demand for increased capacity, VZW proposes to develop a several new facilities in the Town of Jackson. VZW is committed to serving its customers and the community as a whole by providing the optimum level of service. In a letter to Jackson Planning Director Tyler Sinclair dated March 17, 2017, Police Chief Todd Smith noted that the Jackson Police Department relies on VZW for its communications and that the Police Department has experienced slower speeds in its communications platforms during busy summer months. This is just one example of the lack of capacity in the VZW Jackson network and illustrates the need to provide increased capacity for the benefit of public safety.

VZW is mandated by the FCC to provide wireless communication services for the benefit of the public good. This mandate requires the development of communication sites to provide the service. Adequate service to the residents and visitors in this vicinity cannot be maintained without the proposed facility.

In a presentation to the Jackson Town Council on March 21, 2016, VZW representatives explained the need for additional sites in several locations in the Town. With the increasing demand for 4G-LTE capacity, users have experienced periods of less than optimal service. In response, VZW has planned 4 new sites in the Town of Jackson to meet this demand. In 2016, there were 2 sites serving the Town, one at the top of the Snow King Resort and another at a storage facility near the intersection of U. S. Hwy. 189 and Teton Pass Road (see Figure 1, below). A new site, WY3 Cutthroat, is ready for construction, having received zoning approval earlier in 2017.

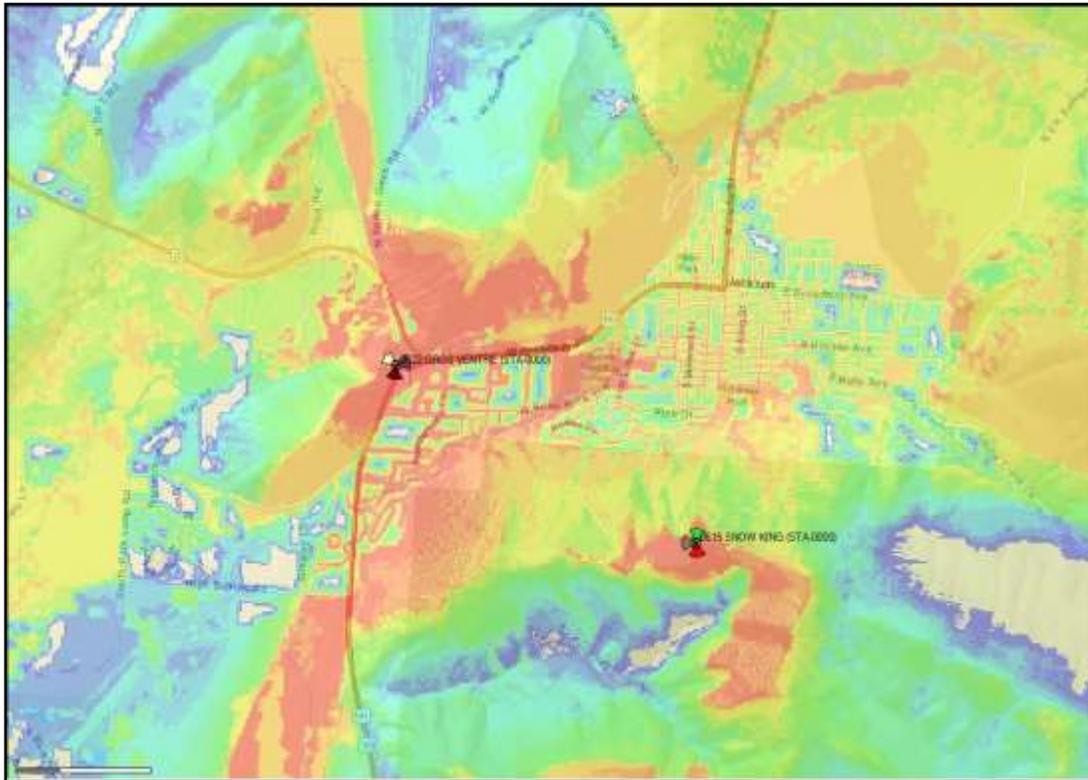


Figure 1: Original VZW Sites

The 2 original sites have provided coverage for the Town for several years, meaning that the signals from these sites reach most areas of the Town. However, there is a distinction between coverage and capacity. Although a site may provide coverage (i.e., one can make a cell phone call), there may not be sufficient capacity to provide 4G-LTE service to a large area (i.e., sufficient capacity to allow for operation of more sophisticated applications and services available on newer devices). Therefore, multiple new sites are needed to supply the required capacity in various areas of Town. Figure 2, below, illustrates the locations of 4 new sites proposed to address capacity demands in Jackson:

- WY3 Summit, a proposed collocation on an AT&T tower at Colter Elementary School;
- WY3 SK Coaster 1 and 2, two companion sites to be located at the base of Snow King Resort;
- WY3 Cutthroat, a site recently approved as noted above and ready for construction on the roof of the Town Parking Garage; and

- WY3 Herbie, the subject of this application.

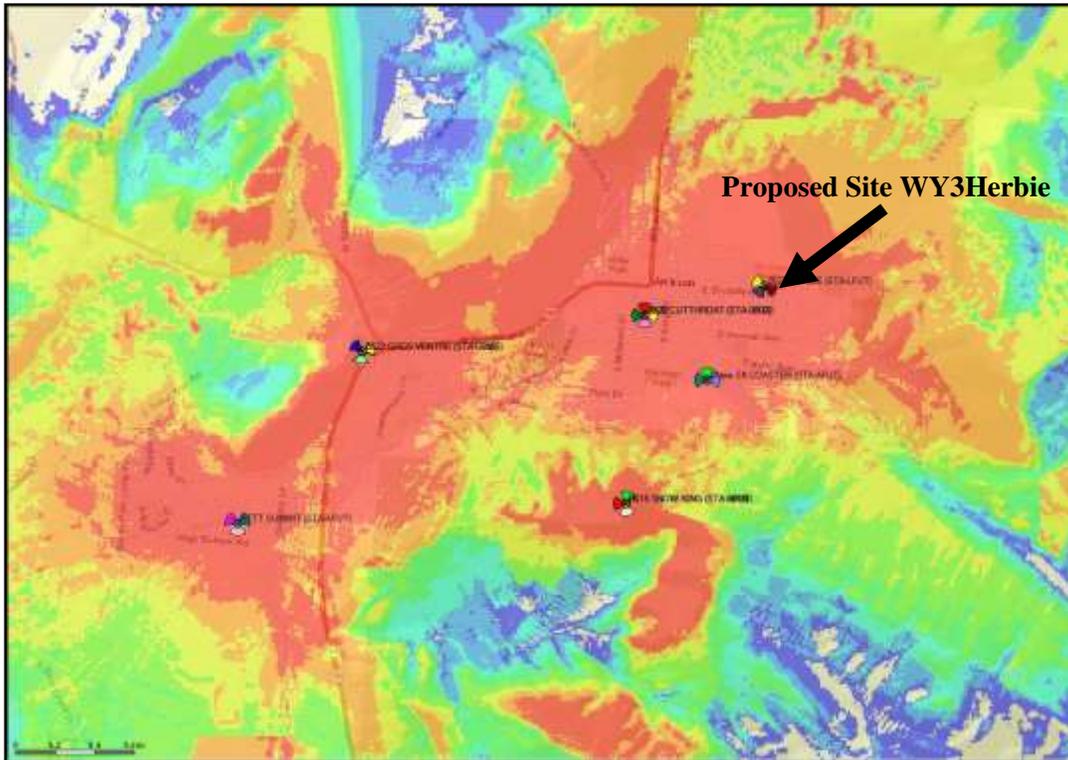


Figure 2: Existing and Proposed VZW Sites

Determination of Need: As noted above, VZW has, through extensive testing and customer complaints, determined that delivery of wireless coverage and capacity in the Town of Jackson is not optimal. There is no existing facility or tower which can accommodate VZW’s proposed use without causing a substantial change to an existing tower, or otherwise creating a greater visual impact. The proposed site at the hospital parking lot is the only available location to serve the surrounding residential and commercial properties in northeast Jackson. Please see maps of existing and proposed coverage, above.

Alternate Sites Considered: Several alternative properties were considered:

- 1) Collocation on a new tower being built by Atlas Tower: Both the design and location of this tower were rejected by Verizon Wireless RF engineers as being inadequate to serve the desired coverage area;
- 2) Collocation on the rooftop of St. John’s Medical Office Building: This proposal was initially approved by the Hospital District but eventually rejected as being incompatible with the Hospital’s future development plans for the building; and
- 3) Collocation on the rooftop of Teton County-Jackson Recreation Center: This location was rejected by Verizon Wireless RF engineers as being inadequate to serve the desired coverage area.

PROPOSED DEVELOPMENT PROGRAM:

Existing Use: The subject property is currently used as a parking lot for St. John’s Medical Center, Parcel No. 22-41-16-34-1-11-003, 610 E. Broadway Avenue, as illustrated below in Figure 3. There are 2 existing light poles in the center of the parking lot and an existing sign facing Broadway Avenue at the entrance to the parking lot. The parking lot is paved but is otherwise undeveloped, with the entrance directional sign and the light poles being the only structures on the property.



Figure 3: Existing Condition

Proposed Use: VZW proposes to replace the 2 existing light poles in the parking lot with 3 new poles, each with 1 panel antenna concealed in a canister above the light fixture. Electronic equipment associated with the antennas will be located inside the proposed enclosures at either side of the existing sign, as illustrated in Figure 4, below. The enclosure structure is intended to suggest a kiosk at the entrance to the parking lot.



Figure 4: Proposed Facility

This proposal is in compliance with applicable development standards, including: a height limit of 30 ft. for a wireless communication “tower;” setbacks equal to 100% of “tower” height from all property lines; requirement that all communications sites be “stealth;” lighting standards; and design review standards. These items are more specifically addressed in the Response to Submittal Checklist, below.

REVIEW CRITERIA:

The Pre-Application Conference Summary dated June 2, 2017, listed the items required to be included in the Application. Those items are addressed below:

GENERAL INFORMATION:

Planning Permit Application: This has been provided.

Notarized Letter of Authorization: This has been provided.

Application Fees: These have been paid by Check No. 5108 in the amount of \$2,500.00, enclosed.

Review Fees: Applicant acknowledges responsibility for payment of review fees necessitated by the review of the application.

Mailed Notice Fee: Applicant acknowledges responsibility for payment of mailed notices in excess of 25 notices.

Digital Format: Applicant has submitted all application materials in digital format on the enclosed CD.

Response to Submittal Checklist: Applicant has provided responses to the comments identified in the Pre-Application Conference Summary in the text of this narrative, below.

Title Report: Per the pre-application summary, this is not required.

Narrative description of the proposed development: This has been provided herein (see “Project Description,” above).

Proposed Development Program: This has been provided herein (see “Proposed Development Program,” above, pages 4-6).

Site Plan: The enclosed site plans meet the minimum standards established in the Administrative Manual. Sheet T-1 is the title sheet; Sheet PS-1 shows Existing View and Photosimulation of proposed view; Sheet SU1 is a site survey; Sheet SU2 shows the 1A certification of location; Sheet Z-1 is a Demolition Plan; Sheet Z-2 is a Site Plan; Sheet Z-3 in an Enlarged Site Plan; Sheet Z-4 shows Existing North Elevation; Sheet Z-5 shows proposed North Elevation; Sheet Z-6 shows Existing West Elevation; and Sheet Z-7 shows Proposed West Elevation.

Floor Plans: Per the pre-application summary, this is not required.

Neighborhood Meeting Summary: Per the pre-application summary, this is not required. However, Applicant did hold a neighborhood meeting as a courtesy to provide information to the surrounding owners. Notice of the Neighborhood Meeting was sent to all owners within 500 ft. of the subject property approximately 3 weeks in advance of the meeting date, September 14, 2017. The meeting was scheduled for 6:00 P.M. and VZW representatives were present to offer information about the proposed project. At 6:30 P. M., no one from the public had appeared and VZW representatives left the premises. Documentation of the neighborhood meeting including

copies of the notice sent to property owners, aerial image mailed with the notice, and the proposed agenda are attached.

Posted Notice: When hearing dates are established, notice will be posted in compliance with Sec.8.2.14.C.4.

RESPONSE TO SUBMITTAL CHECKLIST:

All items checked on the Pre-Application Conference Summary Checklist are addressed below:

SUBMITTAL CHECKLIST: Subsection B, Physical Development:

Structure Location and Mass: The original submittal for this site proposed replacing 1 light pole with an antenna support structure with 3 antennas concealed in a canister with diameter of 3 ft. and length of 8 ft. The original site plans showed an equipment enclosure with dimensions of 13 ft. L x 3.5 ft. W x 10 ft. H. Comments at the pre-application review indicated that the mass of this proposed site was unacceptable. In response, the site design has been modified to minimize the mass. To be a viable site, a minimum of 3 antennas are required to meet RF objectives at this location. The new design proposes 3 new light poles, each with a small canister concealing 1 antenna above the light fixture. The proposed canisters will be 21.5 in. in diameter and 7 ft. long, the minimum size required for antenna mounting. The proposed poles are in compliance with required setbacks, i.e., 100% of the 30 ft. “tower” height. The setback table on Sheet Z-2 shows that the northernmost pole is 31 ft. from the property line and the southernmost pole is 32 ft. from the property line; all poles are more than 30 ft. from east and west property lines. Comments at the initial pre-application review suggested that the equipment enclosure proposed on the initial set of plans would unacceptably interfere with parking. The comment suggested that a buried vault system be considered to minimize parking disruption. Due to considerations of occupational safety, operations feasibility and climate in this location, a buried vault system is not feasible. The proposed equipment enclosure does not interfere with parking and in fact adds an attractive design element to the entrance to the parking lot.

Maximum Scale of Development: Only one wireless communications site is allowed on any one parcel. This proposal is in compliance with that regulation. As noted above, 3 antennas are required at this site to meet RF coverage objectives. The original plans showed 3 antennas concealed in 1 canister on a single light pole. However, this design was rejected by Town Staff as not meeting the stealth requirement. Therefore, the only alternative to mounting all 3 antennas on 1 pole was to propose 1 antenna mounted on each of 3 new poles. It should be noted that only 1 new pole is proposed, as there are 2 existing poles on the property. This is the most creative solution possible in response to rejection of the original design.

Building Design: The electronic equipment required for operation of the antennas will be housed in 2 equipment enclosure units with dimensions of 2 ft.8 in. L x 2 ft. 9 in. W x 9 ft. H, or approximately 7.3 sq. ft. each. The equipment enclosure structure will be designed to suggest a kiosk, with a single roof 15 ft. long, 9 ft. high, spanning the cabinets and the existing directional sign. It is understood that this project will require approval of the Design Review Committee. Materials proposed for this structure will meet or exceed Design Review standards.

Site Development: Driveway and access limits: Access to the site will be via existing access point on Broadway Avenue. No new access is proposed.

Fencing: No fencing is proposed at this site.

SUBMITTAL CHECKLIST: ARTICLE 5, Physical Development Standards Applicable In All Zones:

Division 5.3: Scenic Standards:

Section 5.3.1 Exterior Lighting Standards: Night lighting currently exists at this parking lot, which is used around the clock by hospital visitors and employees. The proposed light poles will replicate the existing poles and light fixtures to be in compliance with lighting requirements. The proposed lighting is in compliance with Section 5.3.1.B.1, which provides that light sources shall be fully shielded, mounted such that no light is emitted above the horizontal plane of the fixture. Section 5.3.1.B.2 provides that total exterior light output is limited to 100,000 lumens per site in the P/SP zone district. Hospital properties such as the subject property are allowed up to 4 times the illumination allowed in the zone district. The proposed lighting will not exceed the allowable limits of illumination. Light color will not exceed 3000 Kelvin, per Section 5.3.1.B.3. No light will fall onto adjacent property, per Section 5.3.1.B.4. The light fixtures will be mounted at 18 ft., in compliance with Section 5.3.1.B.5. Automatic lighting controls which extinguish exterior lighting when sufficient daylight is available will be provided, per Section 5.3.1.B.6.

Section 5.3.2 Scenic Resources Overlay Standards: This section does not apply, as the subject property is not in a Scenic Resources designated area.

Division 5.8: Design Guidelines: The following standards have been addressed in the proposed plans:

Public Space: The proposed public space will be engaging and in scale with the existing use. The kiosk-style equipment structure will be an attractive addition to the existing parking lot, intended to maintain the parking lot as usable and desirable to use. The proposed light poles are intended to be engaging and in scale with the pedestrian. Since the property is currently used as a parking lot, no screening from parking is possible. However, the design is intended to provide user-friendly and pedestrian-friendly orientation and screening of utilities required for operation of the site.

Composition: The proposed design applies elements of composition, proportion and rhythm in the proposed materials, surfaces and massing. The proposed canisters will add the least possible height to the proposed light poles, maintaining good proportion. The proposed light fixtures will replicate the existing fixtures on the site. The kiosk-style equipment structure is intended to integrate the existing sign at the parking lot entrance with the equipment cabinets required for operation of the site. The project has successfully applied the design elements of composition, proportion and rhythm in the proposed materials, surfaces and massing.

Massing: The mass, height, volume, complexity and arrangement of the proposed light poles mitigate adverse effects on adjoining properties. The proposed canisters are the minimal mass

required to conceal antennas. It should be noted that the original plans for this site proposed 1 large canister to conceal 3 panel antennas. In response to the Town's concern regarding design and mass of this structure, the plans were revised to include 3 smaller canisters on 3 different poles. Further, the original plans proposed 1 large metal equipment cabinet 13 ft. long and 10 ft. high. The revised plans propose 2 smaller equipment enclosures, one on either side of the existing directional sign at the entrance to the parking lot. The proposed roof will cover both cabinets and the sign to integrate the structures and suggest a kiosk type structure. The mass, height, volume, complexity and arrangement of the components of the proposed site are intended to enhance the streetscape within the context of the Town, while creating a comfortable experience for the pedestrian and mitigating adverse effects on the adjoining properties

Street Wall: The proposal is in conformance with the requirements of this section. The project clearly defines the public space adjacent to the sidewalk and/or street. The proposed kiosk-style equipment enclosure integrates the existing directional sign to assist pedestrians. The equipment enclosure is as small as possible, thus allowing the scale of the street wall to appropriately address the pedestrian and improve the pedestrian experience.

Materials: The proposed materials are appropriate based on the context of both the surrounding context, both natural and built. The proposed materials will be durable and maintainable over time. The material used for the canisters to conceal the antennas will be durable, radio frequency-transparent fiberglass, fabricated and painted to match the texture and dark brown color of the light poles. The metal equipment cabinets will be concealed in custom-framed structures with wood siding painted dark brown with dark brown metal roofing. Samples of the proposed finishes will be provided at the Design Review Committee meeting.

In summary, the proposed site plans are in compliance with the Design Guidelines per Resolution 04-02.

SUBMITTAL CHECKLIST: ARTICLE 6: Use Standards Applicable in All Zones

Division 6.1, Allowed Uses: The proposed site is located in the PR zone district and wireless communications sites are an allowed use.

Division 6.2, Parking and Loading Standards: Division 6.2.2 requires one parking space per employee and one space per stored vehicle. This is an unmanned site and no vehicles will be stored on the site. After construction, the site will be visited for a very brief period for routine maintenance and monitoring approximately one time per month. No designated parking space is proposed.

Division 6.4, Operational Standards: There will be no outside storage; all equipment associated with the site will be housed in the proposed equipment enclosure units. The unoccupied site will generate no refuse or recycling; it will be visited only occasionally by a VZW technician to monitor and maintain the equipment. The site will not generate noise or vibration. The Applicant attempted to find noise specifications for the proposed equipment; however, no such specifications are available because the equipment does not generate significant noise. All VZW facilities are monitored remotely 24/7; therefore, the likelihood of fire, explosive hazards or electrical

disturbances is minimal. The site will include its own backup battery system for power in case of a general power outage in the Town.

SUBMITTAL CHECKLIST: ARTICLE 7: Development Option and Subdivision Standards
Applicable in All Zones:

Division 7.7, Required Utilities: The proposed site is an unmanned, unoccupied facility which requires only electric power and fiber optic connection for operation. No water, sewer, irrigation, natural gas or fuel storage will be required.

GENERAL STANDARDS AND DESIGN REQUIREMENTS:

The following Standards are required pursuant to Sec. 6.1.10.D.3.f:

1. **Must be Stealth:** The application meets this requirement with all antennas and equipment concealed from public view. Antennas will be concealed within proposed canisters above the light fixtures. Electronic equipment will be concealed in wood-framed enclosures designed to suggest a kiosk structure. It will not be obvious that a wireless communication site is located there, i.e., the presence, purpose or nature of the facility will not be readily apparent to a reasonable observer.
2. **Standards to be applied include the following:**

i) Determination of Need: Please see “Request and Justification,” “Determination of Need,” above at pages 2-4.

ii) Concealment Element: The proposed design is the most effective concealment that can be provided with the least added mass. There is no intent to frustrate the purpose of the conditions of approval. The concealment elements are intended to be consistent with the existing light pole structures. The initial application for this site proposed replacing one existing light pole with a new pole to support a canister concealing the 3 antennas required to meet RF objectives. That design was rejected by Town officials as being insufficiently stealth. The proposed design minimizes the visual impact by using smaller canisters above the 3 proposed light poles, consistent with the current use and design of the property.

iii) Height: The height of the proposed poles does not exceed the 30 ft. height limit established by the LDR’s.

iv) Setbacks: The proposed poles are in compliance with required setbacks, i.e., 100% of the 30 ft. “tower” height. The setback table on Sheet Z-2 shows that the northernmost pole is 31 ft. from the property line and the southernmost pole is 32 ft. from the property line; all poles are more than 30 ft. from east and west property lines.

v) Other conditions: The proposed facility is designed and will be maintained to be visually compatible with adjoining terrain and structures. The proposed light poles are consistent with the existing use of the property as a well-lighted hospital parking lot for employees and visitors. The proposed site will not be used for storage of excess equipment and there will be no outdoor storage.

vi) Landscaping: To avoid interfering with parking spaces and traffic flow, no landscaping is proposed at this site

vii) Signage: No commercial messages will be displayed at the proposed facility. Signage will be limited to that required by federal regulatory agencies.

viii) Lighting: Night lighting currently exists at this parking lot, which is used around the clock by hospital visitors and employees. The proposed light poles will replicate the existing poles and light fixtures will be in compliance with lighting code requirements. The proposed lighting is in compliance with Section 5.3.1.B.1, which provides that light sources shall be fully shielded, mounted such that no light is emitted above the horizontal plane of the fixture. Section 5.3.1.B.2 provides that total exterior light output is limited to 100,000 lumens per site in the P/SP zone district. Hospital properties such as the subject property are allowed up to 4 times the illumination allowed in the zone district. The proposed lighting will not exceed the allowable limits of illumination. Light color will not exceed 3000 Kelvin, per Section 5.3.1.B.3. No light will fall onto adjacent property, per Section 5.3.1.B.4. The light fixtures will be mounted at 18 ft., in compliance with Section 5.3.1.B.5. Automatic lighting controls which extinguish exterior lighting when sufficient daylight is available will be provided, per Section 5.3.1.B.6, consistent with the current light fixtures.

ix) Quantity Limit: There is a limit of 1 wireless communication facility per parcel. The proposed facility is the only wireless communication facility proposed for the subject parcel. The fact that it includes 1 antenna on each of 3 separate poles is due to the requirement that all facilities be “stealth.” An earlier proposal for this site included 1 replacement light pole with a larger canister concealing 3 antennas. That design was rejected by Town officials who stated that the design did not satisfy requirements for stealth design. The alternatives to address this issue were limited. A stealth “monopine” would have been inappropriate for the parking lot property, as the mass would have occupied several parking spaces. Likewise, a stealth “water tank” or other rustic appearing structure would have required considerably more ground space than the proposed design. Parking spaces are at a premium in this location and both the Applicant and property owner are committed to maintaining all existing parking spaces. The only other alternative was to add 1 concealed antennas on each of 3 light poles in the parking lot. The 3 antennas are served by 1 set of electronic equipment and will be permitted by the FCC as ONE site.

x) Emergency Generators: No generator is proposed.

xi) Noise Level: The facility will not generate noise or vibration. Applicant attempted to find noise specifications for the proposed equipment; however, no such specifications are available because the equipment does not generate significant noise.

xii) Visibility: Flush-Mounted Antennas: The proposed antennas will be “flush-mounted” and completely concealed inside the proposed canisters above the light fixtures. Electronic equipment associated with the antennas will be concealed in the proposed equipment enclosure units facing the entrance to the parking lot from Broadway. It will not be obvious that a wireless communication site is located there, i.e., the presence, purpose or nature of the facility

is not readily apparent to a reasonable observer. Each light pole is identical and the each canister concealment unit appears to be part of the light pole.

Collocation: The limitation of this design is obviously that only one antenna may be mounted on each pole, thus limiting potential for site modification. However, given the design constraints and space limitations at the parking lot location, one antenna is the maximum *feasible*. In order to allow for collocation of future additional carriers at this site, a more traditional tower would have been required.

Interference: In reviewer comments, the issue of interference was raised with concern for the proximity to the hospital. It is not uncommon to install wireless communications sites on or near hospitals. VZW has many such sites around the country and the terms of the lease agreement between the Hospital/Lessor and VZW/Lessee adequately address the issue of interference adequately. VZW antennas operate on very specific licensed frequencies which make it extremely unlikely that any interference would occur.

xiii) Notice: The facility will be in compliance with all requirements for public hearings. When dates for the required public hearings are scheduled, Applicant will order notice signs to be posted at designated locations on the property.

xiv) Access: No part of the proposed facility will obstruct access or cause the existing facility to fail to comply with the Americans with Disabilities Act.

xv) Security: Opportunities for unauthorized access will be minimized. It should be noted that VZW facilities are monitored remotely 24/7, providing additional security for the site. Any deviation from normal operations would be immediately noted by remote monitoring systems and a Verizon Wireless technician would be dispatched promptly to address any unusual situation.

xvi) Building Design: The electronic equipment required for operation of the antennas will be housed in 2 equipment enclosures with dimensions of 2 ft.8 in. L x 2 ft. 9 in. W x 9 ft. H, or approximately 7.3 sq. ft. each. The equipment enclosures will be designed to mimic a kiosk structure, with a single roof 15 ft. long, 9 ft. high, spanning the cabinets and the existing directional sign. It is understood that this project will require approval of the Design Review Committee.

CONDITIONAL USE PERMIT REQUIREMENTS:

The following findings must be made prior to approval of a conditional use permit:

1. The application is compatible with the desired future character of the area: This property is zoned P/SP and future character of the area is most likely to be related to the Teton County Hospital District use. The demand for current 4G-LTE wireless technology is even more pronounced in the area of the hospital, where patients, families and staff rely on their smartphones and other advanced devices to assist with their needs. The need for sufficient wireless capacity cannot be overstated.

2. The application complies with the use specific standards of Division 6.1: Jackson Land Development Regulations allow wireless communications sites in the P/SP zone district.

3. The application minimizes adverse visual impacts: As described above, the proposed antennas will be concealed in stealth canisters above light poles in the hospital parking lot. The purpose of this installation is to minimize the mass of the communications site. For example, the proposed design will have much less mass and visual impact than a “monopine” tower would have been. The canisters are designed to appear to be a part of the light pole design; each light pole is identical and consistent with the existing use on the property.

4. The application minimizes adverse environmental impacts: There will be no adverse environmental impacts associated with this development. The proposed site will be unoccupied and requires only minimal electric utility service for operation. There will be minimal ground disturbance associated with construction of the site.

5. The application minimizes adverse impacts from nuisances: The proposed site will not generate noise, odor, dust or other impacts that could be considered nuisances. As noted above, Applicant could not find noise specifications for the proposed equipment because it does not generate any significant noise.

6. The application minimizes adverse impacts on public facilities: There will be minimal impact on public facilities. The site requires only minimal electric utility and fiberoptic cable service. The site is unoccupied and requires no water, sewer, trash collection or other public services. The site will generate no traffic; it will be visited only occasionally by a sole technician to monitor and maintain the equipment. All VZW facilities are monitored remotely 24/7 and standard operating procedures minimize security risks. There will be no impact to the existing parking facility. No parking spaces will be compromised with this design.

7. The application complies with all other relevant standards of these LDRs and all other Town Ordinances: The proposed development will comply with all Land Development Regulations, building code requirements and other ordinances. VZW constructs and operates all its facilities to the highest standards in the industry.

8. The application is in substantial conformance with all standards or conditions of any prior applicable permits or approvals: Applicant believes the proposed plans meet or exceed all requirements of applicable permits and required approvals.

In summary, the application satisfies the criteria established for Conditional Use Permit findings.

4G-LTE CAPACITY:

Please note that this will be a 4G LTE site, which means voice calls will be carried over our LTE network. THIS IS A CHANGE AND WILL REQUIRE CUSTOMERS TO HAVE A DEVICE CAPABLE OF ADVANCED CALLING. A VZW 4G LTE cell site uses the latest technology to carry both voice and data. Voice service is provided over VoLTE or Voice Over Long Term

Evolution technology through a service Verizon calls Advanced Calling 1.0. Advanced Calling offers high-definition or HD voice and video calling. To complete calls on this new cell site, customers' phones must be capable of Advanced Calling and that feature must be activated in the phone itself. Both customers on a call must be served by 4G LTE and have the Advanced Calling feature activated to experience HD voice and video service. It must be noted that customers with older 1X, 3G or 4G devices without Advanced Calling will not experience a change in voice service.

"FCC SHOT CLOCK"

VZW requests that the Town of Jackson issue a written decision granting VZW's request within one hundred fifty (150) days of the date this application is submitted. If applicable, within thirty (30) days of the date the application is submitted, VZW requests the Town to inform VZW in writing of the specific reasons why the application is incomplete and does not meet the submittal requirements; and in doing so, to please specifically identify the code provision, ordinance, instruction or public procedure that requires the information to be submitted.

CONCLUSION:

Verizon Wireless respectfully requests the Town of Jackson to grant conditional use permit approval for the above described project. The proposed site will be part of a comprehensive wireless network and approval of this application will allow VZW to meet its federally mandated obligations under the license granted by the Federal Communications Commission (FCC) pursuant to the Telecommunications Act of 1996.



TO: Paul Anthony, Principal Planner

RE: Compliance with Applicable Codes
Verizon Wireless WY3 Herbie Application

DATE: September 25, 2017

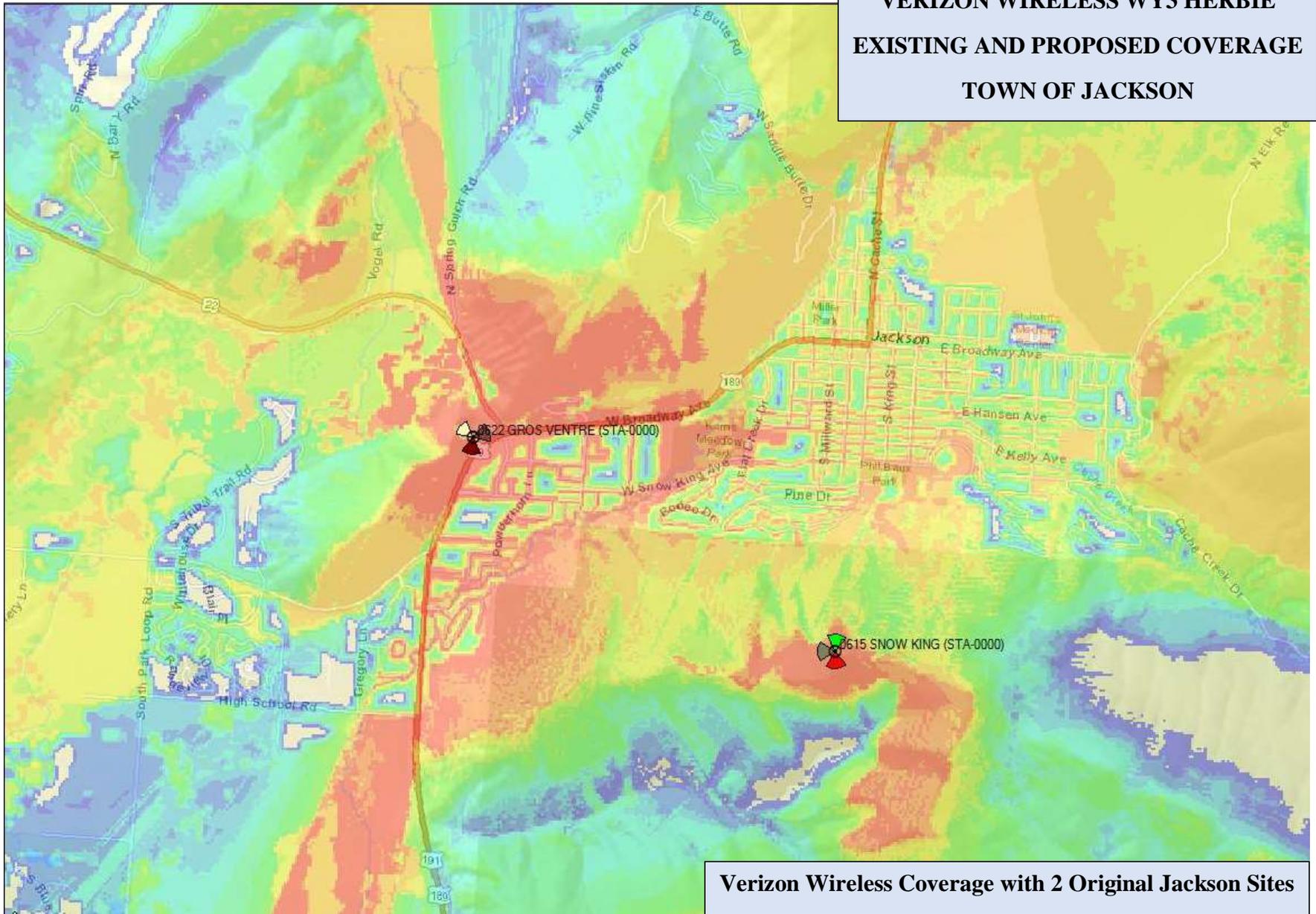
This letter is submitted in accordance with Sec. 6.1.10.D.3d.vii of the Town of Jackson Land Development Regulations. Verizon Wireless affirms that the proposed base station known as "WY3 Herbie" to be located at 610 E. Broadway, a hospital parking lot, will be constructed and maintained in compliance with all applicable non-discretionary structural, electrical, energy, building and safety codes.

Respectfully submitted,

A handwritten signature in cursive script, appearing to read "Jennifer Sedillo".

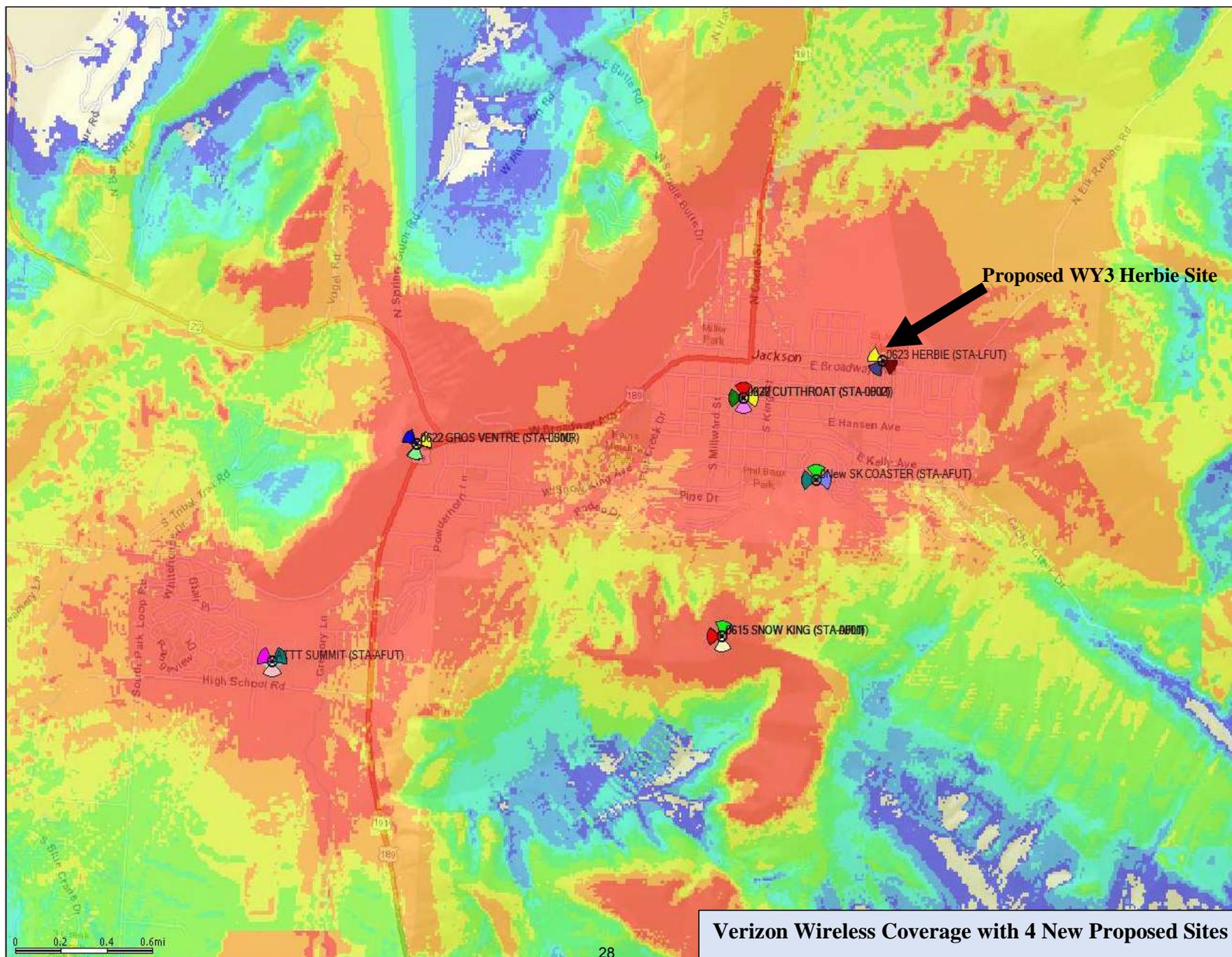
Jennifer Sedillo
Real Estate Manager

**VERIZON WIRELESS WY3 HERBIE
EXISTING AND PROPOSED COVERAGE
TOWN OF JACKSON**



Verizon Wireless Coverage with 2 Original Jackson Sites

NOTE: Red shaded areas have optimal coverage



Proposed WY3 Herbie Site

Verizon Wireless Coverage with 4 New Proposed Sites

Project Number P17-192 **Applied** 10/16/2017 **STOL**
Project Name 610 East Broadway **Approved**
Type CUP **Closed**
Subtype **Expired**
Status STAFF REVIEW **Status**

Applicant Irene Cooke **Owner** TETON COUNTY HOSPITAL DIST.

Site Address 610 E BROADWAY AVENUE **City** JACKSON **State** WY **Zip** 83001

Subdivision REDMOND-2ND **Parcel No** 22411634111003 **General Plan**

Type of Review	Status	Dates			
		Sent	Due	Received	Remarks
Contact Notes					
Building		10/16/2017	11/6/2017		
Jim Green					

Fire	NO COMMENT	10/16/2017	11/6/2017		
Kathy Clay					

Legal	APPROVED W/CONDITI	10/16/2017	11/6/2017	10/30/2017	
Lea Colasuonno					

(10/30/2017 5:36 PM LC)
 6.1.10.D.3.f.ii.h) --- The narrative states the standard for lumens in the zone is 100,000 lumens per site, but also that a hospital may have up to four times that amount. The narrative fails to state what the lumens will be within this range of 100,000 to 400,000. Moreover, if it will be brighter than the standard 100,00 the application does not include a basis for the intense lighting.

6.1.10.D.3.f.ii.i) -- This provision states that there may only be one tower per legally-created parcel. The narrative incorrectly states this standard as having "one wireless facility" per parcel (p.11) and, alternatively and also incorrectly, that "only one wireless site is allowed on any one parcel" (p. 7). A "tower" is defined in federal law is "any structure built for the sole or primary purpose of supporting any Commission-licensed or authorized antennas and their associated facilities." This application seeks to place three towers on one parcel and therefore does not meet this standard. However, the application is required to be stealth as well. Sec. 6.1.10.D.3.f requires that "[a]ll Wireless Facilities permitted under this ordinance are required to be Stealth Facilities." In turn a stealth facility is defined in the LDRs as "[a] Wireless Facility that is integrated into an existing structure so that no portion is visible from outside the existing structure ; or that is designed so that the purpose and nature of the Wireless Facility is not readily apparent to a reasonable observer." In order to integrate this facility as necessary to meet the stealthing requirement, the application must incorporate features that effectively disguise and camouflage the facility with the surrounding environment or architecture to make the presence, purpose and nature of the facility less apparent to a reasonable observer.

Parks and Rec	NO COMMENT	10/16/2017	11/6/2017		
Steve Ashworth					

Pathways	NO COMMENT	10/16/2017	11/6/2017		
Brian Schilling					

Type of Review Contact Notes	Status	Dates			Remarks
		Sent	Due	Received	
Police Todd Smith	NO COMMENT	10/16/2017	11/6/2017		

Public Works APPROVED W/CONDITI 10/16/2017 11/6/2017 11/2/2017
 Jeremy Parker
 (11/2/2017 4:48 PM JP)
 Plan Review Comments - SUFFICIENT

P17-192
 CUP
 Irene Cook (Kappa Consulting, LLC) Owner: Teton County Hospital District
 610 East Broadway Avenue

November 2, 2017
 Jeremy Parker, (307)733-3079 x1412

*Please be advised that the following comments are being provided for use in preparation of future Development Plan submittals and are required for sufficiency.

Please be advised that although the proposed site plan for installation of the three light-poles/antennas and vault(s) does not appear to affect the use of any parking spaces at the parking facility as shown in the plan submittal, the Town of Jackson Public Works Department is concerned with the possible loss of parking spaces within the parking lot in which this facility is proposed. The parking lot is heavily used by the hospital, its employees, patients, and visitors. Any loss of parking spaces within the lot in order to place the proposed facilities would result in an increased reliance on parking within the public right-of-way which is already heavily used in this vicinity.

Please be advised that the proposed installation of the light-poles/antennas and vault(s) will require submittal of a Building and/or Grading Permit application. Additionally, any and all work occurring with, or usage of, the Town's right-of-way shall require submittal of a Public Right-of-Way permit application.

START Darren Brugmann	NO COMMENT	10/16/2017	11/6/2017		
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TC Housing Authority Stacy Stoker	NO COMMENT	10/16/2017	11/6/2017		
--------------------------------------	------------	------------	-----------	--	--

August 25, 2017

Dear Property Owner:

This notice is being sent to you to inform you about a development proposal for a communications site and to invite you to a neighborhood information meeting where you can learn about the proposed project and ask questions of the applicant.

Verizon Wireless has applied to the Town of Jackson for approval to develop a communications site in the Hospital Parking Lot at the southeast corner of Broadway Avenue and Redmond Street in Jackson, Wyoming. The site is needed to meet the critical demand for 4G-LTE capacity for wireless devices used by residents, visitors and emergency services personnel in the surrounding neighborhood.

The subject property is a 0.4 acre parcel zoned P/SP and is currently used as a parking lot for Hospital staff and visitors. There are 2 existing light poles in the center of the lot.

Verizon Wireless proposes to replace the existing light poles with a three new light poles, each supporting a canister at the top to conceal an antenna. Overall height of the proposed pole and canister would be 30 ft. Electronic equipment required for operation of the antennas will be enclosed in a new kiosk structure at the entrance to the lot.

We welcome and encourage your participation, as your input is an important part of the development review process. Please join us at a neighborhood meeting to discuss the proposal on Thursday, September 14, 2017, at 6:00 PM. The meeting will be held in the Moose-Wapiti conference room in the lower level of St. John's Hospital.

Planning Department Staff may attend but will not facilitate or become involved in the discussion of the proposal. If you are unable to attend this meeting or would like to receive more information about the proposal, please contact me at your earliest convenience.

Sincerely,



Irene Cooke
Site Acquisition Consultant
Kappa Consulting LLC
(970) 726-4574 (desk)
(970) 531-0831 (mobile)
irene@ireneco.com

NOTICE OF NEIGHBORHOOD MEETING

MEETING TIME AND DATE
Thursday, September 14, 2017
6:00 PM

MEETING LOCATION
St. John's Medical Center
625 E. Broadway, Jackson, WY
Moose-Wapiti Room, lower level
(enter through Emergency Room
doors on southeast corner)

PROPOSAL INFORMATION
Verizon Wireless "WY3 Herbie"
Communications Site proposed for
Hospital Parking Lot: 0.4 acre parcel
at southeast corner of Broadway and
Redmond

ZONING INFORMATION
Proposed Site: 610 E. Broadway
Zoned P/SP

PROPOSAL DESCRIPTION
Verizon Wireless proposes to replace
the existing light poles in the Hospital
Parking Lot with three new light poles
that will each support a canister to
conceal an antenna. Electronic
equipment associated with the
antennas will be enclosed in a new
kiosk structure. No parking spaces
will be lost to this installation.

HELPFUL RESOURCES
Town of Jackson
Land Development Regulations
http://townofjackson.com/files/2213/9180/0820/LDR_Article2_-_Zoning_District_Regulations.pdf

Town of Jackson
Administrative Manual
<http://www.tetonwyo.org/compplan/LDRUpdate/AdminManual/AdministrativeManual.pdf>

**VERIZON WIRELESS PROPOSAL
LIGHT POLE REPLACEMENT
HOSPITAL PARKING LOT
610 E. BROADWAY AVENUE**



**Proposed Location:
Parcel No. 22-41-16-34-1-11-003
Lots 1 and 2, 2nd Redmond Addition
Plat No. 122
Zoning: P/SP**

**VERIZON WIRELESS WY3 HERBIE
NEIGHBORHOOD INFORMATION MEETING
SEPTEMBER 14, 2017
6:00 P.M.**

AGENDA

- 1. Call to Order**
- 2. Introduction**
 - **Applicant Verizon Wireless represented by:**
 - **Travis Griffin, Verizon Wireless and**
 - **Irene Cooke, Kappa Consulting**
 - **Purpose of Meeting**
 - **Ground Rules**
- 3. Presentation by Verizon Wireless**
- 4. Question & Answer**
- 5. Wrap-Up and Next Steps**
- 6. Adjourn**

**MEETING
GROUND RULES**

To ensure a constructive meeting, please abide by the following:

Silence your phone or other device.

One speaker at a time.

Signal the facilitator if you have a question and wait to be called upon before speaking.

Respect diverse and differing opinions.

Assist recorder in capturing comments and questions correctly.

Record your name and contact information on the sign-in sheet.

CHRISTOPHER LEE
PO BOX 4615
JACKSON, WY 83001

MARK NOWLIN, TRUSTEE
P.O. BOX 2152
JACKSON, WY 83001

ANDREW B. BULLINGTON
PO BOX 7434
JACKSON, WY 83002

TETON COUNTY HOSPITAL DIST.
P.O. BOX 428
JACKSON, WY 83001

KELLY L. & LORRAINE S. THOMPSON
PO BOX 2019
JACKSON, WY 83001

ALISSA DAVIES
PO BOX 2958
JACKSON, WY 83001

ROBERT GRAHAM & KAREN TERRA
PO BOX 2336
JACKSON, WY 83001

CHARLES J. & KRISTA A. MIXTER
P.O. BOX 6814
JACKSON, WY 83002

JOHN DOUGLASS
P.O. BOX 1593
JACKSON, WY 83001

J. WILMOT & K. RICHARDSON
P.O. BOX 2162
JACKSON, WY 83001

GREGORY & JODI ANN ARMSTRONG
PO BOX 2428
JACKSON, WY 83001

JAMES A. STONE, ET UX
P.O. BOX 354
JACKSON, WY 83001

YVONNE ANNA JOOSTEN
P.O. BOX 1434
JACKSON, WY 83001

JENNIFER B. TRUMAN, 2005 TRUST
P.O. BOX 10910
JACKSON, WY 83002

J.H. COMMUNITY COUNSELING CENTER
PO BOX 1868
JACKSON, WY 83001

THOMAS WORTHINGTON OFFUTT, IV
P.O. BOX 4205
JACKSON, WY 83001

R.I.G., LLC
P.O. BOX 7406
JACKSON, WY 83002

JACKSON HOLE BAPTIST CHURCH S.B.C.
PO BOX 3305
JACKSON, WY 83001

ROBERT W. & JULIE P. MCLAURIN
P.O. BOX 143
JACKSON, WY 83001-0143

RM BAR, LLC
PO BOX 1631
DUBOIS, WY 82513

CHRISTIE J. ROSS
P.O. BOX 2067
JACKSON, WY 83001

VALERIE LYNN CONGER
P.O. BOX 12024
JACKSON, WY 83002

DAVID YOGG
PO BOX 14604
JACKSON, WY 83002

M M RENTALS, LLC
PO BOX 8940
JACKSON, WY 83002

MICHAEL F. TRUSTEE DAUS
P.O. BOX 563
TETON VILLAGE, WY 83025

JEFFREY A. SAMET
225 FARRINGTON BLVD.
NORTH BRUNSWICK, NJ 08902

BROWN BAKER FAMILY, LLC
PMB 493 PO BOX 30000
JACKSON, WY 83002

ANDREA LARKEY ROSS REV TRUST
715 CANYON VIEW ROAD
BOZEMAN, MT 59715-1610

TAYLOR MANOR I, LLC
PO BOX 563
TETON VILLAGE, WY 83025

DENNIS R. & JOY L. LAMB
PO BOX 6433
JACKSON, WY 83002-6433

AFFIE B. ELLIS LIVING TRUST 3009 CAREY AVENUE CHEYENNE, WY 82001	KENNETH M. & DOREEN S. JARMAN PO BOX 1095 JACKSON, WY 83001	JAMES & LENORA BURNSIDE, TRUSTEES P O BOX 679 JACKSON, WY 83001
COMMUNITY ENTRY SERVICES, INC. 2441 PECK AVENUE RIVERTON, WY 82501	LARSON FAMILY REV LIVING TRUST PO BOX 3490 JACKSON, WY 83001	LEESA C. WILDE P.O. BOX 656 JACKSON, WY 83001
RACHEL M. STAM PO BOX 2218 JACKSON, WY 83001	110 REDMOND LLC PO BOX 10518 JACKSON, WY 83002	BROADWAY PARK LTD., L.C. PO BOX 4397 JACKSON, WY 83001
LEAH KRISTINE NYDAM, ET AL PO BOX 7329 JACKSON, WY 83002	RED HOUSE, LLC P.O. BOX 4902 JACKSON, WY 83001	JDCH-LMH TRUST PO BOX 616 WILSON, WY 83014
BRUCE KROGER, ET AL C/O STEC PO BOX 4212 JACKSON, WY 83001	MICHAEL F. DAUS P.O. BOX 563 TETON VILLAGE, WY 83025	J. A. MCGHEE & C.F. ROMANOSKY PO BOX 7147 JACKSON, WY 83002
MARK & MCKEAN NOWLIN P.O. BOX 2152 JACKSON, WY 83001	LAUREN BROWNE REVOCABLE TRUST PO BOX 10142 JACKSON, WY 83002	PETER ROSENBERG REV TRUST PO BOX 11599 JACKSON, WY 83002
M BAR, LLC C/O 10 & 20 PIONEER PO BOX 2282 JACKSON, WY 83001	A.D. ANGSTROM & M. MARTIN 175 BROADWAY IRVINGTON, VA 22480	RITA L. & LEONARD DEUTSCH 6336 CEDAR LANE, APT 126 COLUMBIA, MD 21044-3894
PHILLIP J. & TERA KAY YANTZI PO BOX 81 JACKSON, WY 83001	LAWRENCE B. HARTNETT P.O. BOX 1823 JACKSON, WY 83001-1823	KIMBERLY B. & ZAHAN J. BILLIMORIA PO BOX 9616 JACKSON, WY 83002
RENAE R. MURRAY 5575 E SPOILED HORSE ROAD JACKSON, WY 83001	REDMOND TOWNHOMES O.A. PO BOX 13281 JACKSON, WY 83002-3281	EDWARD L. & EILEEN K. CAMERON 8171 BAY COLONY DRIVE, UNIT 203 NAPLES, FL 34108
KARLA STEINMEIER P.O. BOX 10863 JACKSON, WY 83002	WIND RIVER PARTNERS, LLC PO BOX 6754 JACKSON, WY 83002	MATTHEW & AIMEE ZELEZNIK PO BOX 10190 JACKSON, WY 83002

KATHERINE T. & DAVID T. SOLLITT
PO BOX 7467
JACKSON, WY 83002

JOSEPH FUNK ET UX
P.O. BOX 289
JACKSON, WY 83001

HENRY T. CADWALADER
PO BOX 4922
JACKSON, WY 83001

S. GRAINDA & L. ZAMISKOVA,
PO BOX 9813
JACKSON, WY 83002

USA - FISH AND WILDLIFE SERVICE
PO BOX 510
JACKSON, WY 83001

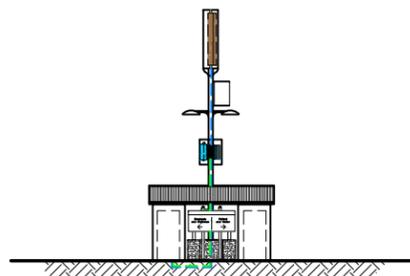


WY3 HERBIE

PUBLIC RECORD PARCEL NO. 22-41-16-34-1-11-003

610 E. BROADWAY AVENUE JACKSON, WY 83001 TETON COUNTY

PROPOSED 27'-0" LIGHT POLE (OVERALL HEIGHT: 30'-0" A.G.L.) RAW LAND INSTALLATION PROJECT



VICINITY MAP
SCALE: N.T.S.



DESIGNED FOR:
verizon
3131 SOUTH VAUGHN WAY, SUITE 550
AURORA, COLORADO 80018

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J5 INFRASTRUCTURE PARTNERS
AZ - CA - CO - ID - NM - NV - TX - UT

REV	DESCRIPTION	DATE	BY	CHK
A	PRELIMINARY - FOR LEASING & ZONING	9/7/17	MDA	-
B	REVISED PER COMMENTS	9/5/17	MDA	-
C	REVISED PER COMMENTS	9/7/17	MDA	-
D	REVISED PER COMMENTS	9/28/17	MDA	-
E	REVISED PER COMMENTS	10/6/17	MDA	-

PENETRATIONS

RRH/BBU

ANTENNAS

FIBER

POWER/GROUNDING

HYBRID/COAX

SHEET INDEX:

SHEET	TITLE	REV.
T1	TITLE SHEET	E
PS1	PHOTO SHEET	E
SU1	SITE SURVEY	A
SU2	1A CERTIFICATION LETTER	-
Z1	DEMO PLAN	E
Z2	SITE PLAN	E
Z3	ENLARGED SITE PLAN	E
Z4	EXISTING ELEVATION	E
Z5	PROPOSED ELEVATION	E
Z6	EXISTING ELEVATION	E
Z7	PROPOSED ELEVATION	E
PHS	PROJECT HISTORY SHEET	E

PROJECT INDEX:

APPLICANT:
VERIZON
2730 BOZEMAN AVENUE
HELENA, MT 59601

CONTACT: KENT MCDERMOTT
PHONE: 406-461-1359

ENGINEERS/DESIGNERS:
J5 INFRASTRUCTURE PARTNERS
767 N. STAR RD.
CONTACT: JOSH MALBERG
PHONE: 208-286-0266 EXT 170

SURVEYOR:
CIS PROFESSIONAL LAND SURVEYING

CONTACT: CORY SQUIRE
PHONE: 435-660-0816
CORY@CISPLS.COM

ZONING/SITE AQ:
KAPPA CONSULTING LLC
1599 CO. RD 5221
P.O. BOX 423
TABERNASH, CO 80478

CONTACT: IRENE C. COOKE
PHONE: 970-726-4574
EMAIL: irene@ireneeco.com

ABBREVIATED LEGAL DESCRIPTION:

LOTS 1-2, BL. 1, REDMOND -2 (fka OJ-000900)

FCC COMPLIANCE:

RADIATION FROM THIS FACILITY WILL NOT INTERFERE WITH OPERATION OF OTHER COMMUNICATION DEVICES.

GENERAL PROJECT NOTES:

- PRIOR TO SUBMITTING A BID, THE CONTRACTOR SHALL FAMILIARIZE HIMSELF/HERSELF WITH THE SCOPE OF WORK AND ALL CONDITIONS AFFECTING THE PROPOSED PROJECT.
- CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND DIMENSIONS OF THE JOB SITE AND CONFIRM THAT WORK AS INDICATED ON THESE CONSTRUCTION DOCUMENTS CAN BE ACCOMPLISHED AS SHOWN PRIOR TO COMMENCEMENT OF ANY WORK.
- ALL FIELD MODIFICATIONS BEFORE, DURING, OR AFTER CONSTRUCTION SHALL BE APPROVED IN WRITING BY A VERIZON REPRESENTATIVE.
- INSTALL ALL EQUIPMENT AND MATERIALS PER THE MANUFACTURER'S RECOMMENDATIONS, U.N.O.
- NOTIFY VERIZON, IN WRITING, OF ANY MAJOR DISCREPANCIES REGARDING THE CONTRACT DOCUMENTS, EXISTING CONDITIONS, AND DESIGN INTENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATIONS FROM A VERIZON REPRESENTATIVE AND ADJUSTING THE BID ACCORDINGLY.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES OF THE WORK UNDER THE CONTRACT.
- CONTRACTOR SHALL PROTECT ALL EXISTING IMPROVEMENTS AND FINISHES THAT ARE TO REMAIN. CONTRACTOR SHALL REPAIR ANY DAMAGE THAT MAY OCCUR DURING THE CONSTRUCTION TO THE SATISFACTION OF A VERIZON REPRESENTATIVE.
- THE CONTRACTOR IS RESPONSIBLE FOR RED-LINING THE CONSTRUCTION PLANS TO ILLUSTRATE THE AS BUILT CONDITION OF THE SITE. FOLLOWING THE FINAL INSPECTION BY VERIZON, THE CONTRACTOR SHALL PROVIDE VERIZON WITH ONE COPY OF ALL RED-LINED DRAWINGS.
- VERIFY ALL FINAL EQUIPMENT WITH A VERIZON REPRESENTATIVE. ALL EQUIPMENT LAYOUT, SPECS, PERFORMANCE INSTALLATION AND THEIR FINAL LOCATION ARE TO BE APPROVED BY VERIZON. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS/HER WORK WITH THE WORK AND CLEARANCES REQUIRED BY OTHERS RELATED TO SAID INSTALLATIONS.

PROJECT INFORMATION:

PROPERTY OWNER:	TETON COUNTY HOSPITAL DISTRICT JACKSON, WY 83001
	CONTACT: PAUL BEAUPRE, CEO PHONE: 307-739-7404
JURISDICTION:	TOWN OF JACKSON
	CONTACT: PAUL ANTHONY PHONE: 307-733-0440 EXT. 1303
PUBLIC RECORD PARCEL NO:	22-41-16-34-1-11-003

ADA COMPLIANCE:

THIS FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. LANDINGS AND EXITS SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES.

PROJECT DESCRIPTION:

- THIS PROJECT CONSISTS OF THE FOLLOWING:
- REMOVAL**
 - TWO (2) EXISTING LIGHT POLES
 - INSTALLATION**
 - THREE (3) PROPOSED 27'-0" LIGHT POLES (DESIGNED BY OTHERS)
 - THREE (3) PROPOSED ANTENNA SHROUDS
 - THREE (3) PROPOSED PANEL ANTENNAS
 - ONE (1) PROPOSED EQUIPMENT ENCLOSURE
 - TWO (2) PROPOSED EQUIPMENT CABINETS
 - TWO (2) PROPOSED MAIN OVP UNITS
 - THREE (3) PROPOSED 700 RRH UNITS
 - THREE (3) PROPOSED AWS RRH UNITS
 - THREE (3) PROPOSED PCS RRH UNITS
 - THREE (3) PROPOSED RRH SHROUDS
 - PROPOSED METER & DISCONNECT MOUNTED ON H-FRAME
 - ONE (1) PROPOSED TRAFFIC RATED FIBER VAULT

DRIVING DIRECTIONS:

FROM THE VERIZON OFFICE LOCATED AT 3131 SOUTH VAUGHN WAY TURN RIGHT ONTO S VAUGHN WAY (0.1 MILES) AND TURN LEFT TO MERGE ONTO CO-83 N TOWARD INTERSTATE 225 (0.2 MILES). MERGE ONTO CO-83 N (0.1 MILES). TAKE THE INTERSTATE 225 N EXIT AND MERGE ONTO I-225 N (8 MILES). TAKE EXIT 12A ON THE LEFT TO MERGE ONTO I-70 W TOWARD DENVER (3.2 MILES). KEEP RIGHT AT THE FORK TO CONTINUE ON I-270 W, FOLLOW SIGNS FOR FORT COLLINS (6.6 MILES). TAKE EXIT 0 TO MERGE ONTO I-25 N TOWARD FT COLLINS (64.3 MILES). TAKE EXIT 281 FOR OWL CANYON RD (0.3 MILES). TURN LEFT ONTO OWL CANYON RD (6.5 MILES). AT THE TRAFFIC CIRCLE, TAKE THE 1ST EXIT (1.4 MILES). CONTINUE ONTO W COLORADO RD 72 (3.5 MILES). TURN RIGHT ONTO US-287 N (46.3 MILES). TURN RIGHT TO MERGE ONTO I-80 W TOWARD RAWLINS (0.5 MILES). MERGE ONTO I-80 W (208 MILES). TAKE EXIT 104 FOR ELK ST (0.3 MILES). TURN RIGHT ONTO ELK ST (0.5 MILES). CONTINUE STRAIGHT TO STAY ON ELK ST (161 MILES). AT THE TRAFFIC CIRCLE, TAKE THE 1ST EXIT ONTO US-189 N (13.3 MILES). CONTINUE STRAIGHT ONTO E BROADWAY (0.6 MILES) AND THE SITE LOCATED AT 610 E. BROADWAY AVE WILL BE ON THE RIGHT.



PROJECT NAME:
WY3 HERBIE
PROPOSED 27'-0" LIGHT POLE
(OVERALL HEIGHT: 30'-0" A.G.L.)
RAW LAND INSTALLATION PROJECT

PROJECT ADDRESS:
610 E. BROADWAY AVENUE
JACKSON, WY 83001
TETON COUNTY

SHEET TITLE:
TITLE SHEET

SAVE DATE:
10/6/2017 8:40 AM

SHEET NUMBER:
T1

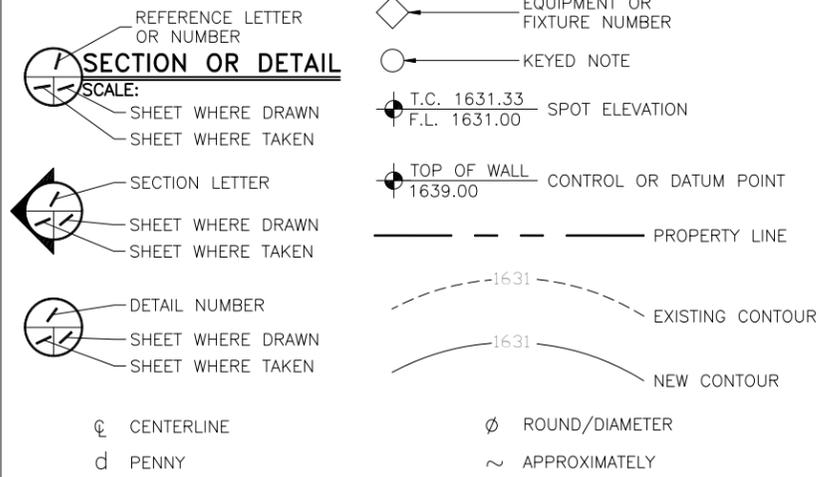


**VIEW OF EXISTING LIGHT POLES
(LOOKING SOUTHWEST)**



**VIEW OF PROPOSED LEASE AREAS
(LOOKING SOUTHWEST)**

LEGEND OF SYMBOLS:



DESIGNED FOR:
verizon
 3131 SOUTH VAUGHN WAY, SUITE 550
 AURORA, COLORADO 80018

THESE DRAWINGS AND SURVEYS ARE COPYRIGHT PROTECTED AND THE SOLE PROPERTY OF J5 INFRASTRUCTURE PARTNERS, LLC AND PRODUCED FOR THE USE OF OUR CLIENT. ANY REPRODUCTION OR USE OF THE INFORMATION CONTAINED WITHIN SAID DOCUMENTS IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF J5 INFRASTRUCTURE PARTNERS, LLC.

J5 INFRASTRUCTURE PARTNERS
 AZ - CA - CO - ID - NM - NV - TX - UT

REV	DESCRIPTION	DATE	BY	CHK
A	PRELIMINARY - FOR LEASING & ZONING	9/7/17	MDA	-
B	REVISED PER COMMENTS	9/5/17	MDA	-
C	REVISED PER COMMENTS	9/7/17	MDA	-
D	REVISED PER COMMENTS	9/28/17	MDA	-
E	REVISED PER COMMENTS	10/6/17	MDA	-

DESIGNED BY:

**PRELIMINARY
FOR LEASING/ZONING**

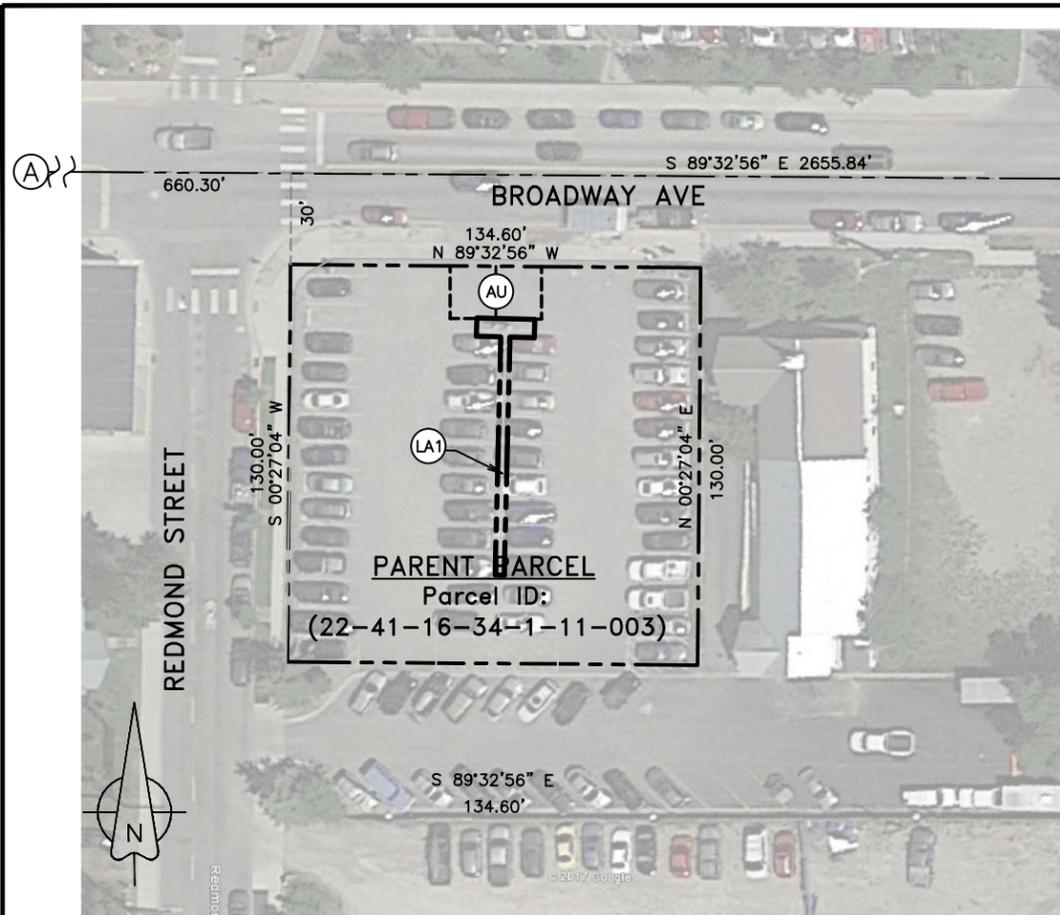
PROJECT NAME:
WY3 HERBIE
 PROPOSED 27'-0" LIGHT POLE
 (OVERALL HEIGHT: 30'-0" A.G.L.)
 RAW LAND INSTALLATION PROJECT

PROJECT ADDRESS:
**610 E. BROADWAY AVENUE
 JACKSON, WY 83001
 TETON COUNTY**

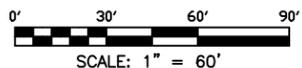
SHEET TITLE:
PHOTO SHEET

SAVE DATE:
 10/6/2017 8:40 AM

SHEET NUMBER:
PS1



PARENT PARCEL AND SURVEY CONTROL OVERVIEW

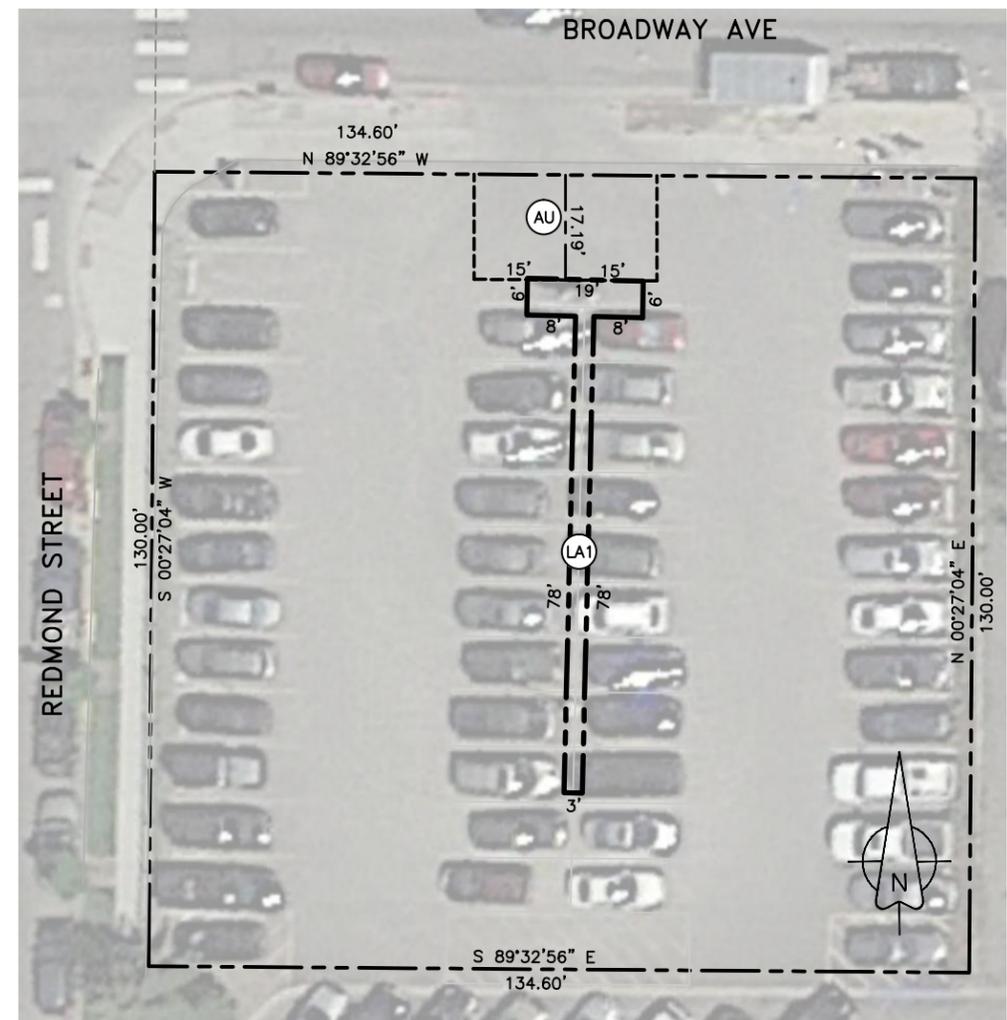


A parcel of land to be leased for the purpose of placing telecommunications equipment, said lease parcel situate within the corporate limits of Jackson City, Teton County, Wyoming, comprising a portion of Lots 1 and 2, Plat No. 122, Redmond Addition, Jackson City, Teton County, Wyoming and is more particularly described by metes and bounds as follows:
 Beginning at a point that is 740.21 feet S 89°32'56" E along the Section line and 47.27 feet South of North ¼ corner of Section 34, Township 41 North, Range 116 West, 6th Principal Meridian, Teton County Wyoming; thence S. 01°22' W. 6.00 feet, thence N.88°37' W. 8.00 feet, thence S. 01°23' W. 78.00 feet, thence N. 88°37' W. 3.00 feet, thence N. 01°23' E. 78.00 feet, thence N. 88°37' W. 8.00 feet, thence N.01°23' E. 6.00 feet, thence S. 88°37' E. 19.00 feet to the point of beginning. The above described parcel of land contains 348 square feet in area or 0.008 of an acre more or less.

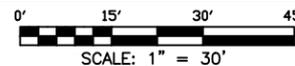
(LA1) LEASE AREA 1 LAND DESCRIPTION

A strip of land 30 feet (30') wide for the purpose of serving and providing access to a telecommunications equipment lease area, situate within the corporate limits of Jackson City, Teton County, Wyoming, said strip comprising a portion of Lots 1 and 2, Plat No. 122, Redmond Addition, Jackson City, Teton County, Wyoming; the centerline of said strip is more particularly described by metes and bounds as follows:
 Beginning at a point that is 727.44 feet S 89°32'56" E along the Section line and 30.00 feet South of North ¼ corner sec. 34 T.41N. R.116 W. 6th Principal Meridian, Teton County WY.; thence South 17.19 feet to the terminus of said centerline.
 The above described parcel of land contains 515.70 square feet in area or 0.0118 of an acre more or less.

(AU) ACCESS/UTILITY EASEMENTLAND DESCRIPTION



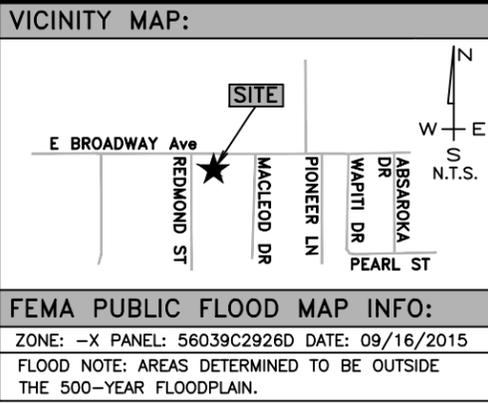
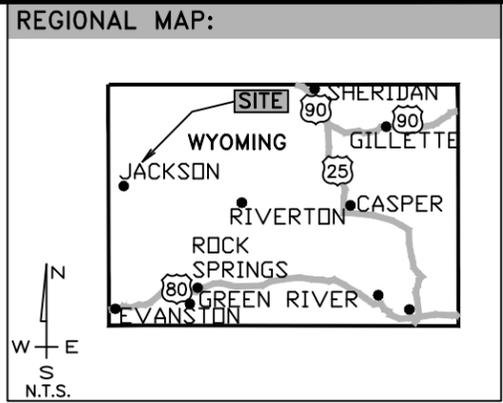
ENLARGED LEASE AREA SITE PLAN



KEYED NOTES

(A) NORTH ¼ CORNER SEC. 34 T.41N. R.116W. 6TH PRINCIPAL MERIDIAN, TETON COUNTY WY. (FOUND 1965 BRASS CAP REFERENCE MONUMENT 31.00' S25°06'22"E OF TRUE CORNER) [HELD TRUE CORNER FOR ORIGIN OF SURVEY]

(B) FOUND NELSON ENGR REBAR AND ALUMINUM CAP (PE&LS 578) ON THE SECTION LINE MARKING NORTH LINE OF DALLAS NELSON SUB. (MAP No. 176). CAP LIES N 89°32'56" W 123.35 FEET FROM SEC CORNER [HELD FOR ALIGNMENT]



SURVEYOR'S NARRATIVE:
 It is the intent of this map and the survey on which it is based is to represent the perimeter lines of the Parent Parcel and the location of the proposed lease area and Access/Utility easements within the parent parcel. Property corners and other survey markers, monuments or evidence that were found at the time of this survey are drawn and noted accordingly.

SURVEYOR'S NOTE & CERTIFICATION:
 This "Lease Area Survey" is based on an actual field survey performed by me or under my direction. It correctly depicts existing, readily visible improvements and the perimeter of the parent parcel was verified from field and record information. This "Lease Area Survey" is not a Boundary Survey of the Parent Parcel and this Survey was developed to support the communications facility plan set named hereon.

BASIS OF BEARING AND DATUM NOTE:

- All distances are at ground in US survey feet and all bearings are Grid based upon the Wyoming Coordinate System 1983, Wyoming West Zone. (NAD83)
- Survey Performed with a Survey Grade Trimble GPS receiver and computed using the National Geodetic Survey Online Positioning User Service.
 Geodetic Position of Control Monument is:
 LATITUDE: 43°28'46.88824"N
 LONGITUDE: 110°45'08.52819"W
 ELLIPSOID HEIGHT: ± 6233 sft
 (NOT 1A COORDINATES - SEE SEPARATE CERTIFICATION)
 HORZ. DATUM NAD83 VERT. DATUM NAVD88 [GEOID12]

GRID POSITION (SURVEY FT)
 NORTHING: 1414565.216sft
 EASTING: 2447094.203sft
 ELEVATION: ±6265 sft

PROJECT NAME:
VERIZON WIRELESS WY3 HERBIE

PROJECT ADDRESS:
 610 EAST BROADWAY AVE
 JACKSON CITY
 TETON COUNTY
 WYOMING

TITLE REPORT REVIEW CERTIFICATION
 THIS IS TO CERTIFY THAT THE LOCATABLE EASEMENTS LISTED IN SCHEDULE B PART II OF THAT CERTAIN COMMITMENT FOR TITLE INSURANCE ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY (COMMITMENT No. 4559-2783990) HAVE BEEN REVIEWED BY THE SURVEYOR. IF ANY OF THOSE EASEMENTS AFFECT THE VERIZON WIRELESS PROPOSED LEASE AREA(S) THEY ARE PLOTTED AND NOTED ACCORDINGLY HEREON.

DATE OF SURV.: 8/2/17

DESIGNED FOR:

3131 SOUTH VAUGHN WAY, SUITE 550
 AURORA, COLORADO 80018

DESIGNED BY:

AZ - CA - CO - ID - NM - NV - TX - UT

PARENT PARCEL OWNER:
 TETON COUNTY HOSPITAL DIST

CONTACT INFORMATION:
 PAUL BEAUPRE, CEO
 PHONE: 307-739-7404

PUBLIC RECORD PARCEL I.D.:
 22-41-16-34-1-11-003

DRIVING DIRECTIONS:
 HEAD NORTHEAST ON PROSPERITY RD TOWARD W 9500 S/WELLS PARK RD (0.6 MI), TURN RIGHT ONTO DANNON WAY (0.7 MI), TURN LEFT ONTO 5600 W/HAWLEY PARK RD (0.8 MI), TURN RIGHT ONTO UT-48 E (4.8 MI), USE THE LEFT 2 LANES TO TURN LEFT ONTO 1700 W/S REDWOOD RD (2.3 MI), USE THE RIGHT LANE TO TAKE THE RAMP ONTO I-215 N (0.3 MI), MERGE ONTO I-215 W(11.8 MI), TAKE EXIT 2 TO MERGE ONTO I-80 E TOWARD PARK CITY /CHEYENNE(73.8 MI), TAKE EXIT 5 FOR WY-150 N/WY-89 FRONT ST (0.3 MI), TURN LEFT ONTO WY-150N/WY-89/FRONT ST (0.5 MI), TURN RIGHT ONTO I-80BL/WY-89 N(12.1 MI), CONTINUE ONTO UT-18 N (29.0 MI), TURN RIGHT ONTO UT-30 E (4.0 MI), CONTINUE ONTO WY-89 N (4.1 MI), TURN LEFT ONTO US-30 W (29.6 MI), TURN RIGHT ONTO WY-89 (9.6 MI), CONTINUE ON ID-61 N (0.8 MI), TURN RIGHT ONTO US-89 N (65.3 MI), TURN RIGHT ONTO US-26 E/US-89 N (22.8 MI), AT THE TRAFFIC CIRCLE, TAKE THE 2ND EXIT ONTO US-189/US-191 N/US-26 E/US-89 N (13.3 MI), CONTINUE STRAIN ONTO E BROADWAY (0.6 MI)

I, James D. Pitkin, of Murray, Utah, do hereby certify that this Lease Area Map as prepared from field notes taken during an actual survey made under my direct supervision by CIS Professional Land Surveying, for whose work I stand personally responsible, on (7/3/17), that this map correctly shows the results of said survey and that this map represents the positions of the monuments and lines as found at the time of said survey; and that it is a correct and accurate representation of said survey to the best of my knowledge and belief.

Mona, UT
 (435)660-0816
 cory@cispls.com

PROFESSIONAL LAND SURVEYING
 JAMES D. PITKIN W89P.L.S. #10111 10/02/17

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REV.	DESCRIPTION	DATE	BY	CHK
A	90% PRELIMINARY FOR CLIENT REVIEW ONLY	10/02/17	CIS	CIS
B				
C				

SHEET TITLE:
 PARENT PARCEL AND SURVEY CONTROL OVERVIEW

ENLARGED LEASE AREA SITE PLAN

TCT SITE I.D.: VZW WY3 HERBIE

SHEET INFO.: Sheet 1 of 1 **SU1**

PREPARED FOR:

verizon9656 SOUTH PROSPERITY ROAD
WEST JORDAN, UTAH 84081

1A CERTIFICATION LETTER

FOR
VERIZON WIRELESS
FACILITY KNOWN AS:
WY3 HERBIE

TETON COUNTY, WYOMING

ELEVATION REPORT:

NAVD88 - GROUND ELEVATION: 6244 sft
[ELEVATION METERS]: 1903 m

LEGAL DESCRIPTION:

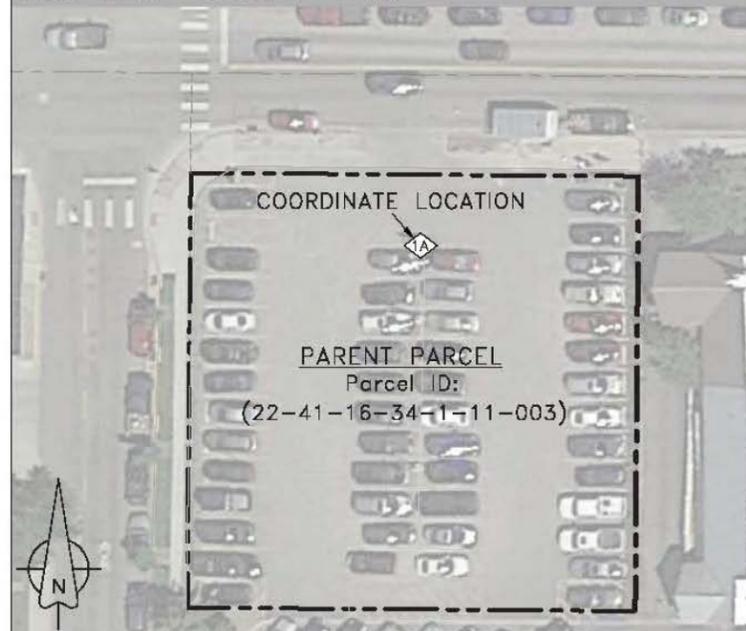
730.58 FEET S 89°32'56" E ALONG
THE SECTION LINE AND 51.70 FEET
SOUTH OF THE NORTH ¼ CORNER
OF SECTION 34 T.41N. R.116W.
6TH PRINCIPAL MERIDIAN, TETON
COUNTY WY.

SITE LOCATION:

SITE IS LOCATED AT:

610 E BROADWAY AVE
JACKSON CITY,
TETON COUNTY, WYOMING.

PLAN VIEW: SCALE 1" = 50'



VICINITY MAP



PROFILE VIEW LOOKING SOUTHWEST

BASIS OF GEODETIC COORDINATES:

(1) HORIZONTAL DATUM: NORTH AMERICAN DATUM OF 1983 (NAD83) [PRIMARY] EXPRESSED IN DEGREES (°) MINUTES (') AND SECONDS (") AND CARRIED TO THE 10,000TH OF A SECOND, AND ALSO EXPRESSED IN DEGREES AND DECIMAL DEGREES.

(2) VERTICAL DATUM: NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) EXPRESSED IN U.S. SURVEY FEET AND METERS (METER EQUIVALENT TO 39.37 INCHES).

(3) NAD83 GEODETIC DATA SHOWN HEREON WAS DERIVED FROM AND IS TIED TO THE NATIONAL GEODETIC SURVEY, NATIONAL C.O.R.S. VIA THE O.P.U.S. UTILITY AND OR TRIMBLE GEOMATICS SOFTWARE.

1A GEODETIC COORDINATES:

NAD 83: 43°28'46.38"N
110°44'58.62"W
DECIMAL DEGREES: 43.47955°N
110.749617°W

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THAT THE GEO-
DETTIC COORDINATES REPORTED
HEREON ARE ACCURATE AND
MEET FAA/FCC REPORTING RE-
QUIREMENTS OF 1A: FIFTEEN
FEET (15') HORIZONTALLY AND
THREE FEET (3') VERTICALLY.

DATE OF SURV.:

08/02/2017

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SOLE PROPERTY OF J5 INFRASTRUCTURE PARTNERS AND PRODUCED FOR
THE USE OF OUR CLIENT. ANY REPRODUCTION OR USE OF THE
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THE WRITTEN CONSENT BY J5 INFRASTRUCTURE PARTNERS.

PREPARED BY:

CISPROFESSIONAL LAND SURVEYING
WY P.L.S. #10111 09/25/2017295 N 200 E
MONA, UT 84645(435)660-0816
cory@cispls.com**J5 INFRASTRUCTURE**
P A R T N E R S

AZ - CA - CO - ID - NM - NV - TX - UT

JAMES D. PITKIN

DESIGNED FOR:

verizon3131 SOUTH VAUGHN WAY, SUITE 550
AURORA, COLORADO 80018THESE DRAWINGS AND SURVEYS ARE COPYRIGHT
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AZ - CA - CO - ID - NM - NV - TX - UT

REV	DESCRIPTION	DATE	BY	CHK
A	PRELIMINARY - FOR LEASING & ZONING	9/7/17	MDA	-
B	REVISED PER COMMENTS	9/5/17	MDA	-
C	REVISED PER COMMENTS	9/7/17	MDA	-
D	REVISED PER COMMENTS	9/28/17	MDA	-
E	REVISED PER COMMENTS	10/6/17	MDA	-

DESIGNED BY:

PRELIMINARY
FOR LEASING/ZONING

PROJECT NAME:

WY3 HERBIE
PROPOSED 27'-0" LIGHT POLE
(OVERALL HEIGHT: 30'-0" A.G.L.)
RAW LAND INSTALLATION PROJECT

PROJECT ADDRESS:

610 E. BROADWAY AVENUE
JACKSON, WY 83001
TETON COUNTY

SHEET TITLE:

1A CERTIFICATION LETTER

SAVE DATE:

10/6/2017 8:40 AM

SHEET NUMBER:

SU2

- SITE NOTES:**
1. PRIOR TO EXCAVATION, CONTRACTOR SHALL CHECK THE AREA FOR UNDERGROUND FACILITIES.
 2. INFORMATION SHOWN BELOW FOR DEPICTION PURPOSES ONLY. ALL DATA GATHERED FROM PUBLIC RECORDS AND GENERATED FROM AERIAL IMAGES AND SITE VISITS. INFORMATION DOES NOT CONSTITUTE A LEGAL BOUNDARY SURVEY AND SHOULD NOT BE USED FOR SURVEYING OR OTHER RELATED PURPOSES.

NOTE:



TO BE REMOVED AND DISPOSED OF IN A LEGAL MANNER.

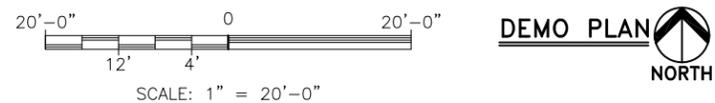
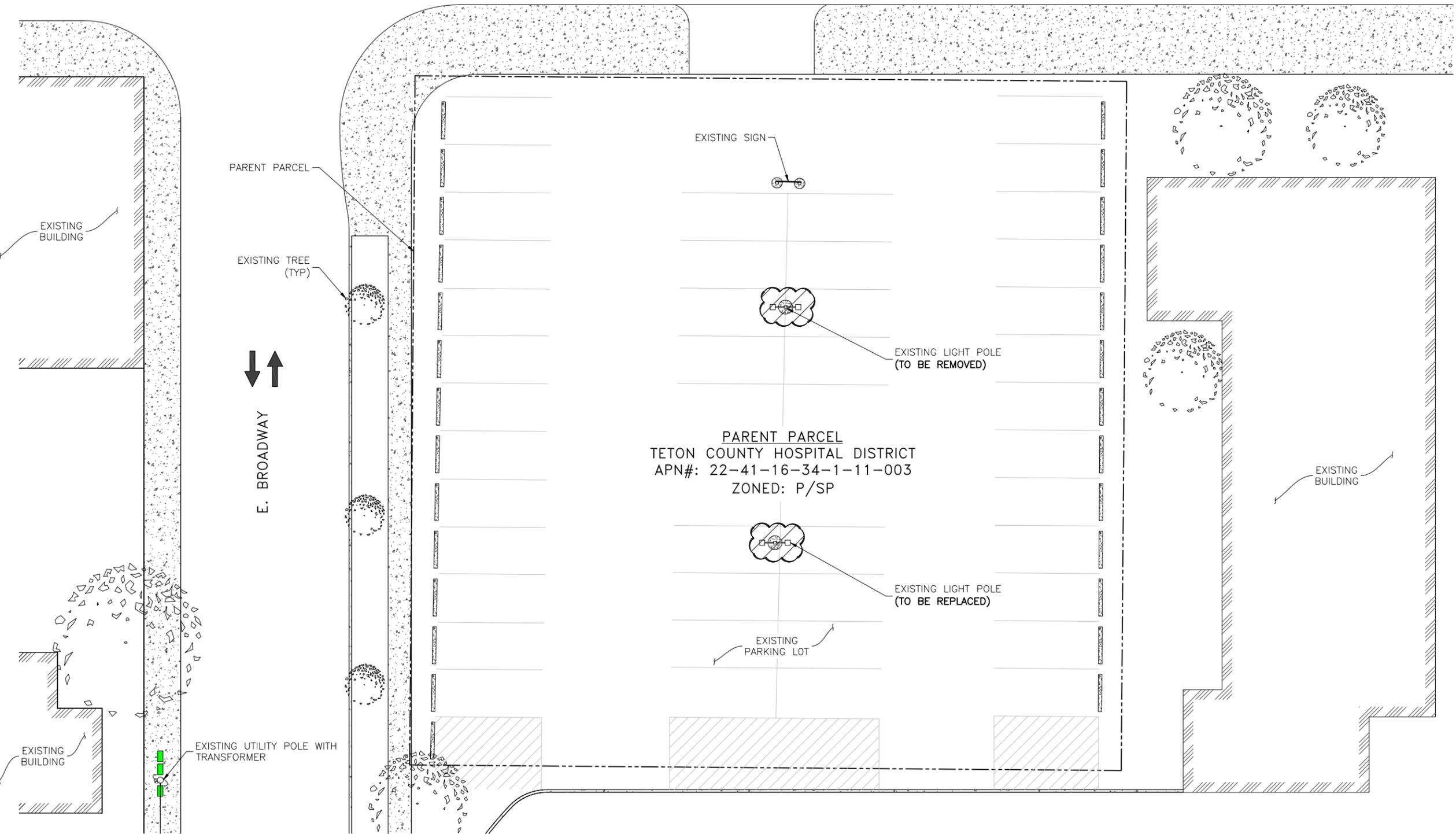
DESIGNED FOR:
verizon
 3131 SOUTH VAUGHN WAY, SUITE 550
 AURORA, COLORADO 80018

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J5 INFRASTRUCTURE PARTNERS		DATE	CHK
		BY	MDA
REV	DESCRIPTION	DATE	CHK
A	PRELIMINARY - FOR LEASING & ZONING	9/7/17	MDA
B	REVISED PER COMMENTS	9/5/17	MDA
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D	REVISED PER COMMENTS	9/28/17	MDA
E	REVISED PER COMMENTS	10/6/17	MDA

AZ - CA - CO - ID - NM - NV - TX - UT

PENETRATIONS
 RRR/BBU
 ANTENNAS
 FIBER
 POWER/GROUNDING
 HYBRID/COAX



DESIGNED BY:

PRELIMINARY FOR LEASING & ZONING

PROJECT NAME:
WY3 HERBIE
 PROPOSED 27'-0" LIGHT POLE
 (OVERALL HEIGHT: 30'-0" A.G.L.)
 RAW LAND INSTALLATION PROJECT

PROJECT ADDRESS:
**610 E. BROADWAY AVENUE
 JACKSON, WY 83001
 TETON COUNTY**

SHEET TITLE:
DEMO PLAN

SAVE DATE:
 10/6/2017 8:40 AM

SHEET NUMBER:
Z1

PENETRATIONS
 RRR/BBU
 ANTENNAS
 FIBER
 POWER/GROUNDING
 HYBRID/COAX

SITE NOTES:

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SETBACK TABLE:

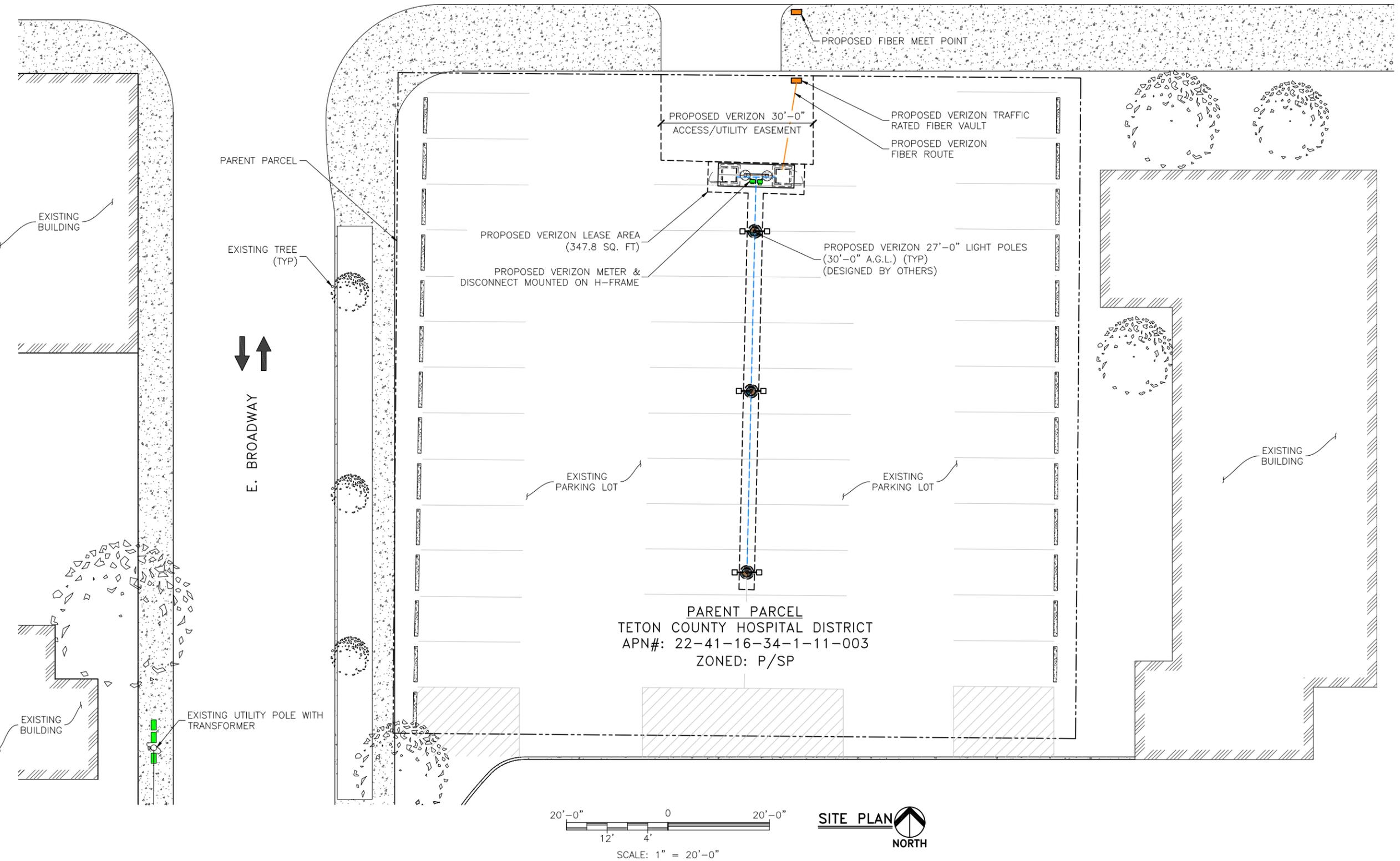
	LIGHT POLE TO PARENT PROPERTY LINE
NORTH	~31'
SOUTH	~32'
EAST	~64'
WEST	~70'

DESIGNED FOR:
verizon
 3131 SOUTH VAUGHN WAY, SUITE 550
 AURORA, COLORADO 80018

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J5 INFRASTRUCTURE PARTNERS
 AZ - CA - CO - ID - NM - NV - TX - UT

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E	REVISED PER COMMENTS	10/6/17	MDA	-



PRELIMINARY FOR LEASING & ZONING

PROJECT NAME:
WY3 HERBIE
 PROPOSED 27'-0" LIGHT POLE
 (OVERALL HEIGHT: 30'-0" A.G.L.)
 RAW LAND INSTALLATION PROJECT

PROJECT ADDRESS:
610 E. BROADWAY AVENUE
JACKSON, WY 83001
TETON COUNTY

SHEET TITLE:
SITE PLAN

SAVE DATE:
 10/6/2017 8:40 AM

SHEET NUMBER:
22

PENETRATIONS

RRH/BBU

ANTENNAS

FIBER

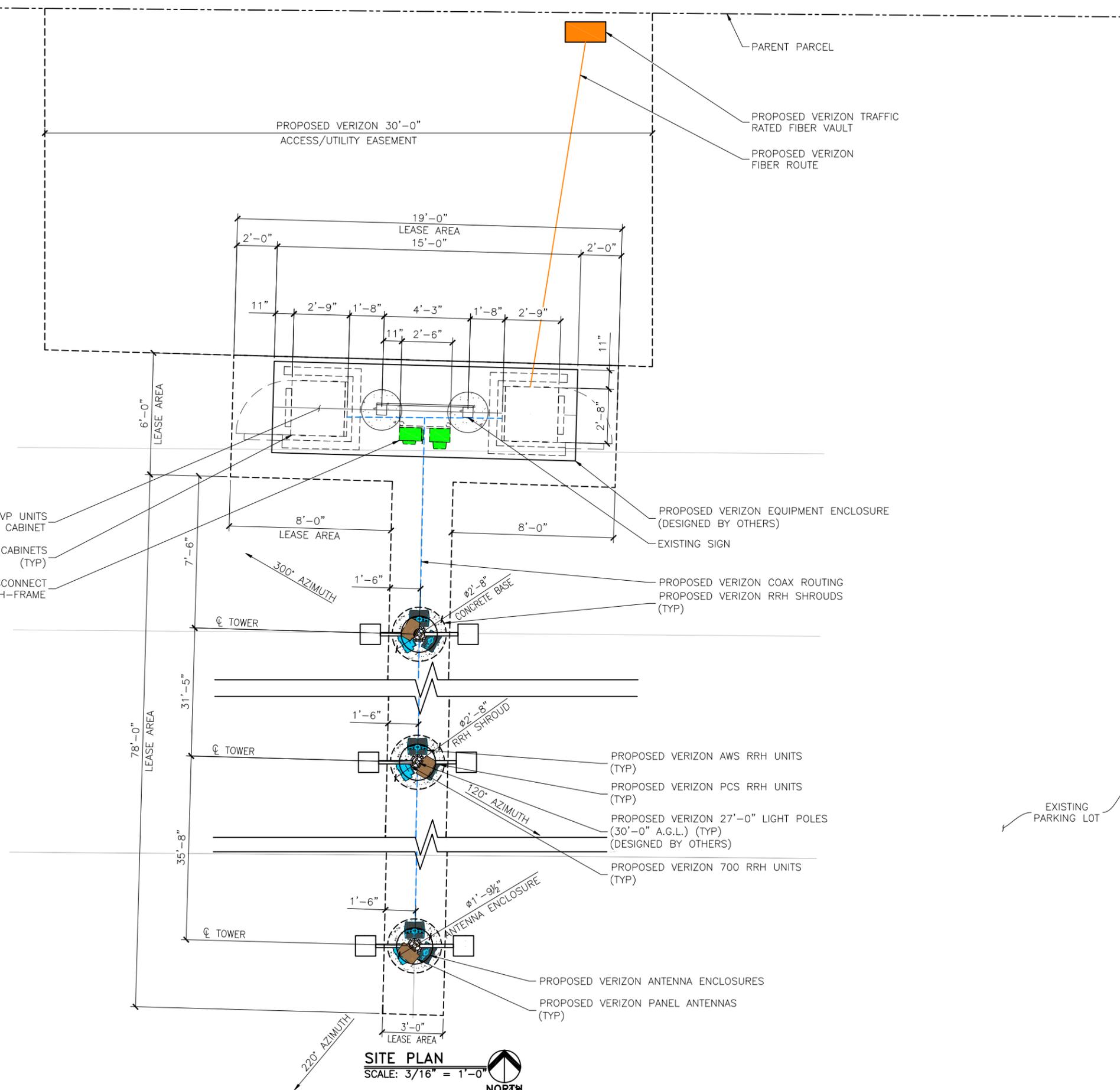
POWER/GROUNDING

HYBRID/COAX

SITE NOTES:

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PARENT PARCEL
 TETON COUNTY HOSPITAL DISTRICT
 APN#: 22-41-16-34-1-11-003
 ZONED: P/SP



DESIGNED FOR:
verizon
 3131 SOUTH VAUGHN WAY, SUITE 550
 AURORA, COLORADO 80018

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J5 INFRASTRUCTURE PARTNERS
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PRELIMINARY FOR LEASING/ZONING

PROJECT NAME:
WY3 HERBIE
 PROPOSED 27'-0" LIGHT POLE
 (OVERALL HEIGHT: 30'-0" A.G.L.)
 RAW LAND INSTALLATION PROJECT

PROJECT ADDRESS:
 610 E. BROADWAY AVENUE
 JACKSON, WY 83001
 TETON COUNTY

SHEET TITLE:
ENLARGED SITE PLAN

SAVE DATE:
 10/6/2017 8:40 AM

SHEET NUMBER:
Z3

PENETRATIONS

RRH/BBU

ANTENNAS

FIBER

POWER/GROUNDING

HYBRID/COAX

KEY:

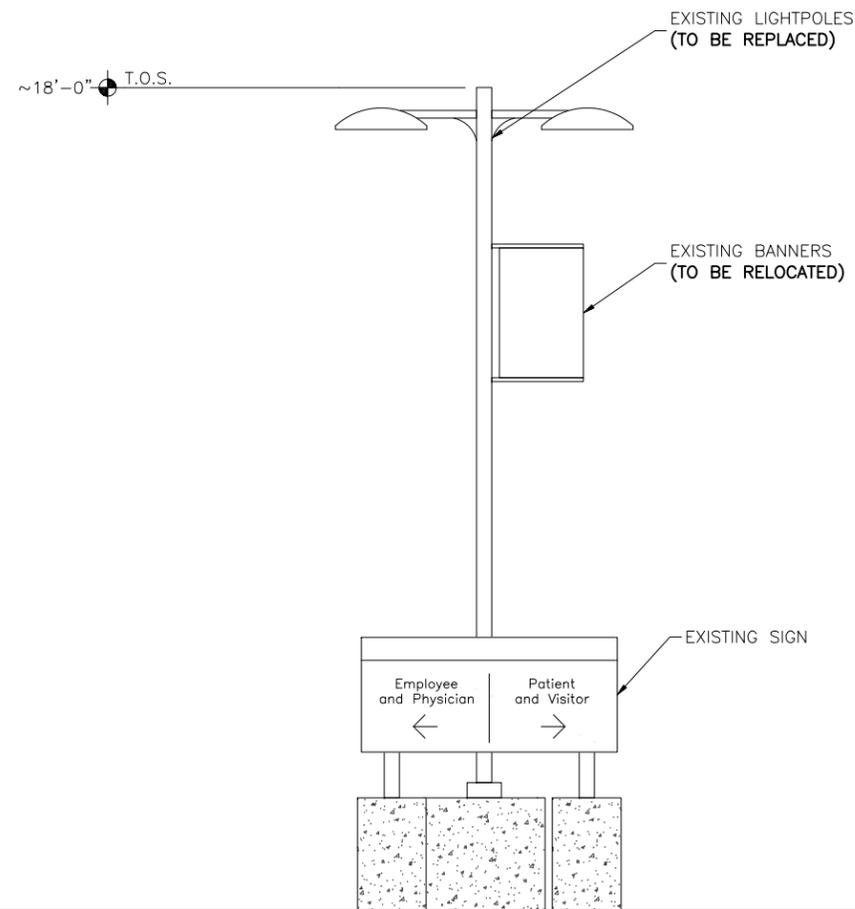
C.O.R. =	CENTER OF RADIATION
A.L. =	ATTACHMENT LEVEL
B.T. =	BOTTOM TIP LEVEL
T.T. =	TOP TIP LEVEL
A.G.L. =	ABOVE GRADE LEVEL
B.O.B.P. =	BOTTOM OF BASE PLATE

DESIGNED FOR:
verizon
 3131 SOUTH VAUGHN WAY, SUITE 550
 AURORA, COLORADO 80018

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J5 INFRASTRUCTURE
 PARTNERS
 AZ - CA - CO - ID - NM - NV - TX - UT

REV	DESCRIPTION	DATE	BY	CHK
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D	REVISED PER COMMENTS	9/28/17	MDA	-
E	REVISED PER COMMENTS	10/6/17	MDA	-



EXISTING NORTH ELEVATION
 SCALE: N.T.S.

PRELIMINARY
 FOR LEASING/ZONING

PROJECT NAME:
WY3 HERBIE
 PROPOSED 27'-0" LIGHT POLE
 (OVERALL HEIGHT: 30'-0" A.G.L.)
 RAW LAND INSTALLATION PROJECT

PROJECT ADDRESS:
**610 E. BROADWAY AVENUE
 JACKSON, WY 83001
 TETON COUNTY**

SHEET TITLE:
EXISTING ELEVATION

SAVE DATE:
 10/6/2017 8:40 AM

SHEET NUMBER:
Z4

PENETRATIONS

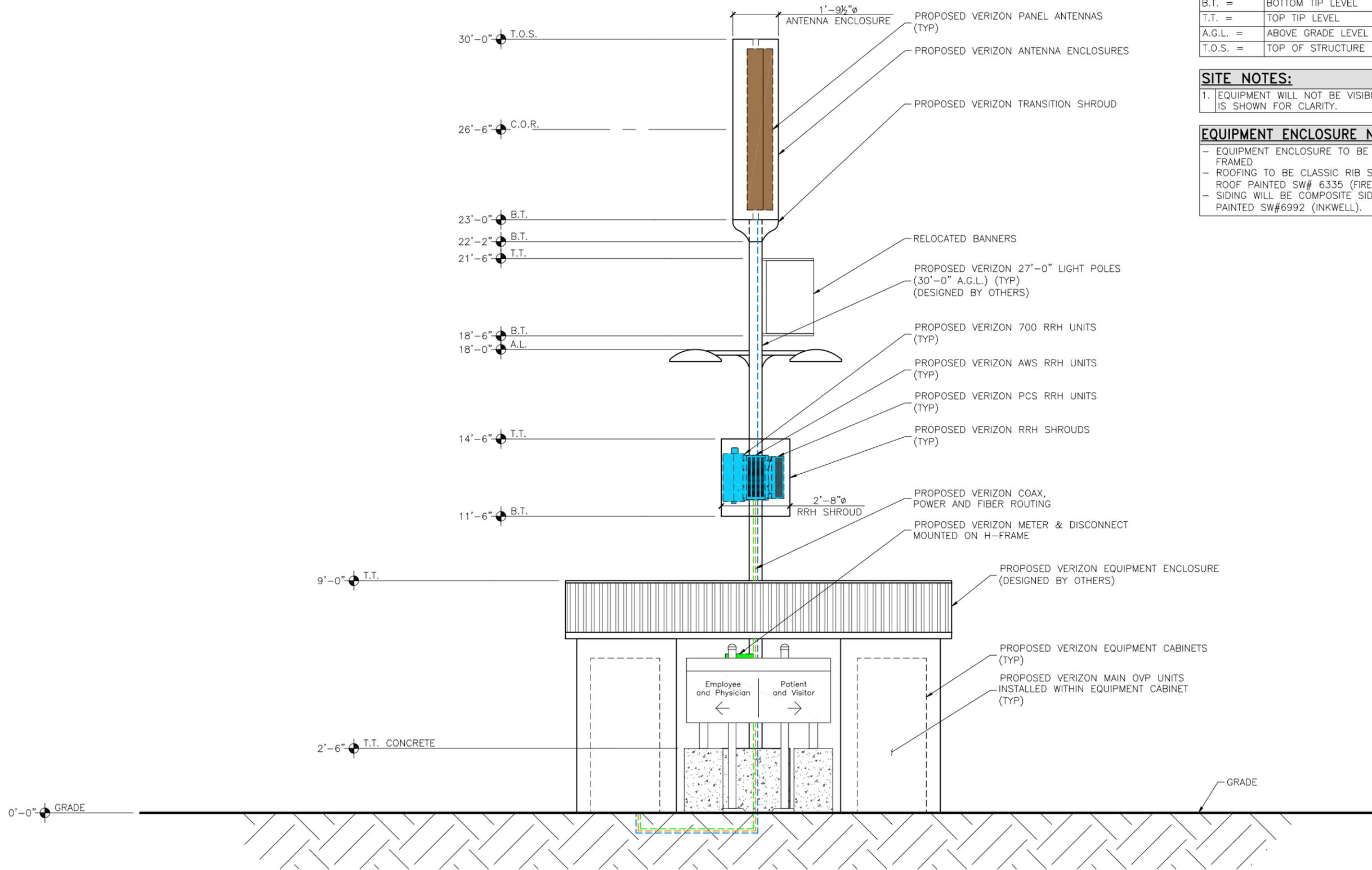
RRH/BBU

ANTENNAS

FIBER

POWER/GROUNDING

HYBRID/COAX



KEY:

C.O.R. =	CENTER OF RADIATION
A.L. =	ATTACHMENT LEVEL
B.T. =	BOTTOM TIP LEVEL
T.T. =	TOP TIP LEVEL
A.G.L. =	ABOVE GRADE LEVEL
T.O.S. =	TOP OF STRUCTURE

SITE NOTES:

- EQUIPMENT WILL NOT BE VISIBLE AND IS SHOWN FOR CLARITY.

EQUIPMENT ENCLOSURE NOTES:

- EQUIPMENT ENCLOSURE TO BE WOOD FRAMED
- ROOFING TO BE CLASSIC RIB STEEL ROOF PAINTED SW# 6335 (FIRED BRICK).
- SIDING WILL BE COMPOSITE SIDING PAINTED SW#6992 (INKWELL).

DESIGNED FOR:

3131 SOUTH VAUGHN WAY, SUITE 550
AURORA, COLORADO 80018

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J5 INFRASTRUCTURE PARTNERS
AZ - CA - CO - ID - NM - NV - TX - UT

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DESIGNED BY:

PRELIMINARY FOR LEASING/ZONING

PROJECT NAME:
WY3 HERBIE
PROPOSED 27'-0" LIGHT POLE
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RAW LAND INSTALLATION PROJECT

PROJECT ADDRESS:
**610 E. BROADWAY AVENUE
JACKSON, WY 83001
TETON COUNTY**

SHEET TITLE:
PROPOSED ELEVATION

SAVE DATE:
10/6/2017 8:40 AM

SHEET NUMBER:
Z5

PROPOSED NORTH ELEVATION
SCALE: N.T.S.

PENETRATIONS

RRH/BBU

ANTENNAS

FIBER

POWER/GROUNDING

HYBRID/COAX

KEY:

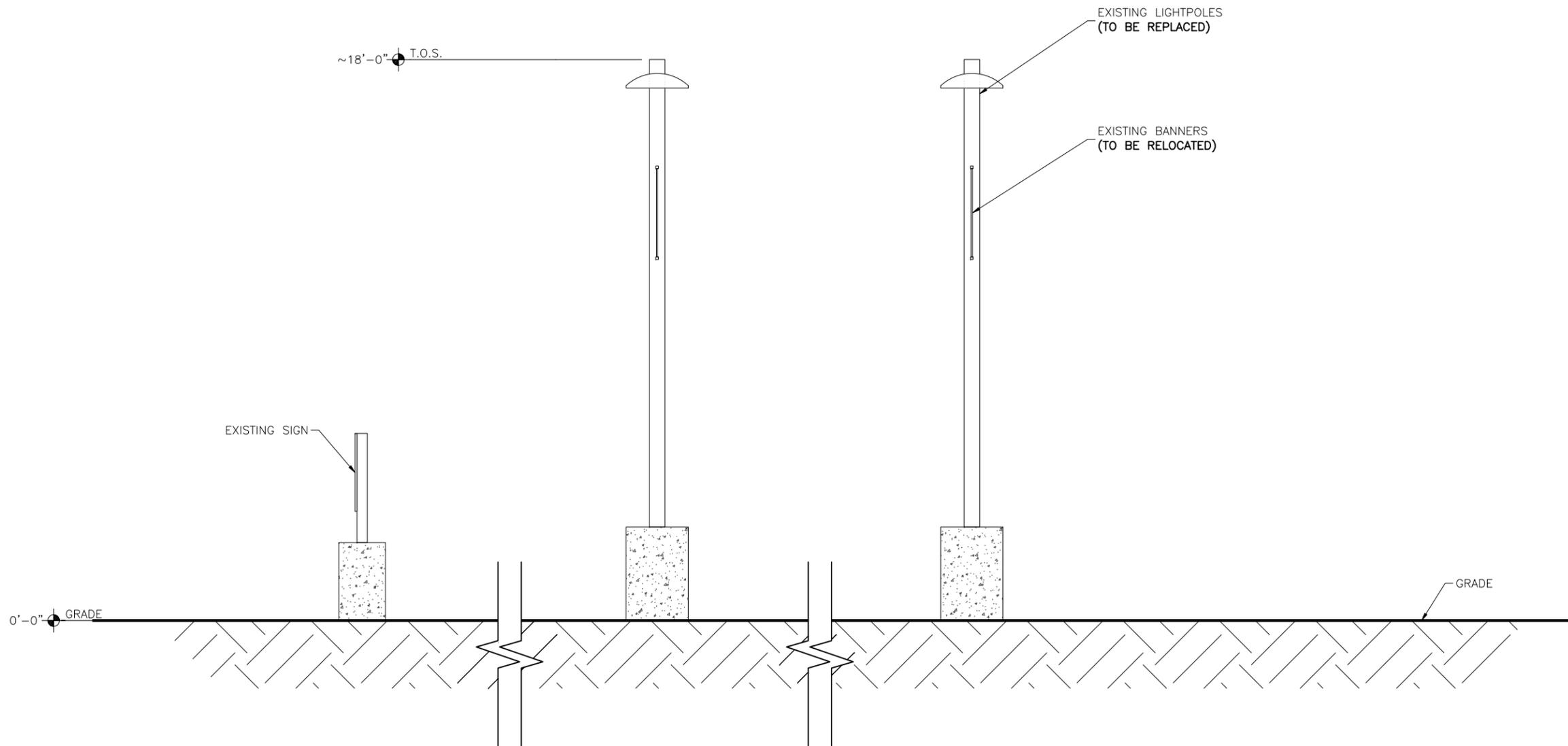
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B.O.B.P. =	BOTTOM OF BASE PLATE

DESIGNED FOR:
verizon
 3131 SOUTH VAUGHN WAY, SUITE 550
 AURORA, COLORADO 80018

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J5 INFRASTRUCTURE
 PARTNERS
 AZ - CA - CO - ID - NM - NV - TX - UT

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D	REVISED PER COMMENTS	9/28/17	MDA	-
E	REVISED PER COMMENTS	10/6/17	MDA	-



EXISTING WEST ELEVATION
 SCALE: N.T.S.

DESIGNED BY:

PRELIMINARY
 FOR LEASING/ZONING

PROJECT NAME:
WY3 HERBIE
 PROPOSED 27'-0" LIGHT POLE
 (OVERALL HEIGHT: 30'-0" A.G.L.)
 RAW LAND INSTALLATION PROJECT

PROJECT ADDRESS:
**610 E. BROADWAY AVENUE
 JACKSON, WY 83001
 TETON COUNTY**

SHEET TITLE:
EXISTING ELEVATION

SAVE DATE:
 10/6/2017 8:40 AM

SHEET NUMBER:
Z6

PENETRATIONS

RRH/BBU

ANTENNAS

FIBER

POWER/GROUNDING

HYBRID/COAX

KEY:

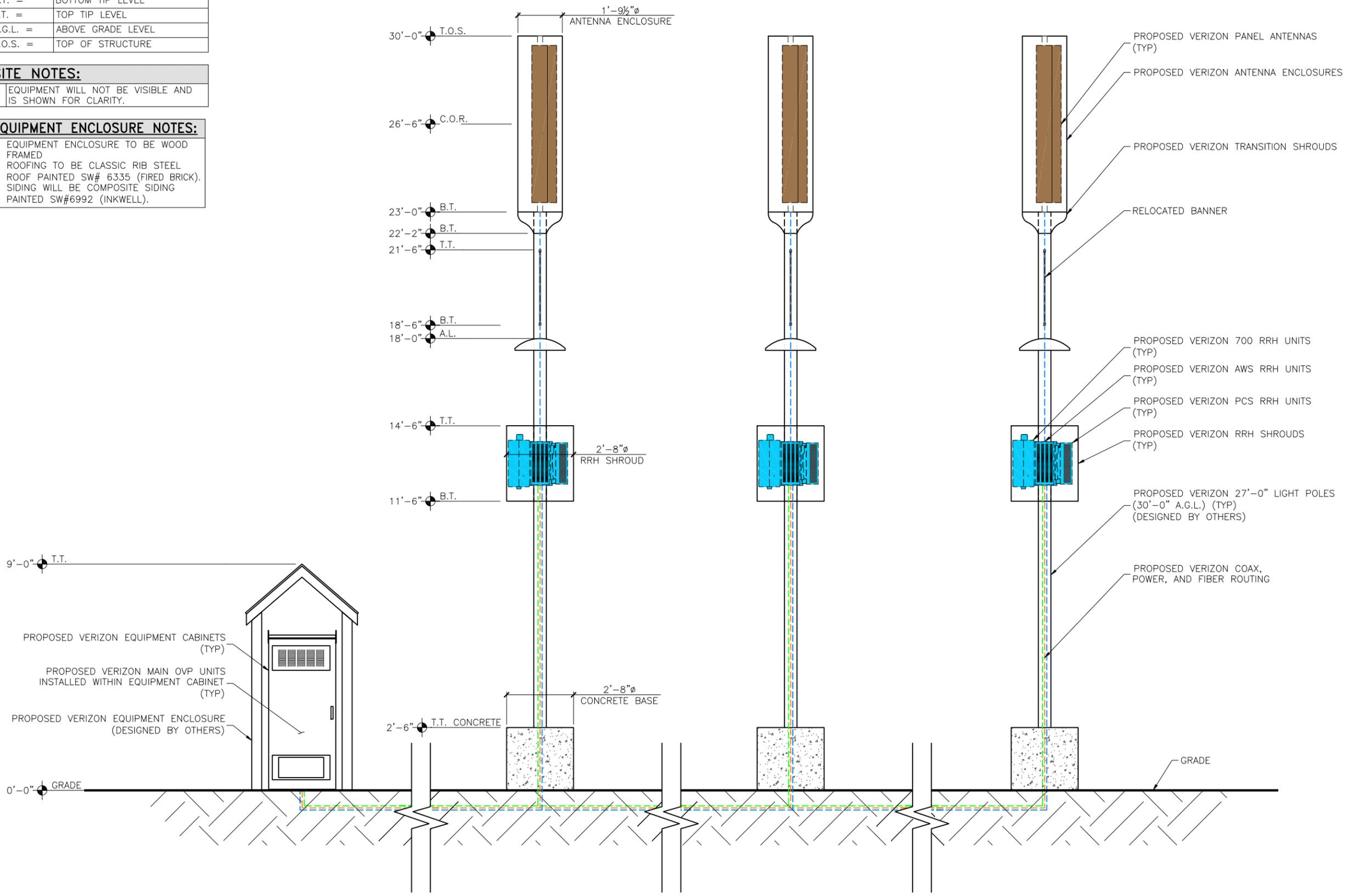
C.O.R. =	CENTER OF RADIATION
A.L. =	ATTACHMENT LEVEL
B.T. =	BOTTOM TIP LEVEL
T.T. =	TOP TIP LEVEL
A.G.L. =	ABOVE GRADE LEVEL
T.O.S. =	TOP OF STRUCTURE

SITE NOTES:

1. EQUIPMENT WILL NOT BE VISIBLE AND IS SHOWN FOR CLARITY.

EQUIPMENT ENCLOSURE NOTES:

- EQUIPMENT ENCLOSURE TO BE WOOD FRAMED
- ROOFING TO BE CLASSIC RIB STEEL ROOF PAINTED SW# 6335 (FIRED BRICK).
- SIDING WILL BE COMPOSITE SIDING PAINTED SW#6992 (INKWELL).



PROPOSED WEST ELEVATION
SCALE: N.T.S.

DESIGNED FOR:

3131 SOUTH VAUGHN WAY, SUITE 550
AURORA, COLORADO 80018

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REV	DESCRIPTION	DATE	BY	CHK
A	PRELIMINARY - FOR LEASING & ZONING	9/7/17	MDA	-
B	REVISED PER COMMENTS	9/5/17	MDA	-
C	REVISED PER COMMENTS	9/7/17	MDA	-
D	REVISED PER COMMENTS	9/28/17	MDA	-
E	REVISED PER COMMENTS	10/6/17	MDA	-

DESIGNED BY:

PROJECT NAME:
WY3 HERBIE
PROPOSED 27'-0" LIGHT POLE
(OVERALL HEIGHT: 30'-0" A.G.L.)
RAW LAND INSTALLATION PROJECT

PROJECT ADDRESS:
**610 E. BROADWAY AVENUE
JACKSON, WY 83001
TETON COUNTY**

SHEET TITLE:
PROPOSED ELEVATION

SAVE DATE:
10/6/2017 8:40 AM

SHEET NUMBER:
27

WY3 HERBIE

PHOTO SIMULATION REV_3



SITE ADDRESS:

610 E. BROADWAY AVE..
JACKSON, WY, 83001

43°28'46.37" N
110°44'58.61" W



WY3 HERBIE

PHOTO SIMULATION REV_3



Disclaimer: These photographic simulations have been provided to aid in visualizing how the proposed wireless telecommunications facility shown herein would appear if constructed. While these renderings are not an exact science, they have been prepared diligently to accurately reflect dimensions, scale, depth, coloring, texture, and other important elements in the proposed design insofar as the digital medium allows. Taken together with the engineering drawings and other materials submitted with the application, they are fair and reasonable visual depictions of how the proposed site would appear.

SITE ADDRESS:

610 E. BROADWAY AVE.
JACKSON, WY, 83001

43°28'46.37" N
110°44'58.61" W





TOWN OF JACKSON TOWN COUNCIL AGENDA DOCUMENTATION

PREPARATION DATE: FEBRUARY 1, 2018
MEETING DATE: FEBRUARY 5, 2018

SUBMITTING DEPARTMENT: PLANNING
DEPARTMENT DIRECTOR: TYLER SINCLAIR
PRESENTER: PAUL ANTHONY

SUBJECT: **ITEM P17-213 & P17-214:** DEVELOPMENT PLAN FOR 96-ROOM HOTEL/MIXED-USE BUILDING AND CONDITIONAL USE PERMIT FOR A DORMITORY.

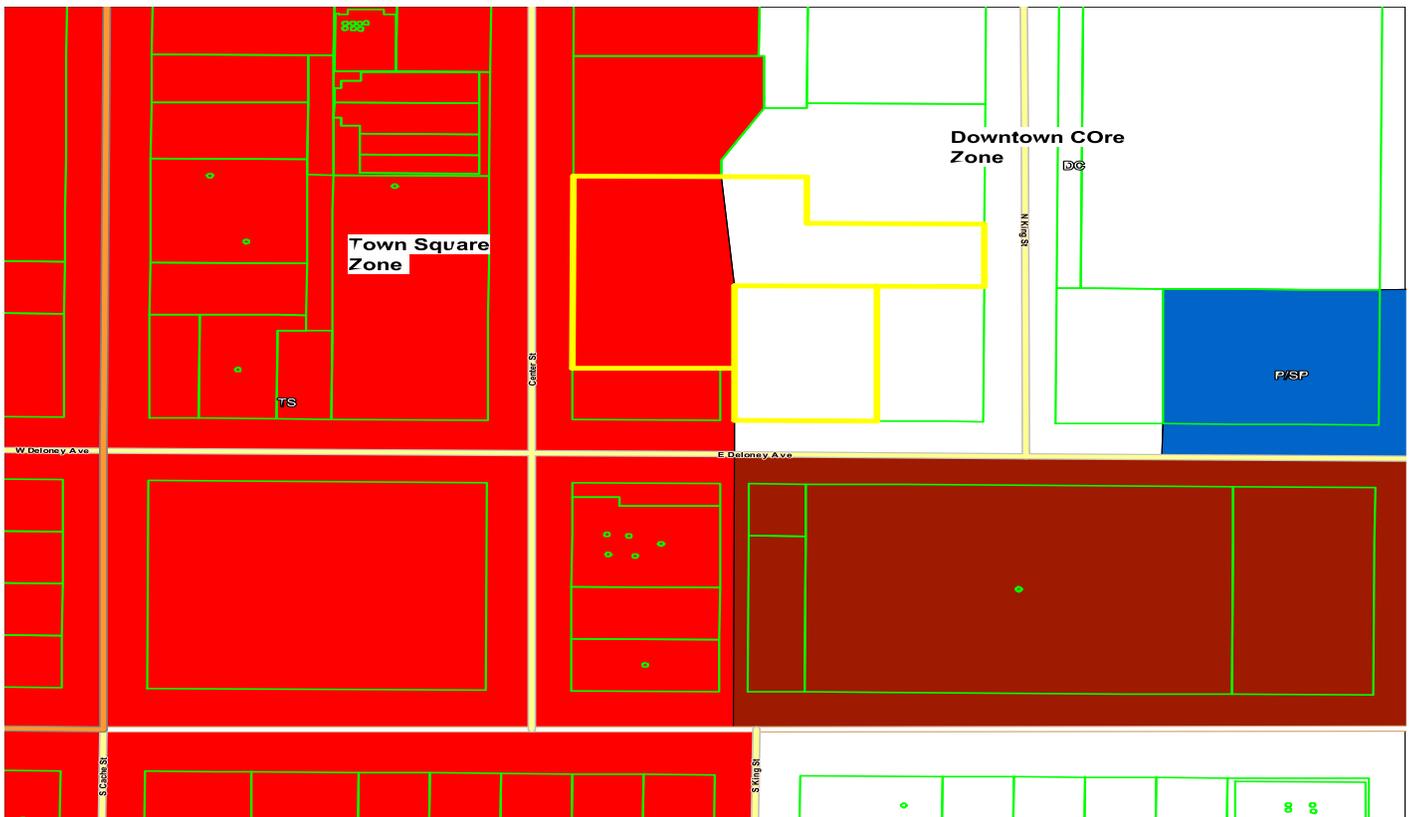
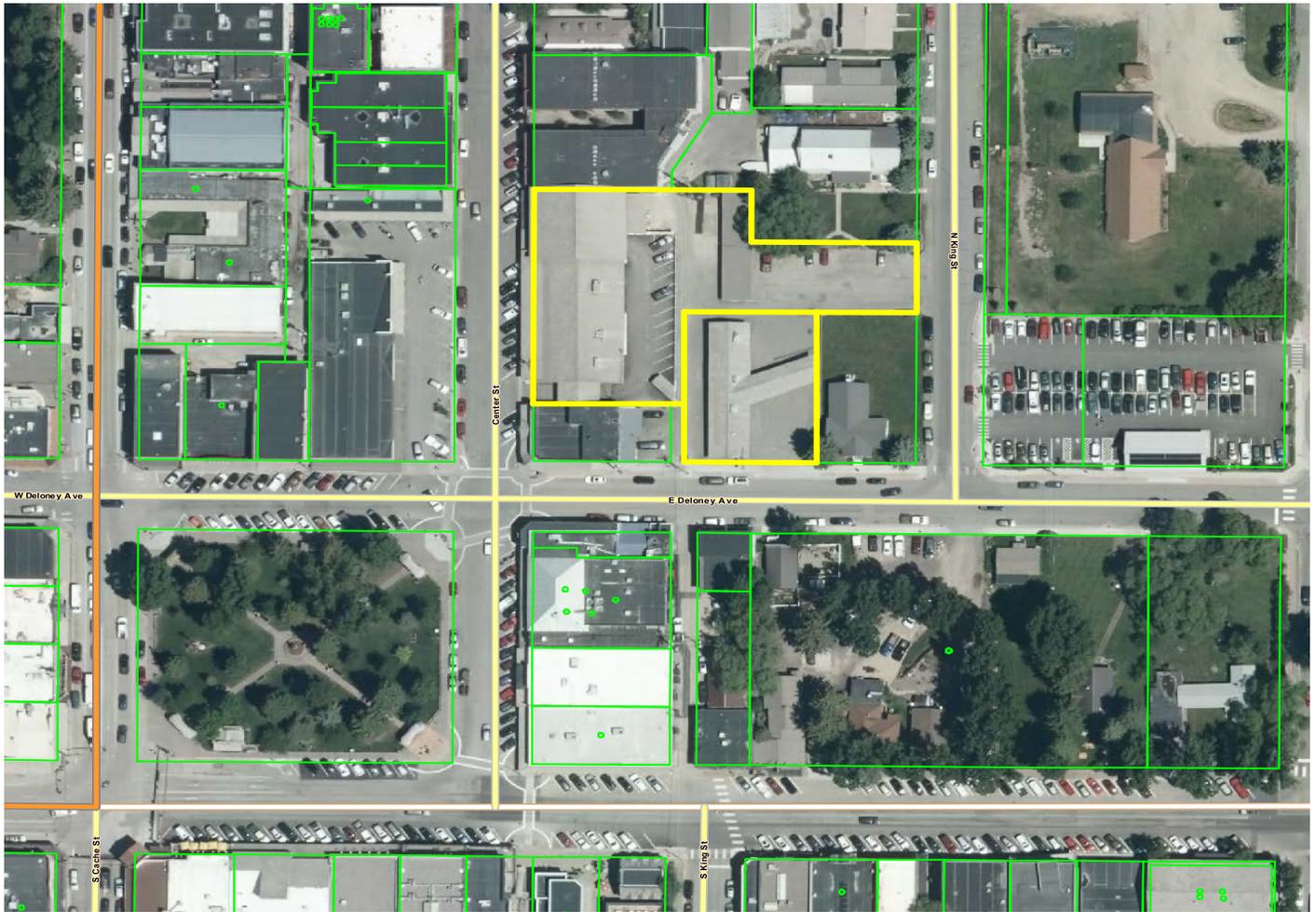
APPLICANT: CHRYSTAL CREEK CAPITAL REAL ESTATE ADVISORS

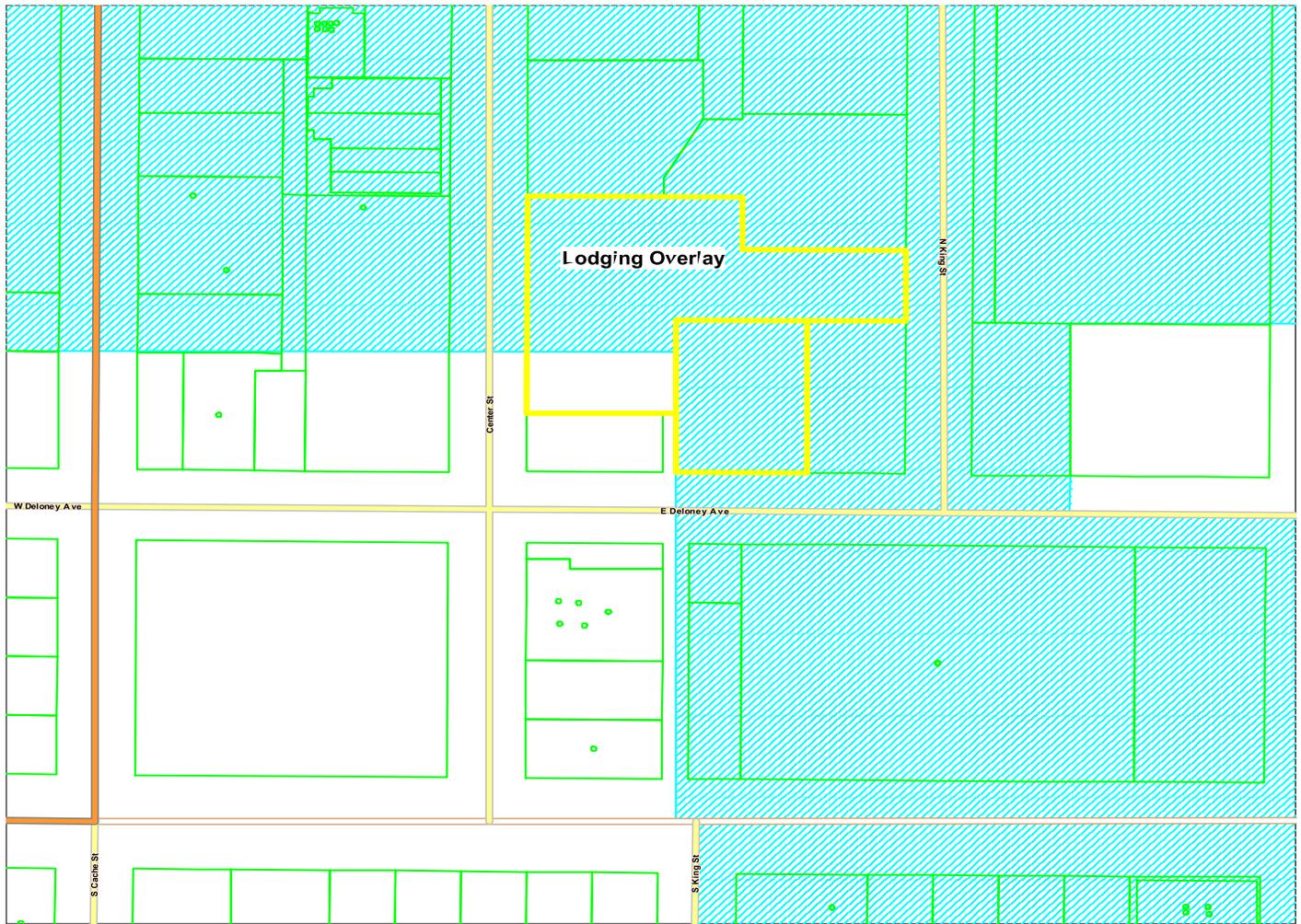
PURPOSE/REQUESTED ACTION

The applicant is requesting approval of a Development Plan for a 96-room hotel, restaurant/bar, retail, and employee housing project totaling 75,887 sf on properties located at 112 Center Street and 165 East Deloney Avenue. In addition, the applicant is requesting approval of a Conditional Use Permit (CUP) to allow a Dormitory use.

LOCATION

The property is located at 112 Center Street, legally known as LOTS 2-3-4- 5 BLK. 3, Clubhouse, PT SW1/4SW1/4 Section 27, Township 41, Range 116, and 165 East Deloney Avenue, legally known as LOTS 8-9, BLK. 1, Van Vleck - 2. An aerial photo and zoning map are shown below:





BACKGROUND

The subject project is currently occupied by the Wells Fargo bank and the additional tenant recently vacated by the Jackson Hole Chamber of Commerce. It is a total of 1.08 acres and has a unique shape that includes three street frontages – Center Street, Deloney Avenue, and King Street. The Center Street frontage is considered by staff to be the primary street frontage because it is the longest and most visible and connected to the Town Square area. In addition, the property is split zoned with the western portion zoned Town Square (TS) and the eastern and southern portions zoned Downtown Core (DC). The property is located in the Lodging Overlay (LO) except for a southern 50' x 110' portion of the 112 Center Street property.

There is a drop in elevation of approximately 8' from the west to east side of the property, mostly contained within a single topographical bench where parking is currently tucked under the existing Wells Fargo building. The applicant. Properties to the north of the subject site have private easements that extend from the alley, across the applicant's property, and then to the circulation and parking areas of those properties. This large variety of interrelated zoning, topographical, easements, and access issues creates a complex set of circumstances that the project must balance and address.

The Town has a dead-end, narrow alley ROW (10' wide x 235' long) that extends north from Deloney Avenue and provides access to the interior circulation area of the site. The applicant has submitted to the Town a Petition to Vacate the alley and replace the alley access with a new 25' wide easement from King Street. The Town Council approved the requested vacation of the alley on January 16, 2018, but the vacation still needs to pass three ordinance readings before it is fully approved. Because a number of outstanding

issues remain to be addressed (e.g., the need for an appraisal) the item has not been scheduled yet for first reading (see more below for details on this item).

A Sketch Plan was approved by the Council for this project, including a Conditional Use Permit to allow a building of up to 35,000 square feet in the Town Square Zone, on April 17, 2017. The Sketch Plan approval included the following nine conditions of approval:

- 1) The applicant shall address comments from the DRC and staff and present the project to the DRC prior to Development Plan approval.
- 2) If the five valet parking spaces within the Center Street ROW are approved for the exclusive use of the hotel, the applicant shall provide the Town the required consideration prior to building permit approval.
- 3) The applicant shall submit with the Development Plan a draft deed-restriction to meet the employee housing mitigation requirement for the project that is approved by Housing Department.
- 4) The applicant shall obtain approval for any encroachment of the sidewalk canopies into the Center Street ROW prior to approval of the Development Plan.
- 5) The applicant shall obtain approval for any encroachments or easements into the Town alley, or vacation of the alley, prior to approval of the Development Plan.
- 6) The applicant shall ensure through the provision of necessary easements and/or other instruments that all existing vehicular access rights through the applicant's property for adjacent properties shall be protected, if not improved, as part of the final design of the project.
- 7) The vehicular entrances on Deloney Avenue and King Street shall provide adequate clearance heights for the Fire Marshall.
- 8) As part of the Development Plan submittal, the east-facing and south-facing facades on the Deloney building that are shown as 10' from the property line shall be revised to provide architectural elements at 5' from the property line to meet the LDRs.
- 9) Any dormitory proposed for employee housing shall require the submittal of a CUP as part of the Development Plan.

As explained in this staff report, the applicant has either met all of the conditions of approval or the condition has been carried forward to the Development Plan because it is a condition that can only be met in the future.

Project Description

NOTE: This project description assumes that the applicant's proposed alley vacation will be approved by the Council after the three required ordinance readings.

Overview: The request is to remove all existing buildings on the Wells Fargo site and replace them with a 96-room hotel that includes a restaurant/bar, two retail spaces, and employee housing. No variances or administrative adjustments are requested as part of this application. Instead, the project is designed to meet the base development standards of the applicable zones.

In summary, the project includes the following:

- 62,906 sf hotel with 96 rooms
- 3,251 sf restaurant (not including 500 sf outdoor dining on Center Street)
- 3,421 sf conference space
- 1,417 sf of retail in two different tenant spaces
- 4,892 sf of employee housing (including 230 sf of interior corridors/stairwells)

- **Total Size: 75,887 sf**

The hotel will be divided into two buildings — one facing Center Street that is in the TS zone and another building facing Deloney Ave. and King Street that is in the DC zone. These two buildings would be connected by an enclosed ground-level walkway to provide guests indoor access between the buildings. In terms of layout, the building facing Center Street will be two and three stories, with a restaurant and retail space located on the first level, the conference room on the second level, and hotels rooms on the second and third level. The portion of the Center Street building that is not in the LO (see map above) is two stories because three stories are only allowed in the LO. The restaurant will have about 500 sf of outdoor seating area. The third floor will be stepped back 10' in an effort to be consistent with the new District 2 requirements even though it is not located in District 2 (see below for more discussion on the application of District 2 standards to the Center Street building). The main entrance to the hotel will be on Center Street.

The building facing Deloney and King Street (“Deloney building”) is located in the DC zone and District 2 and so is required to meet the new DC standards. The Deloney building will be a maximum of 37.5' tall on the Deloney frontage and 26' tall on the King Street frontage. A few hotel rooms and a small retail space will front the Deloney frontage. The pedestrian entrance to the employee housing units and the vehicular entrance to the hotel and public access easement (i.e., relocated ‘alley’) will face the King Street frontage.

Primary changes to the project from Sketch Plan approval:

- Hotel rooms: Reduced from 98 to 96 rooms.
- Alley: The existing 10'–wide Town alley would be vacated (assuming Petition to Vacate alley obtains final approval) and replaced with a 25'-wide access easement accessed from King Street. Previously; both the current alley and access easement were intended to provide vehicular and pedestrian access.
- Location of uses on Center Street: The location of the hotel lobby, restaurant, and retail space off Center Street have been modified so that now the lobby is closest to the Town Square, the restaurant is in the middle, and the retail space is to the north (previously the order was retail, lobby restaurant from south to north);
- Retail uses: The number of individual retail spaces has been reduced from 3 to 2 (the King Street retail space has been eliminated);
- Architecture:
 - Center Street façade: The building façade on Center Street has been modified from the 3 large stone ‘frames’ to 3 smaller stone frames on the north portion and a new stone design on the southern portion of the building. See DRC section for more detail. In addition, the roof overhangs on portions of the building have been eliminated to provide a more western character.
 - King Street façade: The retail space has been removed and so the façade now covers a stairwell used for the employee housing.
 - Outdoor deck: The rooftop deck is proposed to be extended to the south onto the top of the adjacent Wells Fargo building if possible.
- Location of pool: The pool was previously located on the second level near the King Street frontage but is now proposed at ground level in the center of the site where the alley is currently located;
- Parking: The number of parking spaces has been reduced from 87 to 77 spaces;
- Employee housing: The amount of employee housing has been reduced from 6,136 sf to 4,892 sf. In addition, two dormitory units have been added.

Parking: The project will include 77 on-site parking spaces located within an enclosed underground garage. 40 of the spaces will be tandem parking and use valet parking. The only access to the hotel parking will be from King Street via a 25'-wide partially covered access way. All parking for the hotel will be done by

valets. The valet service would be provided at the main hotel entrance on Center Street for guests during check-in and check-out. In order to facilitate the valet parking, the applicant is requesting to reserve in some manner (i.e., buy/lease/reserve with signage) 5 angled on-street parking spaces on Center Street in front of the hotel lobby entrance.

Sidewalks: The applicant will reconstruct and improve the existing sidewalk on Center Street to eliminate the current grade changes (steps) and will provide a 13' wide pedestrian frontage from the curb to the face of the building. An 8'-wide covered walkway (without supporting columns) will be provided along the entire Center Street frontage. The applicant will also provide a 13' pedestrian frontage (curb to front of building) on both the Deloney and King Street frontages. All pedestrian frontages will include a 5' street buffer area of specialty pavers (and street trees where possible on the Deloney and King Street frontages). Canopies on Deloney Avenue will cover at least 75% of the sidewalk length and will cover the sidewalk to a width of 8 feet. There is less covered walkway on the King Street frontage due to the vehicular entrance. Significant portions of the canopies will extend in the Town ROW and so encroachment permits will need to be approved as part of the final design (i.e., building permit stage) of the project.

Alley: The applicant has submitted to the Town a Petition to Vacate the existing 10'-wide and 235'-long alley extending from Deloney Avenue to the northern property line of the applicant's property. The intent is to replace the existing alley with a new 25'-wide access easement (20' for two travel lanes and 5' for a separated sidewalk) from King Street. The applicant proposes to provide this access easement to the Town, the public, and all existing property owners that rely on the existing alley for access. The applicant would maintain the alley easement at its own expense. The proposed access easement includes a large turn-around area at the project site's northern property boundary that would allow fire trucks and other large delivery vehicles to turn around and exit head-first into King Street. Properties to the north of the applicant's site that currently have private easements that provide varying degrees of vehicular access to and from the existing alley would have their access maintained, if not improved. In addition, approval of the proposed access easement could help to avoid future conflicts related to any potential legal deficiencies related to the existing substandard 10'-wide public alley. Staff also notes that approval of the access easement should have no negative effects on the Town's ultimate goal to extend the alley/public access to the north to Gill Avenue. This is especially important because the Gail Building on Gill Avenue was recently approved with a 20'-wide reserved alley through the first floor of the building in anticipation of a future public connection.

The applicant alley vacation request was approved by the Council on January 16, 2018, with 12 conditions of approval. However, three ordinance readings are required before the vacation receives final approval. The applicant has since provided updated information to address the conditions but staff is still in the process of reviewing that information. In addition, the Town is waiting for the applicant to provide an appraisal of the fair market values of the existing alley compared to the proposed access easement. Once staff is satisfied that the applicant has met all the conditions and terms of the approved petition, staff will present the alley vacation petition to the Council for first ordinance reading.

Utilities: Assuming the alley vacation is approved, the applicant is proposing to remove the existing overhead power lines and power poles located in the alley and bury the power line in the King Street ROW pursuant to Lower Valley Energy approval. They would also reroute the existing Town sewer line, install their own internal sewer line to serve the new development, and ensure that all other properties (i.e., the retained Wells Fargo property on the corner of Cache and Deloney) are reconnected to the public sewer system consistent with Town and Public Works approval. As proposed, these changes would be made without cost to the Town.

Wells Fargo Building on corner of Center Street and Deloney: Although not technically part of this application, the applicant's architect has been hired to assist Wells Fargo in the redevelopment of their property on the corner of Center and Deloney (i.e., formerly Moo's Ice Cream and Wilcox Gallery). This

property is adjacent and to the south of the applicant’s property and is in a very prominent and visible location from the Town Square. Conceptual designs for this new 2,500 sf Wells Fargo building are provided in this application to help provide context. This building went to the DRC three times and received final approval on April 12, 2017.

Compliance Summary: The applicable dimensional limitations for the project are shown below. The fact that the project site is located in two different zones and partially in and out of the Lodging Overlay makes it more difficult to succinctly analyze.

	Town Square (TS) (Center St. building)	Downtown Core (DC) (Deloney/King building)	Complies?
FAR	19,217 sf x 1.83 = 35,167 sf Alley (if vacated) = 2,350 x 1.83 x .75 = 3,225 sf + 2,350 x 1.3 x .25 = 763 sf <u>3,988 sf total for alley</u> Total allowed = 38,392 sf <i>Proposed: approx. 33,718 sf</i>	25,727 sf x 1.3 = 33,445 sf Alley (if vacated) = 2,350 x 1.3 x .25 = 763 sf Total allowed = 34,971 <i>Proposed: approx. 34,575 sf</i>	Yes ¹ (see below)
LSR	0.0 <i>Proposed: 3,426 sf on entire site</i>	0.0 <i>Proposed: 3,426 sf on entire site</i>	Yes
Plant Units	None <i>Proposed: 1 – 2 on entire site</i>	None <i>Proposed: 1 – 2 on entire site</i>	Yes
Maximum Lot Coverage	N/A	N/A	Yes
Minimum Lot Size	5,000 SF Proposed: Complies	5,000 sf Proposed: Complies	Yes
Height (Max)	35’ <i>Proposed: 35’ (38.5 with 110% allowance)</i>	42’ (flat roof) <i>Proposed: 40’</i>	Yes (see below in “Overview” section)
Height (Min)	N/A	24’ /2 stories <i>Proposed: 40’/24’</i>	Yes
Parking	Flexible	Flexible	Yes (see below)
Front Yard Setback	0’ <i>Proposed:</i>	0 – 5’ <i>Proposed: 0’ - 5’</i>	Yes
Rear Yard Setback	0’ <i>Proposed: N/A</i>	0’ or 5’ <i>Proposed: N/A</i>	Yes
Side Yard Setback	0’ <i>Proposed: 0’</i>	0’ or 5’ <i>Proposed: 0’, 10’</i>	Yes ²
Number of Stories	In LO: 3 Not in LO: 2 <i>Proposed: 2 and 3</i>	3 <i>Proposed: 3</i>	Yes
Street Façade Width	N/A	80% <i>Proposed:</i>	Yes

	Town Square (TS) (Center St. building)	Downtown Core (DC) (Deloney/King building)	Complies?
		<i>Center: 100%</i> <i>Deloney: 90%</i> <i>King: 40% plus entrance</i>	
3rd-story stepback	N/A <i>Proposed: 10'</i>	10' <i>Proposed:</i> <i>Center: 10'</i> <i>Deloney: 10'</i> <i>King: N/A</i>	Yes
Transparency	N/A	1 st Story; 60% 2 nd Story: 30%	Yes
Blank Wall Area	N/A	Primary Street: 15' Secondary Street: 30'	Yes
Story Height	N/A	Ground story; 12' Upper stories: 9'	Yes

¹ The maximum combined FAR (1.83 + 1.3) allows a total of 73,363 sf of floor area on the site (including the alley but excluding deed-restricted employee housing). The applicant is proposing a total of 70,995 sf of floor area, so it meets the FAR limits. Properties with split zoning can transfer limited amounts of floor area from the less intense zone to the more intense as done here to better achieve LDR goals for a unified development.

² Due to the unusual configuration of the project site, nearly every property line is a side setback but the building has internal portions (i.e., not on street frontage) that are set back approx. 10' to allow hotel rooms to have windows. Staff added a condition of approval as part of the Sketch Plan that these portions of the building be redesigned for Development Plan to have structural elements at 5' from the property line to meet this standard. The applicant made these changes and so the condition was dropped for final Development Plan.

Staff Analysis

The following is a more detailed discussion on the key regulatory issues with the proposed project:

Overview

As was mentioned above in the project description, this project has a complex set of interrelated LDR requirements because the project involves two different zone districts (TS and DC), has portions of the property inside and outside of the LO, has frontages on three different streets (Center, Deloney, and King), and has a partial public alley that need to be coordinated. This set of circumstances required staff to make a number of preliminary LDR determinations and interpretations to provide guidance to the developer as well as to decision-makers. Below is a summary of the preliminary LDR interpretations made by staff:

- Applicability of District 2 standards to Center Street building which is not in District 2: While the western portion of Center Street property was not rezoned as part the recent District 2 LDR update, staff has requested that many of the District 2 standards be applied to the design of the Center Street building due to its prominent location within the Town Square area — in particular, the standards for a 13' pedestrian frontage, 10' third-story stepback, 24' minimum height, first floor transparency, and 12' minimum floor heights. The applicant has, to its credit, committed itself to meeting these District 2 standards where possible and staff finds that they have, in fact, done so per the submitted application.
- Allowing lodging uses in part of the Center Street building not in Lodging Overlay (LO): Because a small portion of the property is located outside of the LO, the applicant asked whether it would be possible to locate limited non-lodging hotel uses (i.e., the conference room and outdoor deck) in the non-LO part of the building. Staff's conclusion is that this would be acceptable because doing so

would meet the intent of Sec. 1.7.5.C that allows development in split zones to be located in the lesser intense zone (i.e., the non-LO area) if it improves scenic views or lessens environmental impacts. In this case, allowing the conference room on the 2nd story provides the necessary mass and height to the building that might otherwise not have a second story. This will improve the visual impact of the building and create the type of visual character that is more consistent with the Comprehensive Plan and District 2 standards. In addition, the rooftop deck will add human activity to the TS portion of the site.

- Applicability of 110% height standard for sloping sites: The LDRs (Sec. 9.4.9.B) allow buildings on sloping sites to exceed the maximum height limit by 110% as measured from the building's absolute high point to absolute low point. Due to the site's drop in elevation from the topographical bench, the Center Street building qualifies for this provision. Thus, because the Center Street building has a height limit of 35' the 110% rule allows the buildings to be 38.5 feet in height. Furthermore, due to additional grading to create underground parking which artificially lowers the building's elevation in the back of the building, and a site that slopes downward both to the east and north already, the applicant notes that the absolute high and low points of the building are approximately 42' apart in the northeast corner of the building. This is the case even though the building is 35' tall at the Center Street frontage and thus will not appear greater than 35' from as viewed from Center Street or from any vantage point in the Town Square. This 42' portion of the building is essentially visible only from the internal (private property) part of the site and so should not impact the public.

With this in mind, the applicant has proposed that the low point of the building be measured not from the area immediately adjacent to the down ramps for the underground parking but from the top of the proposed planters to be located next to the parking entrances within the proposed internal pedestrian plaza. While this may seem like a novel approach, a similar approach was used to measure height at Hotel Jackson where the hotel was also on a sloping site. In that case, the hotel was not penalized on height by being required to use its down ramp to an underground parking garage as the lowest point of the building. Instead, the Town used the planters next to the down ramp as the most fair and logical lowest point because they better represent "ground level" than the surface of the down ramp. The applicant is asking for the same treatment.

Staff thinks the two situations are comparable (i.e., both involving underground parking down ramps on sloping sites) and so we conclude that the lowest point of the Center Street building should be measured from the top of the planters shown on the site plan located in the new internal pedestrian area. The height measurement would then be 38.5' (instead of 42') and so comply with the 110% height allowance. Staff notes that this interpretation is also consistent with our land use goals to encourage underground parking to minimize the visual impact of parking. It should also be considered that denial of this interpretation would not change the height of the building as viewed from Center Street or the Town Square but might lead to undesirable design modifications to the front façade such as lowering the ceiling heights and/or possibly sinking the first floor along the Center Street frontage one or two feet which would significantly reduce the pedestrian environment on Center Street.

- Determination of primary street frontages: The project site consists of two properties that include a total of three street frontages but (oddly) does not include a corner lot. This creates a bit of challenge in determining which street frontages should be considered primary and secondary, which has implications for which development standards should apply. Staff concludes that Center Street should be considered the primary street frontage as it is the widest (180'), most visible, and will receive the most pedestrian traffic. The Deloney Avenue frontage (100' wide) should be considered the secondary frontage because it is still close to and visible from the Town Square. The King Street frontage is the shortest (60' wide), the least visible from the Town Square, and least likely to get

pedestrian traffic for the foreseeable future. The result of this categorization is that staff agrees with the applicant's choice to use the King Street frontage as its primary vehicular access even though this creates an architectural "hole" in the building frontage.

Site Design

As mentioned above, the project site is challenging due to its odd shape (three street frontages), multiple zoning districts, a partial overlay zone, significant change in elevation, and a complex set of access easements and alley. In general, the applicant has done a commendable job at addressing each frontage with the appropriate building design, uses, and pedestrian improvements. The buried parking garage and lack of a drive-through hotel entrance (i.e., porte cochere) on Center Street means that the presence of cars has been effectively minimized both visually and from the pedestrian's perspective. The choice to have two buildings connected by a ground-level walkway instead of one large building is also approved by staff because it breaks up the mass of the building and allows each building to follow the different development standards applicable to the TS and DC zones. In addition, the applicant has adequately addressed the LDR requirements as expressed in Condition #7 of the Sketch Plan that relate the 5' side setback in the DC Zone and so that condition has been deleted.

DRC Review/Building Design

Condition #1 of the Sketch Plan required the applicant to undergo review by the Design Review Committee (DRC) prior to approval of the Development Plan. The applicant complied with this condition by going to the DRC on December 13, 2017 and getting a recommendation of approval without any conditions. The applicant also responded to comments from the Planning Director to make the building's design more "western" in character. In summary, included in the DRC's review was the approval of the following architectural and site plan changes (repeated from above) that were made to the project since the approval of the Sketch Plan:

- Center Street façade: The building façade on Center Street has been modified from the 3 large stone 'frames' to 3 smaller stone frames on the north section and a new stone design on the southern third of the building. See DRC section for more detail. In addition, the roof overhangs on portions of the building have been eliminated to provide a more western character.
- King Street façade: The retail space has been removed and so the façade now covers a stairwell used for the employee housing.
- Outdoor deck: The rooftop deck is proposed to be extended to the south onto the top of the adjacent Wells Fargo building if possible.
- Location of pool: The pool was previously located on the second level near the King Street frontage but is now proposed at ground level in the center of the site where the alley is currently located;

In general, the DRC agreed that the above changes were improvements to the overall design of the buildings and site. In particular, they thought that the modified Center Street frontage was better conceived and that moving the outdoor pool to the ground level and to the center of the site was a major improvement in both the function and form of the project. This was the third and final review by the DRC of the project and so Condition #1 of the Sketch Plan has been met.

Access/ Circulation/Traffic

Traffic Analysis: A traffic impact analysis has been provided by the applicant as part of this application. In summary, the analysis concludes that the proposed development will add an additional 116 trips per hour during the PM peak period to the adjacent transportation system. However, because the existing bank use generates approximately 95 trips per hour during the PM peak period, the proposed development will result in a net increase of 21 trips per hour during the peak PM period. The analysis concludes that this net increase of

21 trips per hour “can easily be absorbed into a network that currently handles 1,970 trips per hour [number of trips on North Cache Street between Broadway and Gill Street] and has signalized or stop sign controls at all nearby intersections.” The analysis does not calculate the estimated total number of *daily* trips the proposed development would generate because it states that the primary traffic issue is the evening rush hour and so it focuses its analysis on this time period. It should also be noted that while much of the hotel check-in traffic will be on Center Street to access the front lobby a majority of the traffic will start and end at the parking entrance on King Street which is a much less congested street than Center Street. Staff much prefers using King Street for access than Center Street and for reducing traffic on Deloney.

Based upon the information provided, staff finds that the use of the existing signalized intersections in the immediate area can adequately serve the proposed development and no transportation improvements are necessary.

Vehicular Access: Assuming the proposed Petition to Vacate the existing alley receives final approval, all vehicular access to the hotel would be from the new access easement extending from King Street. The clearance height for the King Street entrance will be 15 feet. The Fire Marshall has commented that the proposed covered access will provide adequate clearance height for fire trucks. In addition, the Fire Marshall as reviewed and approved the turnaround area within the site as adequate for all necessary fire apparatus. Finally, the applicant has committed to ensuring that all existing access rights that currently cross the applicant’s property will be maintained and, where possible, improved.

Based upon the information provided, staff finds that the proposed access plan is functional and meets the LDR requirements for a Development Plan.

Streetscapes/Pedestrian access

As mentioned above, the applicant will reconstruct and improve the existing sidewalk on Center Street to eliminate the current grade changes (steps) and will provide a 13’ wide pedestrian frontage from the curb to the face of the building to meet the new District 2 pedestrian requirements even though they do not apply to this portion of the site. The applicant will also provide a 13’ pedestrian frontage on the Deloney and King Street frontages. The Center Street and Deloney Avenue frontages will include a 5’ street buffer area that is combination of pavers and street trees. A cantilevered covered walkway (i.e., without supporting columns) will be provided along the entire length of the Center Street building, as strongly encouraged by the Comprehensive Plan and LDRs. The proposed pedestrian facilities will significantly improve the walkability and comfort of pedestrians in this important visitor area of town and so staff supports the plans as presented. In addition, some portions of the canopy will extend into the Town ROW and so encroachment permits will be submitted once the Development Plan is approved and the final locations of all encroachments can be accurately surveyed. Staff finds that the pedestrian frontages meet the LDRs and the intent of the TS zone and Comprehensive Plan that require a continuous covered walkway in the TS zone.

Parking

The following table shows the parking requirements:

Unit Type	Unit Parking Ratio	Requirement
Hotel (96 rooms)	.75/room	72
Conference	Included in hotel parking	Included in hotel parking
Restaurant/Bar	1/110 sf of dining area + 1/60 of bar area	55.8 ¹
Retail (1,417 sf)	2.25/1,000	3.18
Employee housing	Dorm: .25/br;	2 Dormitories: 2 spaces

	Apt: 1/DU if < 2 bedrooms and < 500 sf; otherwise, 1.5/DU	2-br apt: 1.5 spaces 3-br apt: 1.5 spaces TOTAL = 5 spaces
Parking credits	Property has 67.9 parking credits from 1988 parking study.	58.98 required parking spaces for restaurant/bar and retail uses will be met by existing 67.9 parking credit.
Valet parking spaces	Applicant proposes 5 on-street parking spaces in Center Street ROW	Pending approval by Town Council as part of this application

¹ Because the floor plan of the restaurant has not yet been determined, the applicant provided an estimate of the future floor plan for the purposes of estimating the parking requirement. This means that any future restaurant will have to meet this parking requirement or use an existing parking credit or pay a fee in lieu, as necessary.

Given that the site is located in both the TS and DC zones, staff has chosen to use the DC parking standards because this is functionally one unified project. In addition, the DC standards were recently adopted so staff feels they are more representative of national best practices as well as the desired future character of the site and immediate neighborhood. The DC zone also provides parking credits for on-street parking and a fee-in lieu option for nonresidential uses if applicable. Relevant for this project, only the lodging and residential uses must provide on-site parking because all of the nonresidential uses (e.g., restaurant, retail) can use existing parking credits to avoid providing any on-site parking (i.e., the proposed restaurant/bar and retail spaces require 58.98 parking spaces which is less than the 67.9 parking credits they have). Based on staff's analysis, the proposed application requires 77 parking spaces. The application shows 76 parking spaces but during the Planning Commission hearing the applicant committed to providing one more space using a mechanical lift in the parking structure. This approach satisfies staff and the Planning Commission.

Valet parking: The one parking issue that still needs to be addressed is the status of the 5 proposed valet spaces that the applicant is requesting to use in the Center Street Right-of Way. As background, the applicant plans to use valet parking for all hotel guest parking needs. They would have a valet at the hotel entrance on Center Street to serve arriving/departing guests and then another valet stationed at the entrance of the parking garage to intercept guests returning to the hotel. Valet parking would be provided as an amenity and because the parking garage uses tandem parking spaces that require valets to organize the cars. To make this valet parking system work efficiently, the applicant is proposing to reserve in some manner (buy/lease/sign as loading-only) 5 angled parking spaces on Center Street in front of the hotel for the exclusive use of their guests.

The difficulty with this request, as was reinforced by a discussion with the Town Engineer, is that the Town does not have a clear process to reserve parts of street ROW to private entities. The direct sale of public parking spaces/ROW to a private entity has not been done before to our knowledge (although this approach was discussed for the Hotel Jackson valet spaces on Glenwood Street) and is not something that the Planning or Public Works Departments support. Leasing public parking spaces is also something that has not been done to our knowledge. Recent downtown hotel projects, such as Hotel Jackson and the Marriott, have generally been approved for valet parking spaces that include a designation for a non-exclusive "15-minute loading zone" for a few parking spaces to serve as de-facto valet parking for the hotels but which are technically open for public use. Police Chief, Todd Smith, has noted that he can only enforce parking rules that are adopted in the town Municipal Code, such as the 15-minute loading zone limitation which his department enforces throughout town where ever spaces are properly signed. However, because there are no adopted rules for 'valet' parking spaces in the Municipal Code, the 15-minute loading zone is probably the closest option the Town can offer the applicant for their intended purpose.

Planning staff's position is that we are sympathetic to the applicant's request (and to all hotels in a similar situation in Town). The applicant's need for valet parking spaces in the street is directly related to its design choice to not create a traditional drive-through porte cochere (e.g., see Homewood Suites on Millward Street) that requires two curb cuts across the sidewalk and creates potential safety conflicts between pedestrians and moving cars using the same sidewalk. This design also consumes on-street parking spaces with curb cuts and generally diminishes the pedestrian environment. For these reasons, staff and the applicant agreed that such an approach would be unsuitable for this busy Center Street location. This then means that an alternative must be found to provide safe, quick, and convenient check-in/out parking for the hotel and to prevent hotel guests from driving in circles trying to find parking and creating unnecessary traffic. It's important to note too that even if the five parking spaces are dedicated in some way to the hotel that the proposed project would result in a net *increase* of 1 public parking space on Center Street due to the elimination of the two existing curb cuts that serve the bank. From this perspective, planning staff supports a solution to 'reserve' anywhere from 3 to 5 five parking spaces for the hotel. Our recommendation would be to use the 15-minute loading designation for 4 spaces. This should be adequate to meet both the hotel's and public's needs.

Other than the unresolved issue of the valet parking spaces, staff finds that the submitted parking plan meets the LDR standards.

Employee Housing

The applicant is required to provide employee housing for the proposed hotel and retail spaces minus any credits for existing development. The total requirement is as follows:

Use	Square Footage	Requirement	Requirement
Lodging	62,906	47 / 1,000	2,957 sf
Conference room	3,421	47 / 1,000	161 sf
Restaurant/Bar	3,251 + 500 sf of outdoor dining ¹	378 / 1,000	1,418 sf
Retail	1,417	156 / 1,000	221 sf
Sub Total			4,757 sf
Credit for existing development (6.3.1.C.1)			585.3 sf
Net Total requirement			4,172 sf

¹ The employee housing mitigation rate is the same for outdoor seating as for indoor seating for restaurants.

The total employee housing mitigation requirement is 4,172 sf (the application states a final requirement of 3,982 but that is likely because the approximately 500 sf of outdoor dining space was not included). The applicant is providing a total of 4,892 sf (which includes 230 sf of interior corridors) of employee housing in four units. Thus, the applicant is proposing to provide approximately 490 sf of usable employee housing above what is required. All of the employee housing is proposed to be on-site and will consist of the following: one 1,286 sf 4-br dormitory; one 1,115 sf 4-br dormitory; one 1,109 sf 3-br apartment; and one 1,152 sf 3-br apartment. All four units will have the required employee deed-restriction. The applicant has also responded to and met all of the Housing Department's most recent concerns raised in a letter dated January 18, 2018 (see response letter from applicant in review packet). The applicant has provided a draft employee deed-restriction with the Development Plan that will apply to all the units and so has complied with Condition #3 of the Sketch Plan which has now been deleted. Final deed restrictions will be signed and recorded prior to building permit approval. Staff finds that the applicant's employee housing mitigation plan meets, and even exceeds, the LDR requirements.

Relationship of Alley Vacation approval with Development Plan approval

When the Council reviews this Development Plan on February 5, the alley vacation will not be finalized. The alley vacation should be scheduled for first reading soon but an exact timetable for approval has not been determined. This creates an awkward situation where the Council will be asked to approve a Development Plan for a hotel project where the alley vacation is a necessary component of the project, without which the Development Plan project could neither be approved nor developed. Staff offers the Council three options for approving the Development Plan if that is the Council's intent:

1. Approve the Development Plan on a preliminary basis now and continue the item to appear on the same future agenda as the third reading of the alley vacation ordinance so that final approval for the Development Plan would be done immediately after approval of the third reading;
2. Approve the Development Plan now but add a condition of approval that the Development Plan will expire if the alley vacation is not subsequently approved and if the applicant does not resubmit to amend the Development Plan within 3 months; [Sec. 8.3.2.E.5 allows Council to set an alternative expiration date for Development Plans]
3. Approve the Development Plan now without any condition of approval with the understanding that if the alley vacation is not approved for some reason that the Development Plan would automatically expire in 18 months under the LDRs because the applicant would not be able to submit the required building permit to implement the failed Development Plan.

Staff will discuss these options with the Council at the meeting. Staff's recommends Option #2 because it both provides some finality for the applicant but also protects the Town in case the alley vacation is denied for some reason. This option has been added as condition of approval for the Council's consideration.

Conditional Use Permit (CUP) to allow a Dormitory

The applicant has applied for a condition a Conditional Use Permit (CUP) for a Dormitory use for two 4-bedroom dormitories that are 1,072 sf in size. This submittal satisfies Condition #9 of the Sketch Plan which has not been deleted. A dormitory allows more than 3 unrelated people to live in the same dwelling. The two units will be located in the eastern wing of the Deloney building with the other employee housing units and will be accessed from King Street. The proposed dormitories comply with all applicable zone requirements. In addition, both dormitory units will need to be deed restricted for employee housing in order to meet the applicant's employee housing mitigation requirements. The applicant submitted only a deed-restriction for an Accessary Residential Unit and so will need to also provide a draft deed-restriction for an employee housing unit. This has been added as a condition of approval.

Staff Findings

Item A: Development Plan. Pursuant to Section 8.3.2.C (Findings for Approval) of the Land Development Regulations, the following findings shall be made for the approval of a Development Plan:

1. *The proposed project is consistent with the desired future character described for the site in the Jackson/Teton County Comprehensive Plan.*

The proposed application is located in both Character District #1 Town Square and Character District #2 Town Commercial Core of the 2012 Comprehensive Plan. It is also located in the following three Sub-areas: Sub-area 1.1 Inner Square; Sub-area 1.2 Outer Square; and Sub-area 2.3 Downtown Commercial Core. The following excerpts provide the vision for each of the three Sub-areas:

Sub-area 1.1 Town Square: This STABLE Subarea will focus on maintaining western character by retaining or replicating the existing built environment. Building heights directly fronting the Town Square should not exceed two stories. Buildings should be located near the street to create an attractive street front. A desired western architectural style and approach will be defined. The continuation of covered wooden boardwalks is vital to maintaining the desired western character. Parking will be provided predominately in public lots, underground, and on street to create a vibrant, walkable area oriented to pedestrians.

Sub-area 1.2 Outer Square: This STABLE Subarea will focus on maintaining western character consistent with the existing character of the district. Building heights will be allowed up to three stories, in order to provide lodging, residential and other non-residential uses on upper floors supporting our tourist economy and Growth Management goals. Buildings should be located near the street to create an attractive street front. A desired western architectural style and approach will be defined in coordination with the Inner Square (Subarea 1.2). The continuation of covered wooden boardwalks is vital to maintaining the desired western character. Parking will be provided predominately in public lots, underground, and on street to create a vibrant, walkable area oriented to pedestrians.

Sub-area 2.3 Downtown Commercial Core: This large, mixed use, TRANSITIONAL Subarea currently consists of a variety of retail, restaurant, office and other commercial activities, along with long-term residences and lodging in a variety of building sizes and forms. Downtown is the center of civic, cultural, economic, and social activity in the community as well as the center of the visitor experience, as a significant amount of lodging is located here. The existing character and built form is varied and inconsistent. The goal of this subarea is to create a vibrant mixed use area by accommodating a variety of uses and amenities. The subarea will be the starting point for the development of a refined Lodging Overlay boundary and future discussion of the type and size of lodging desired. A key challenge will be to provide a balance between lodging and long-term residential housing. Future structures will be predominantly mixed use, while multifamily structures will be allowed if it properly addresses the street. Commercial uses that create an active and engaging pedestrian experience will be predominantly located on the first and second floors of buildings. Examples of these uses include restaurants, bars, a variety of retail shops and commercial amusement. Furthermore, as portions of the subarea will be located within a future Downtown Retail Shopping District, uses such as office, residential and lodging will be predominantly located on upper floors. A goal of this subarea will be to create a consistent building size and form. In the future, a variety of two to three story buildings are desired. Buildings should be located to create an attractive street wall and take advantage of good urban design principles including massing, articulation and the provision of public space. The pedestrian realm will be of great importance in this mixed use subarea, and emphasis should be placed on adding improvements focusing on the pedestrian experience. Parking should continue to be provided predominately in public lots and on street to create a vibrant, walkable area that is oriented to the pedestrian. On-site parking should be predominantly underground or screened from view. Future redevelopment should enhance the Flat Creek corridor for recreational and ecological purposes. Buildings should front onto the creek to provide opportunities for interaction and enjoyment of this community resource.

Complies. Staff finds that the project is not only consistent with the above described visions for Subareas 1.1, 1.2, and 2.3 but also that the location is ideal for a high-density, visitor-serving redevelopment in the Town Square area. It will result in a significantly improved pedestrian environment and bring more “lights-on” tourist activity to our commercial core. It will also result in the removal of worn out older buildings and the addition of new buildings that will help set establish a stronger Town Square character while respecting the stable existing Western character of the Town Square. In addition, on the King Street portion of the property, which is considered a transitional area,

the development will bring an active retail space and new sidewalks to an area that has been neglected for a long time and needs revitalization. The provision of on-site deed-restricted housing, including units beyond the LDR requirement, is consistent with the intent of the transitional Subarea 2.3. In general, the intensity of use is consistent and is an appropriate in this downtown location.

In addition, staff finds that the application should be reviewed for consistency specifically with the Policy Objectives for Districts 1 and 2 which state as follows as the desired vision for the district:

Common Value 1: Ecosystem Stewardship

Not Applicable.

Common Value 2: Growth Management

Policy 4.1.b: Emphasize a variety of housing types, including deed-restricted housing (District 2)

Complies. Staff finds that by providing 4,662 sf of deed restricted employee housing units, including 720 sf of employee housing that is above what is required, the proposed development is meeting this policy goal.

4.1.d: Maintain Jackson as the economic center of the region (Districts 1 & 2)

Complies. The proposed redevelopment will revitalize the site not only with new buildings and a greater variety of active uses but will add “hot beds” to our commercial core area that will put visitors within easy walking distance to all the amenities and transportation options of downtown Jackson.

4.2.c: Create vibrant walkable mixed use subareas (Districts 1 & 2)

Complies. The proposed mixed-use redevelopment will remove and replace the sidewalk on Center Street and Deloney Avenue with a wider, safer, and more functional sidewalk. It will also add a new sidewalk on King Street. In addition, the proposed development will add tourist-oriented services within the pedestrian heart of downtown.

4.2.d: Create a Downtown Retail Shopping District (Districts 1 & 2)

Complies: While not part of a formal Retail Shopping District, the proposed development will add new retail spaces, a restaurant, and 96 hotel rooms to the Town Square area where visitors will have immediate and convenient access to all the amenities of downtown Jackson.

4.2.e: Protect the image and function of Town Square (District 1)

Complies: The proposed mixed-use building’s scale and architecture, as reviewed and recommended by the Design Review Committee (DRC), is consistent with the image and function of the Town Square.

4.2.f: Maintain lodging as a key component in the downtown (Districts 1 & 2)

Complies. The proposed project will add 96 hotel rooms immediately adjacent to the Town Square Area.

4.4.a: Maintain and improve public spaces (District 1)

Complies: The proposed project intends to not only improve the sidewalks throughout the project but to replace the existing substandard 10'-wide alley area off Deloney Avenue with a new 25'-wide access easement that includes a 5' dedicated sidewalk.

4.4.b: Enhance Jackson gateways (District 2)

Not applicable.

4.4.c Continue traditions and community events (District 1)

Not applicable.

Policy 4.4.d: Enhance natural features in the built environment (District 2)

Not applicable.

4.5.a: Identify and preserve historically significant structures and sites (District 1)

Complies. While no historically significant structures will be directly impacted by the proposed redevelopment, the proposed new buildings are designed to respect the scale and character of the existing historical patterns in and around the Town Square, as evidenced by the positive recommendation from the DRC.

Common Value 3: Quality of Life

Policy 5.2.d: Encourage deed-restricted rental units (District 2)

Complies. The proposed project will provide 4,662 sf of deed restricted employee housing units, including 720 sf of employee housing that is above what is required.

6.2.a: Enhance tourism as the basis of the economy (District 1)

Complies. The proposed development will add new retail spaces, a restaurant, and 96 hotel rooms to the Town Square area where visitors will have immediate and convenient access to all the amenities of downtown Jackson.

6.2.b: Support businesses located in the community because of our lifestyle (District 2)

Not applicable.

6.2.c: Encourage local entrepreneurial opportunities (District 2)

Complies. The proposed project will include two smaller retail/office spaces that could be ideal for smaller start-up businesses. Such smaller retail spaces are hard to find in Jackson.

6.3.a: Ensure year-round economic viability (Districts 1 & 2)

Complies. The conference facility, in particular, will help to bring visitors and businesses to Town during the off-seasons to help bring more year-round economic activity.

7.1.c: Increase the capacity for use of alternative transportation modes (Districts 1 & 2)

Complies. The proposed redevelopment will provide visitor services and accommodations in the heart of downtown Jackson where all of the alternative modes of travel – walking, biking, and transit – are convenient and readily available.

2. *The proposed project achieves the standards and objective of the Natural Resource Overlay (NRO) and Scenic Resources Overlay (SRO), if applicable.*

Not applicable. The property is not located within the Natural Resource Overlay (NRO) or Scenic Resources Overlay (SRO).

3. *The proposed project does not have a have a significant impact on public facilities and services, including transportation, portable water and wastewater facilities, parks, schools, police, fire, and EMS facilities.*

Complies. As conditioned, staff finds that the proposed project will not have significant impacts on public facilities and infrastructure.

4. *The proposed project complies with the Town of Jackson Design Guidelines, if applicable.*

Complies. The project received a unanimous recommendation of approval from the DRC on December 13, 2017 without any conditions.

5. *The proposed project complies with all relevant standards of these LDRs and other Town Ordinances as can be determined by the level of detail of a sketch plan.*

Complies. Staff finds that the application meets the base standards of the PUD section as well as all required standards of the LDRs.

6. *The proposed project is in substantial conformance with all standards or conditions of any prior applicable permits or approvals.*

Not applicable.

Item B: Conditional Use. Pursuant to Section 8.4.2.C (Findings for Approval) of the Land Development Regulations, the following findings shall be made for the approval of a Conditional Use Permit:

1. ***Compatibility with Future Character.*** *The proposed Conditional Use shall be compatible with the desired future character of the area.*

Complies. Please see Finding #1 for Item A: Development Plan (provided above) regarding compatibility with desired future character.

2. ***Use Standards.*** *The proposed Conditional Use shall comply with the use specific standards of Division 6.1.*

Complies. Staff finds that the proposal is compliant with the standards of Section 6.1.4.F.

3. ***Visual Impacts.*** *The design, development, and operation of the proposed Conditional Use shall minimize the visual impact of the proposed use on adjacent lands.*

Complies. The proposed dormitories will be located within the proposed hotel structure and so are not visually identifiable as a dormitories from the public view. Thus, the dormitories will not have any adverse visual impacts to adjacent properties.

4. ***Minimizes adverse environmental impact.*** *The development and operation of the proposed Conditional Use shall minimize adverse environmental impacts.*

Complies. Staff finds that the proposed use will not have an adverse environmental impact because no protected environmental resources are known to exist on the site.

5. ***Minimizes adverse impacts from nuisances.*** *The development and operation of the proposed Conditional Use shall minimize adverse impacts from nuisances.*

Complies. Staff finds that the proposed use will not cause any types of nuisances because the use will be enclosed within the proposed hotel building with no significant impacts emanating to adjacent properties.

6. ***Impact on Public Facilities.*** *The proposed Conditional Use shall not have a significant adverse impact on public facilities and services, including transportation, potable water and wastewater facilities, parks, schools, police, fire, and EMT facilities.*

Complies. Staff finds that the proposal will have no apparent significant adverse impact on public facilities. Any potentially impacted public facilities, such as for water, sewer, police, and fire, are currently adequate to handle any additional impacts from the dormitory use.

7. ***Other Relevant Standards/LDRs.*** *The development and operation of the proposed Conditional Use shall comply with all standards imposed on it by all other applicable provisions of the LDRs and all other Town Ordinances.*

Complies. Staff finds that the proposed use complies with the provisions of the LDRs. The proposed development meets all other applicable regulations such as Setbacks, FAR, Lot Coverage, LSR, etc. In addition the proposed use complies with all other Town Ordinances.

8. ***Previous Approvals.*** *The proposed Conditional Use shall be in substantial conformance with all standards or conditions of any prior applicable permits or approvals.*

Staff finds that the proposed use is in substantial conformance with all standards and conditions of previous permits and approvals.

PLANNING COMMISSION

The Planning Commission heard this item on January 17, 2018. The Commission generally expressed its support for the modified building design and site plan, especially the new central location for the pool. In addition, they discussed the impact of the proposed new access easement from King Street, as well as how the valet service and car circulation would work. They concluded that the proposed single access off King Street would work well and that it was an improvement over the current substandard alley. The Commission recommended approval of the Development Plan with four conditions of approval, as well as approval of the CUP for the two dormitories (see below for full recommendations).

PUBLIC COMMENT

The Planning Department has not received any public comment for the Development Plan.

FISCAL IMPACT

There should be no significant fiscal impact from the proposed project. There may be some fiscal impact, however, if the alley vacation receives final approval but we will not know that fiscal impact until the required appraisal is done that provides the fair market values of both the existing alley and the proposed access easement. Staff assumes that the Council will weigh these relative fiscal impacts as part of the separate but related alley vacation process.

STAFF IMPACT

There should no significant staff impact from the proposed project.

LEGAL REVIEW

Complete.

ATTACHMENTS

Department Reviews
Applicant Submittal

RECOMMENDATIONS/ CONDITIONS OF APPROVAL

Planning Director and Planning Commission

Item A: The Planning Director and Planning Commission recommend **approval** of a Development Plan (P17-213) for a mixed-use project that includes 96 hotel rooms, a 3,251 sf of restaurant, 1,417 sf of retail space, and 4,662 sf of employee housing on properties located at 112 Center Street legally known as LOTS 2-3-4- 5 BLK. 3, Clubhouse, PT SW1/4SW1/4 Section 27, Township 41, Range 116 and 165 East Deloney Avenue legally know as LOTS 8-9, BLK. 1, Van Vleck – 2, subject to the department reviews and the following three conditions:

- 1) If the five valet parking spaces within the Center Street ROW are approved for the exclusive use of the hotel, the applicant shall provide the Town the required consideration prior to building permit approval.
- 2) The applicant shall obtain approval for any encroachment of the sidewalk canopies into the Center Street ROW prior to approval of the Development Plan.
- 3) The applicant shall ensure through the provision of necessary easements and/or other instruments that all existing vehicular access rights through the applicant's property for adjacent properties shall be protected, if not improved, as part of the final design of the project.
- 4) *[Added by Staff]* The Development Plan shall expire if the alley vacation is not subsequently approved and if the applicant does not resubmit to amend the Development Plan within 3 months.

[NOTE: Original Condition #4 regarding ensuring that the vehicular entrance on King Street provided adequate height for fire access was deleted by staff because the proposed 15' foot access has been deemed compliant by the Fire Marshall.]

Item B: The Planning Director and Planning Commission recommend **approval** of a Conditional Use Permit (CUP) (P17-214) to approve a Dormitory Use consisting of two 4-bedroom dormitories totaling 2,401 sf in size in the DC zone for the property located at 112 Center Street, legally known as LOTS 2-3-4- 5 BLK. 3, Clubhouse, PT SW1/4SW1/4 Section 27, Township 41, Range 116, subject to the department reviews with no conditions of approval.

SUGGESTED MOTIONS

Item A: Development Plan. Based upon the findings for a Development Plan as presented in the staff report and by the applicant for Item P17-213, I move to make findings 1-5 as set forth in Section 8.3.2.C (Development Plan) of the Land Development Regulations 1) Consistency with the Comprehensive Plan; 2) Achieves purpose of NRO & SRO overlays; 3) Impact on public facilities & services; 4) Compliance with Town Design Guidelines; 5) Compliance with LDRs & Town Ordinances; 6) Conformance with past permits & approvals, and to **approve** a Development Plan to develop a mixed-use project that includes 96 hotel rooms, a 3,251 sf of restaurant, 1,417 sf of retail space, and 4,662 sf of employee housing on properties located at 112 Center Street legally known as LOTS 2-3-4- 5 BLK. 3, Clubhouse, PT SW1/4SW1/4 Section 27, Township 41, Range 116 and 165 East Deloney Avenue legally know as LOTS 8-9, BLK. 1, Van Vleck – 2, subject to the following three conditions of approval:

- 1) If the five valet parking spaces within the Center Street ROW are approved for the exclusive use of the hotel, the applicant shall provide the Town the required consideration prior to building permit approval.
- 2) The applicant shall obtain approval for any encroachment of the sidewalk canopies into the Center Street ROW prior to approval of the Development Plan.
- 3) The applicant shall ensure through the provision of necessary easements and/or other instruments that all existing vehicular access rights through the applicant's property for adjacent properties shall be protected, if not improved, as part of the final design of the project.
- 4) The Development Plan shall expire if the alley vacation is not subsequently approved and if the applicant does not resubmit to amend the Development Plan within 3 months.

Item B: Conditional Use. Based upon the findings as presented in the staff report and as made by the applicant for Item P17-214, I move to make findings 1-8 as set forth in Section 8.4.2.C (Conditional Use Permit Standards) of the Land Development Regulations relating to 1) Compatibility with Future Character; 2) Use Standards; 3) Visual Impacts; 4) Minimizes adverse environmental impact; 5) Minimizes adverse impacts from nuisances; 6) Impact on Public Facilities; 7) Other Relevant Standards/LDRs; and 8) Previous Approvals for a Conditional Use Permit and to **approve** a Dormitory Use consisting of two 4-bedroom dormitories totaling 2,401 sf in size in the DC zone for the property located at 112 Center Street legally known as LOTS 2-3-4- 5 BLK. 3, Clubhouse, PT SW1/4SW1/4 Section 27, Township 41, Range 116, and 165 East Deloney Avenue legally know as LOTS 8-9, BLK. 1, Van Vleck – 2, subject to the department reviews attached hereto and no conditions of approval.

MEETING NOTES

Date: January 9, 2018

Project: Center Street Hotel

Project Number: 1619.00

To: CCC

From: Cary Lakeman

Distribution: CCC, CLB, File

Subject: FDP Revisions Summary

Summary of Items Remaining in Center Street Hotel from Sketch Plan to FDP

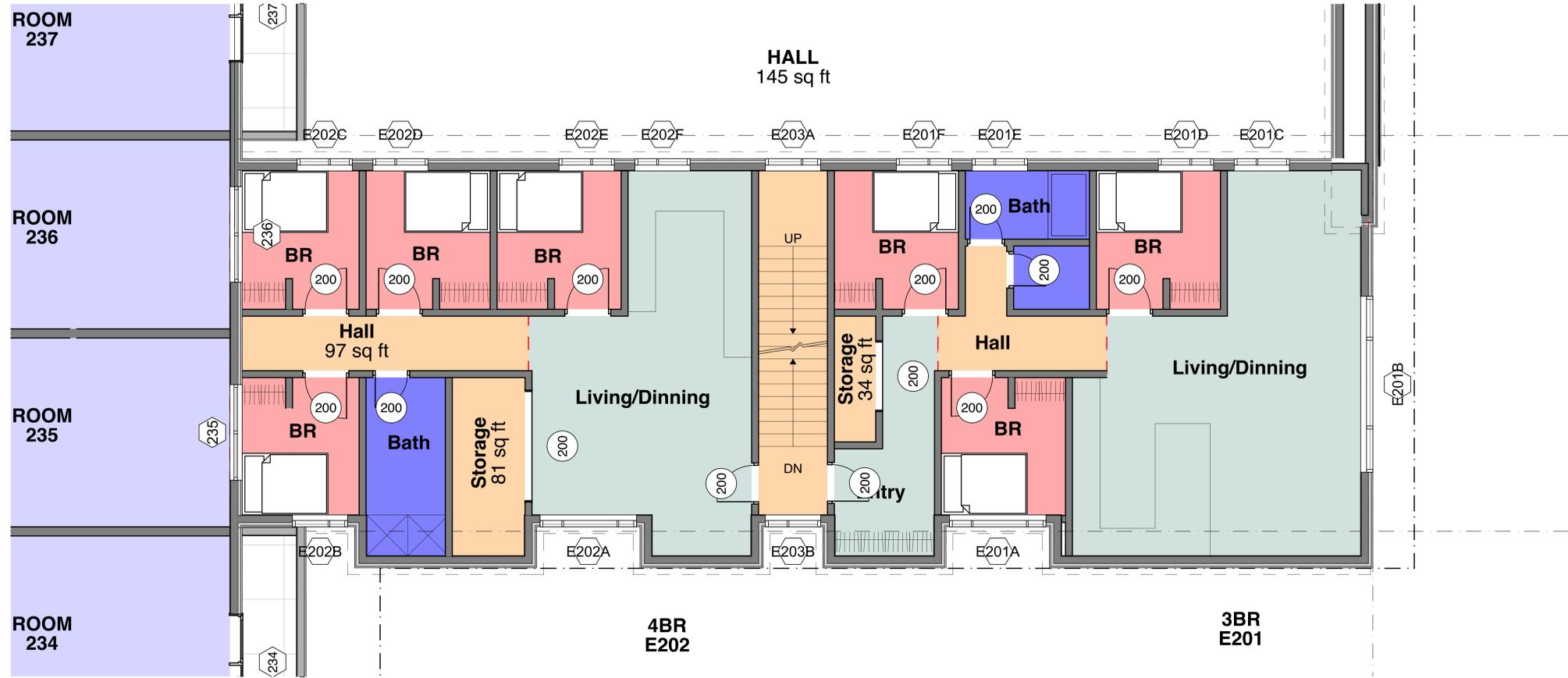
- Program for Mixed Use, providing Hotel, Retail, Restaurant, Bar, Meeting Spaces, Underground Parking Garage, and Employee Housing has essentially remained the same, with minor adjustments in sizes as listed below.
- Design further enhances the western character of the street facades, including the use of large windows, arrangement of retail, restaurant, and public spaces along Center Street and Deloney Street to promote pedestrian friendly character, including covered walkways.
- Building massing and elements of building setbacks, change of materials, promoting western character and pedestrian scale.
- Primary Materials of the building is still the same; Stone, Wood, Glass, Metal Panels, and elements of painted Steel.
- Use of Balconies to further contribute to the scale and setbacks of the building.
- Third floor setbacks remain unchanged.
- Connection of the two buildings with an enclosed walkway traversing the Alley, although moved to grade level.
- Relocation of existing overhead power lines will be buried.
- Public Access though the alley to the neighboring property to the north. (Although from King Street)
- Parking and Easements for Wells Fargo parking remains the same
- Height of the building remains unchanged. Number of floors remain unchanged.
- Section of West building, along Center Street, that is not in Lodging overlay, remains at 2 stories in height.
- Setbacks of the building along Center Street and Deloney Street remains at 13ft.
- Outdoor dining area along Center Street remains.

Summary of Revisions to Center Street Hotel from Sketch Plan to FDP

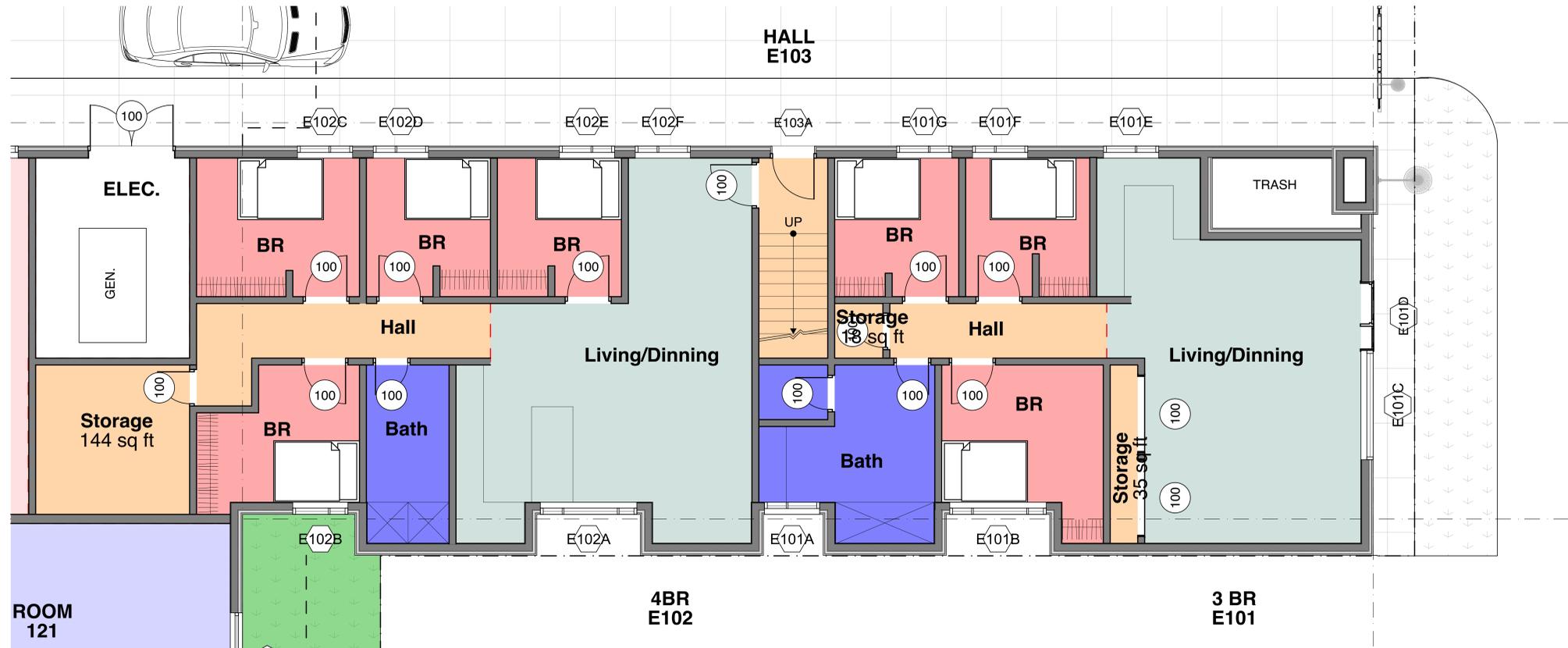
- Hotel Rooms reduced from 98 to 96
- Hotel Lobby moved closer to the Town Square
- Acquisition and Redesign of the Alley
- Pool location moved from roof location to grade
- Reduction of one Retail Space to a total of 2 spaces
- Retail 1 space at Center Street frontage location moved to the north end of the building
- Parking spaces reduced from 87 to 76 but still meets LDR's.
- Employee Housing reduced but still exceeds LDR's
- Roof Top eyebrow overhangs eliminated and Center Street façade reworked to provide more of a Western Character design, less contemporary in appearance and scale.
- Addition of Roof Terrace over Wells Fargo Bank

Areas Summary:

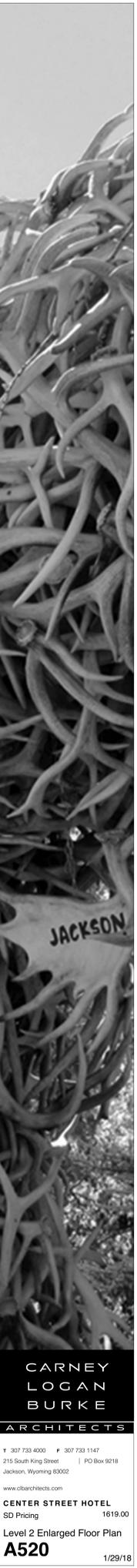
	Sketch Plan	FDP Submittal	Current
Lodging	58,972 sf	62,407 sf	62,906 sf
Restaurant/Bar	4,544 sf	3,251 sf	3,251 sf
Meeting Space	2,346 sf	2,775 sf	3,421 sf
Retail	2,430 sf	1,553 sf	1,417 sf
Total Area	68,292 sf	69,986 sf	70,995 sf
Employee Housing	6,136 sf	4,717 sf	4,892 sf



2 Level 2 EH Plan
SCALE: 1/4" = 1'-0"



1 Level 1 EH Plan
SCALE: 1/4" = 1'-0"



Crystal Creek Capital Real Estate Advisors, LLC

P.O. Box 844 | 275 Veronica Lane, Suite 300 | Jackson, Wyoming 83001 | Telephone 307-733-4733

January 30, 2018

Paul Anthony, Principal Planner
Jackson Planning & Building Department
P.O. Box 1687
Jackson, WY 83001

Re: Center Street Project, Employee Housing

Dear Paul;

Thank you for forwarding the comments from the Affordable Housing Department. Some of the comments simply provided observations while others prompted replies for which we provided responses below. Please call if any further information is needed.

Comment: No more than four persons to reside in the 4-BDRM dormitory units.

Response: No more than four persons will reside in the dormitory units

Comment: The plans do not indicate the square footage for the storage areas. Twenty square feet per dorm occupant is required.

Response: The attached plan contains square footages for the storage areas in the two dorms; they are 81 and 144 square feet.

Comment: One of the 3-BDRM units is 885 square feet, 65 square feet below the minimum size.

Response: Both 3-BDRM units exceed the minimum size of 950 square feet. The smaller of the two 3-BDRM units is 1,109 square feet.

Comment: Ten square feet of storage per bedroom is required in the 3-BDRM units.

Response: Both 3-BDRM units exceed the storage requirements of 30 square feet. One unit has 53 square feet of storage and the other unit contains 34 square feet. See the attached plan.

Comment: Access to an outdoor space equal to 2% of the employee housing units is not provided.

Response: Two percent of the employee housing square footage is approximately 88 square feet, which would not provide much benefit to the housing occupants. Nonetheless, ample opportunity will exist for the residents to walk outside the units and around the property.

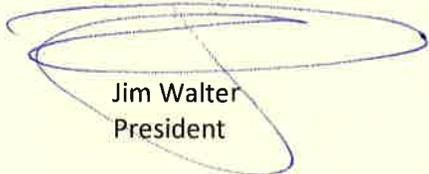
The occupants of the units will receive much greater benefit from extra square footage that is incorporated into the living areas of the units than from a small outdoor deck or patio. Each of the two 3-BDRM units is 159 square feet larger than the minimum size allowed (total overage of 318 sq. ft.) and each of the two dorm units is 472 square feet above the minimum size (total overage of 944 sq. ft.), based on the dorm requirement of 150 square feet per occupant. Not only are the individual units larger than the minimum allowed sizes, the total size of all the units exceed the employee housing requirement by 720 square feet.

The alternative to larger units would consist of slightly smaller units and a small outdoor deck or patio. The employee housing wing of the building that extends toward King Street could be shortened by several feet to allow a deck on the east end of the building. However, the units would be smaller and we concluded that the square footage is much more beneficial to the occupants when it is included in the living areas of the units.

Furthermore, the employee housing is a part of an infill and redevelopment project in the downtown commercial core and urban features in the immediate area provide great outdoor benefits to the residents. The Town Square park with benches, and the downtown boardwalks and sidewalks are immediately adjacent to the project. The Recreation Center and school grounds, which provide a large green space that is informally used as an outdoor area, are very near the employee housing. The use of such urban features as town parks and recreation facilities is characteristic of urban living and provides a much greater opportunity to enjoy the outdoors than a small deck or patio adjacent to the housing units.

If there are any questions or issues with our responses, please call to schedule a meeting. We wish to resolve any issues that may remain. Thank you for your continued assistance on this application.

Sincerely,



Jim Walter
President

Town of Jackson
Project Plan Review History
PLANNING

Project Number	P17-213	Applied	11/6/2017	STOL
Project Name	112 Center Street	Approved		
Type	DEVPLAN	Closed		
Subtype		Expired		
Status	STAFF REVIEW	Status		
Applicant	Jeanne Carruth	Owner	JACKSON STATE BANK	
Site Address		City	State	Zip
112 CENTER STREET		JACKSON	WY	83001
Subdivision		Parcel No	General Plan	
CLUB HOUSE (1913)		22411627315001		

Type of Review	Status	Dates			
		Sent	Due	Received	Remarks
Contact Notes Building Jim Green		11/6/2017	11/27/2017		
Fire Kathy Clay	APPROVED W/CONDITI	11/6/2017	11/27/2017	11/7/2017	

Type of Review	Status	Dates			
		Sent	Due	Received	Remarks
Contact Notes (11/7/2017 3:19 PM STOL) MEMO FIRE REVIEW					

TO: Paul Anthony, Principal Planner
 Tiffany Stolte, Office Manager

FROM: Kathy Clay, Fire Marshal

DATE: November 7, 2017

SUBJECT: The Center Street Project
 112 Center Street
 P17-213, 214, 215

This office has received the request for development plan at the above location. The 2015 edition of the International Fire Code (IFC) and the 2017 edition of the National Electric Code (NEC) shall be used in design. Comments include, but are not limited to:

General Requirements

1. Fire apparatus access shall be provided. (2015 IFC 503.1.1)
2. Visible address numbers, a minimum of 4 inches in height and 0.5 inch stroke width, shall be installed on all structures. (IFC 505.1)
3. Portable fire extinguishers shall be placed in accordance with code requirements. (IFC 906).
4. Interior finishes shall meet fire code requirements. (IFC Chapter 8)
5. Means of egress shall meet fire code requirements. (IFC Chapter 10)
6. The means of egress, including exit discharge, shall be illuminated at all times building space served by means of egress is occupied. (IFC 1008.1)
7. Any hazardous material storage shall meet fire code requirement. (IFC Chapter 27)
8. Should any fuel-fired appliances be installed, requirements for carbon monoxide detection shall be followed. (IFC 908.7)
9. Final fire inspection shall be required before certificate of occupancy is released.
10. Plans submitted to Fire Department for review shall consist of one set of paper plans and one set of electronic plans (CD, thumb drive, or PDF format).

Emergency Responder Radio Coverage

1. Where required, new building shall have approved radio coverage for emergency responders within the building based upon the existing coverage levels of the public safety communication systems of the jurisdiction at the exterior of the building. (IFC 510)

Sprinklers

1. As determined by the Building Official, the structure will have an automatic fire sprinkler system in accordance with appropriate NFPA standard for the occupancy type. (IFC 903.2.7) Unless specified within construction document notes, systems shall be designed to NFPA 13.
2. Fire Department Connection (FDC) location shall be determined by the AHJ and noted in the fire sprinkler plan review.
3. Knox Box shall be installed in an approved location at each structure having a fire sprinkler system. (IFC 506.1)
4. Water main shall be installed in accordance to NFPA 13 and NFPA 24 to provide for proper clearances, seismic requirements, flushing and hydro testing. (IFC 901.4.1)
5. Fire flow requirements shall meet Appendix B of the International Fire Code.
6. Pitot water flow test is required on all new fire sprinkler installations for NFPA 13R and NFPA 13 systems. Plans will not be approved without certified test. (NFPA 291)
7. Horn/strobe shall be installed above the fire department connection. (IFC 912.2.2.1)
8. Room which houses fire sprinkler riser shall be no less than 5' x 7' in dimension and shall be accessible from outside grade. (IFC 903.2.11.1.1)
9. Concealed spaces within NFPA 13 protected structures having combustible materials shall comply with the requirements and may require additional protection. (IFC 903.3)
10. Exterior overhangs exceeding 4 feet shall be protected using fire sprinklers when combustible construction is used (NFPA 13).
11. Exterior egress stairways built of combustible construction shall be protected with fire sprinklers (NFPA 13).

Alarms

Type of Review	Status	Dates			
		Sent	Due	Received	Remarks
Contact Notes					
12. Building shall have a complete alarm system per NFPA 72. A full set of fire alarm plans from a fire alarm contractor shall be submitted with all calculations and cut sheets of all equipment. (IFC Chapter 9)					
13. Tactile appliances shall be installed where needed to notify occupants unable to see or hear emergency alarms, per most current edition of NFPA 72.					
14. Audible appliances provided for the sleeping areas to awaken occupants shall produce a low frequency alarm signal per most current edition of NFPA 72.					
15. Any structure with Group R occupancy shall have required carbon monoxide detection as required. (IFC 915.1) Elevator					
16. Elevator shall comply with ASME A17.1 with Phase I and Phase II of elevator emergency operations; subject to recall if required. (IFC Section 607) Kitchen Fire Suppression					
17. Commercial cooking hood exhausting foods creating grease laden vapors shall be of Type I and follow requirements of the International Mechanical Code. (IFC 609.2)					
18. The automatic fire extinguishing system for commercial cooking systems shall be tested in accordance with UL300. (IFC 904.1)					
19. Horn strobe shall tie into the fire extinguishing system under the commercial hood and be placed to alert occupants in the dining area (IFC 904.3.4)					

Please feel free to contact me if you have any further questions at kclay@tetoncountywy.gov or both at 307-733-4732.

Legal A Cohen-Davis	NO COMMENT	11/6/2017	11/27/2017	
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Parks and Rec Steve Ashworth	NO COMMENT	11/6/2017	11/27/2017	
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Pathways Brian Schilling (12/8/2017 4:53 PM STOL) P17-213, 214, 215 – 112 Center and 165 Deloney Comments from Teton County/TOJ Pathways Department Status: approved w/conditions		11/6/2017	11/27/2017	12/9/2017
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- Deloney Avenue pedestrian frontage
 - o Coordinate with the Wells Fargo development to provide a continuous sidewalk across the driveway access to the off-street parking for Wells Fargo (see below for an example of a continuous sidewalk). The driveway should have a ramped apron that comes up to the sidewalk level (“continuous” example), not the other way around where the sidewalk is interrupted and drops to the street/parking lot level (“discontinuous” example).
- King Street pedestrian frontage
 - o Similarly, the sidewalk across the garage access driveway on King shall be a continuous concrete sidewalk across the width of the driveway and shall remain at the level of the sidewalk on either side of the driveway.
- Parked/Idling Vehicles
 - o Vehicles idling near the main entrance to businesses and in parking areas are a common problem. In 2010, the Town of Jackson adopted a resolution to reduce unnecessary vehicle idling, and actively seeks opportunities to partner with developers to increase awareness of and discourage unnecessary vehicle idling. The applicant is encouraged to work with the Town of Jackson and the Pathways department to install “No Idling” signs (provided by the Town of Jackson) at locations throughout the parking areas and particularly at the drop off area in front of the lobby.
 - o Continuous Sidewalk example

Police Todd Smith	NO COMMENT	11/6/2017	11/27/2017	
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Type of Review Contact Notes	Status	Dates			Remarks
		Sent	Due	Received	
Public Works Jeremy Parker (11/28/2017 10:24 AM JP) Plan Review Comments - SUFFICIENT	APPROVED W/CONDITI	11/6/2017	11/27/2017	11/28/2017	
P17-213 Development Plan -214 CUP -215 BUP					
Crystal Creek Capital 112 Center Street					
November 27, 2017 Jeremy Parker, (307)733-3079					

*Please be advised that the following comments are being provided for use in preparation of future Development Plan submittals and are required for sufficiency.

In addition to the required Town of Jackson submittal requirements, The Engineering Department would like to encourage applicants to submit plans, documents, etc in electronic PDF format in addition to the standard paper submittal(s). Please submit these materials through the Planning Department.

Prior to Commercial Building Permit approval, an Encroachment Agreement for the canopy over the Public Right-of-Way and pedestrian zone of the Center Street frontage shall be approved, signed, and recorded with the Town of Jackson.

Prior to approval of the Final Development Plan, a construction-staging narrative shall be submitted for review.

Prior to Commercial Building Permit approval, the applicant shall be required to submit for Town Engineer and Planning Director approval a detailed construction staging/phasing plan and narrative on the expected public impact. Please be advised, the applicant will be required to appear in front of Town Council for final approval of the construction staging and phasing plan regarding the anticipated and/or requested public right-of-way usage and impact.

Prior to Final Development Plan approval, information pertaining to the clearances, turning movements, and accessibility to the neighboring properties which utilize the existing alleyway north of the project shall be provided for review. At a minimum, the Town's Sewer Vacuum/Jet Truck must be able to enter and exit the area with ease to perform routine maintenance.

Prior to approval of the Final Development Plan, the applicant shall finalize with the Town all necessary requirements for purchase and transfer of the alleyway portion intending to be utilized for project development purposes.

Prior to approval of the Final Development Plan, the applicant shall meet with Public Works-Engineering to discuss the plans for relocating the existing overhead powerlines underground. The Town would like to review the plan and ensure that proposed facilities and are placed in the best locations possible.

Prior to approval of the Final Development Plan, a preliminary potable water system plan shall be provided on the plans consistent with the LDR's. This plan shall include backflow device and meter locations. (The submitted Development Plan P17-213, includes information pertaining to the connection point of the proposed fire line connection and potable service line off of East Deloney Avenue.)

Prior to approval of the Final Development Plan, a water system analysis indicating the required fire flow demands and the impacts to the Town's existing system shall be required. (The submitted Development Plan P17-213 includes preliminary information pertaining to the flow demands for the proposed development.)

Prior to approval of the Final Development Plan, a preliminary sanitary sewer system plan shall be provided on the plans consistent with the LDR's. (The submitted Development Plan P17-213 includes preliminary information pertaining to the sanitary sewer connection for the proposed development.) The preliminary plan provided shows planned installation of a 4000-gallon grease interceptor on the sanitary sewer line servicing the west building, and it appears that there is a single connection for this building. Please be advised that only the kitchen/food prep/dish washing waste lines shall be connected to the grease interceptor. All other sanitary waste lines shall

Type of Review	Status	Dates		Remarks
		Sent	Due	
Contact Notes connect downstream of the grease interceptor.				
Prior to approval of the Final Development Plan, information concerning the additional wastewater flows to be delivered to the Town's system shall be required. In addition this information shall include a review of downstream impacts created from the additional flows being delivered. (The submitted Development Plan P17-213 includes preliminary information pertaining to the expected sanitary sewer flows for the proposed development.)				
Please be advised that infrastructure improvements necessary to meet the capacity demands and requirements for the proposed development shall be the responsibility of the developer. The Town of Jackson is not responsible for upsizing or extending of potable water, sanitary sewer, or storm drainage to meet development needs so long as the existing utility systems are within a reasonable distance of the subject property.				
Prior to approval of the Final Development Plan, a preliminary stormwater management plan for the site shall be provided on the plans consistent with the LDR's. (The submitted Development Plan P17-213 includes preliminary information pertaining to the expected stormwater runoff and mitigation measures for the proposed development.)				
Prior to approval of the Final Development Plan, a complete grading and erosion control plan shall be provided on the plans consistent with the LDR's. Please be advised that a plan level Grading and Erosion Control application will be required to be submitted and approved for the proposed development prior to Commercial Building Permit approval.				
Prior to approval of the Final Development Plan, site contours (existing and proposed) shall be provided on the plans beyond all property boundaries per the LDR's to ensure the development's integration into the surrounding public and private property.				
Prior to approval of the Final Development Plan, a parking and access plan per the LDR's shall be required. The dimensions of the parking spaces and drive lanes, including turning movements (both ingress and egress), shall be clearly shown on the plans for review.				
Prior to approval of the Final Development Plan, a traffic analysis for the development's impact on adjacent roadways per the LDR's shall be required. (The submitted Development Plan P17-213 includes preliminary information pertaining to the expected traffic impacts for the proposed development.)				
Prior to approval of the Final Development Plan, a pedestrian corridor plan shall be provided for review. This shall include all dimensions and elevations in relation to existing curb and future development together with ADA compliance. If awnings or canopies are proposed within the right-of-way, dimensional and drainage information (drains, downspouts, etc.) shall be included on the plans.				
Prior to approval of the Final Development Plan, all work to be completed within the Town's right-of-way shall be specifically addressed.				
Prior to approval of the Final Development Plan, a preliminary irrigation system design (if applicable) with backflow system plan shall be provided on the plans consistent with the LDR's.				
Prior to approval of the Final Development Plan, a complete and detailed landscaping plan shall be required.				
All onsite power shall be shown as underground and location(s) of transformers indicated.				
Snow storage areas for the site shall be indicated on the plans.				
Please be advised that a demolition permit shall be required for each existing structure to be removed from the site. Water and sewer services to be abandoned for the project shall be abandoned at the main during the demolition phase of the project.				
Please be advised that failure to commence with construction activities and/or show reasonable progress within two (2) years of Building Permit approval shall result in pulling of appropriate bonds in order to abandon utility connections to Town of Jackson utility systems (Water, Wastewater, Storm Drainage) and/or repair impacted areas of the Town right-of-way.				
START Darren Brugmann	NO COMMENT	11/6/2017	11/27/2017	

Type of Review Contact Notes	Status	Dates			Remarks
		Sent	Due	Received	
TC Housing Authority Stacy Stoker (1/22/2018 1:22 PM STOL) MEMORANDUM	APPROVED W/CONDITI	11/6/2017	11/27/2017	1/22/2018	

To: Paul Anthony
Principal Planner, Town of Jackson Planning and Building

From: Stacy Stoker
Housing Manager, Teton County Housing Authority

Re: The Center Street Project
Final Development Plan, CUP, and BUP

Date: January 18, 2018

The applicant is requesting a Development Plan, CUP, and BUP for the property located at 112 Center Street. Jackson/Teton County Affordable Housing Department (Housing Dept.) staff's review is based on Part 2 and Appendix S of the Jackson/Teton County Affordable Housing Guidelines / Rules and Regulations.

JACKSON/TETON COUNTY HOUSING GUIDELINES / RULES AND REGULATIONS REVIEW
(PART 2/APPENDIX S)

HOUSING MITIGATION PLAN: The applicant has submitted a complete Housing Mitigation Plan.

Workforce Housing

The applicant is proposing a 726 SF two-bedroom Accessory Residential Unit (ARU) that will be restricted for occupancy by households who are employed in Teton County. There are no limits on income or rent for ARUs. The Housing Rules and Regulations do not currently have livability standards for ARUs. However, the unit seems to be functional with windows in both bedrooms and the living room.

Employee Housing:

Dormitories. The applicant is proposing two 1072 SF four-bedroom dorm units. The dorm units are equipped with a kitchen, living area and a bathroom. The floor-plan shows a single bed in each bedroom so it appears the plan is to house one person in each bedroom. The standards in the Housing Rules and Regulations require a bathroom for shared use by no more than four persons. No more than one person per bedroom should be allowed to occupy these dorm units.

A minimum of 150 SF of living and sleeping space per person is required. These units exceed this requirement as long as there will be one person per bedroom as the applicant appears to indicate.

An additional 20 net SF of storage per dorm occupant is required. The applicant has indicated that they are providing additional storage for each bedroom. Square footage is not indicated so the Housing Department is not able to determine if this requirement is being met.

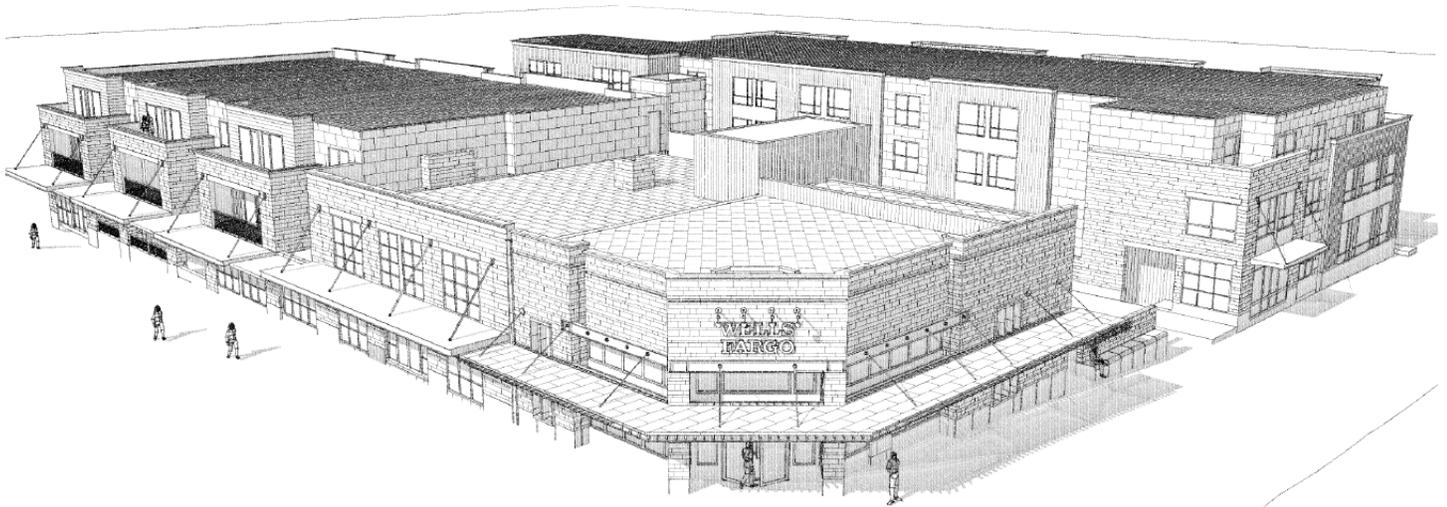
Employee Housing Unit:

The applicant is proposing an 885 SF three-bedroom Employee Housing Unit. The size of this unit is 65 SF less than the minimum size requirement for a three-bedroom unit. 10 SF of storage space is required per bedroom. The applicant indicates they are providing storage, however, the SF is not provided), and access to outdoor space, such as a deck, patio, or common green space within the development that is at least 2% the size of the unit is required. This does not appear to be available.

A 20% reduction in the minimum size requirements is allowed if the following criteria are met.

- Above average natural light – exterior windows in every living space and bedroom; The bedrooms do not appear to have windows. It is unclear on the floor plans.
- No more than 15% of living space is stairways and hallways. This appears to be met, but the SF of rooms are not provided so it is unclear.
- 100% above grade. This is being met.

Type of Review	Status	Dates			Remarks
		Sent	Due	Received	
Contact					
Notes					
Thank you for the opportunity to review this application. Please contact me with any questions.					



THE CENTER STREET PROJECT

112 Center Street and 165 East Deloney Avenue

Development Plan, Conditional Use Permit
and Basic Use Submittal

November 2, 2017 (Revised January 10, 2018)



Crystal Creek Capital Real Estate Advisors, LLC

P.O. Box 844 | 275 Veronica Lane, Suite 300 | Jackson, Wyoming 83001 | Telephone 307-733-4733

Paul Anthony
Principal Planner
Town of Jackson
P.O. Box 1687
Jackson, WY 83001

Final Development Plan and Conditional Use Permit for 112 Center Street and 165 East Deloney

October 31, 2017

Paul,

Please accept this Final Development Plan application ("FDP") for the mixed-use redevelopment located on 112 Center St and 165 East Deloney. As a continuation of our Sketch Plan, which was unanimously approved on April 17, 2017, this project is a mixed-use development that includes a high-end hotel, retail, meeting spaces, and a restaurant and bar. The architectural design and building materials blend with the western character of the Town Square. In addition, this application includes a Conditional Use Permit application for dormitory employee housing. A separate application includes a request to purchase the 10-foot wide alley that bisects the property, which you will recall, is consistent with our discussions during our Sketch Plan approval process.

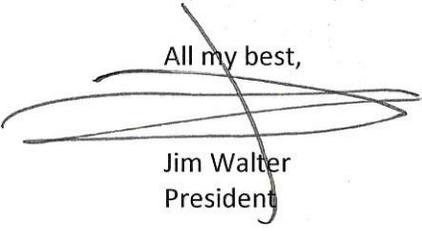
Key Elements to the FDP:

- Our application continues to comply with all Land Development Regulations ("LDR's").
- There are no requests for variances, waivers, or special exceptions to the LDR's.
- This application contains all the previously approved Sketch Plan elements that implement the Teton County Comprehensive Plan.
- Our application exceeds the employee housing mitigation requirements.
- This project offers an opportunity to replace the dysfunctional and hazardous use of a one-way street which currently serves two-way traffic to a two-way street and includes a pedestrian path.

The details and supporting materials to the application are contained herein. We thank you for your guidance throughout this process and we look forward to working with you, your co-workers, and our elected officials in the coming months.

If you have any questions along the way, please feel free to contact me at your convenience.

All my best,



Jim Walter
President



PLANNING PERMIT APPLICATION
Planning & Building Department
Planning Division

150 E Pearl Ave. | ph: (307) 733-0440
 P.O. Box 1687 | fax: (307) 734-3563
 Jackson, WY 83001 | www.townofjackson.com

For Office Use Only

Fees Paid _____

Check # _____ Credit Card _____ Cash _____

Application #s _____

PROJECT.

Name/Description: _____

Physical Address: _____

Lot, Subdivision: _____ PIDN: _____

OWNER.

Name: _____ Phone: _____

Mailing Address: _____ ZIP: _____

E-mail: _____

APPLICANT/AGENT.

Name: _____ Phone: _____

Mailing Address: _____ ZIP: _____

E-mail: _____

DESIGNATED PRIMARY CONTACT.

_____ Owner _____ Applicant/Agent

TYPE OF APPLICATION. *Please check all that apply; see Fee Schedule for applicable fees.*

- | | | |
|------------------------------------|---------------------------------------|--------------------------------------|
| Use Permit | Physical Development | Interpretations |
| _____ Basic Use | _____ Sketch Plan | _____ Formal Interpretation |
| _____ Conditional Use | _____ Development Plan | _____ Zoning Compliance Verification |
| _____ Special Use | | |
| Relief from the LDRs | Development Option/Subdivision | Amendments to the LDRs |
| _____ Administrative Adjustment | _____ Development Option Plan | _____ LDR Text Amendment |
| _____ Variance | _____ Subdivision Plat | _____ Zoning Map Amendment |
| _____ Beneficial Use Determination | _____ Boundary Adjustment (replat) | _____ Planned Unit Development |
| _____ Appeal of an Admin. Decision | _____ Boundary Adjustment (no plat) | |

PRE-SUBMITTAL STEPS. *Pre-submittal steps, such as a pre-application conference, environmental analysis, or neighborhood meeting, are required before application submittal for some application types. See Section 8.1.5, Summary of Procedures, for requirements applicable to your application package. If a pre-submittal step is required, please provide the information below. If you need assistance locating the project number or other information related to a pre-submittal step, contact the Planning Department. **If this application is amending a previous approval, indicate the original permit number.***

Pre-application Conference #: _____ Environmental Analysis #: _____
Original Permit #: _____ Date of Neighborhood Meeting: _____

SUBMITTAL REQUIREMENTS. *Twelve (12) hard copies and one (1) digital copy of the application package (this form, plus all applicable attachments) should be submitted to the Planning Department.. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Partial or incomplete applications will be returned to the applicant.*

Have you attached the following?

_____ **Application Fee.** Fees are cumulative. Applications for multiple types of permits, or for multiple permits of the same type, require multiple fees. See the currently adopted Fee Schedule in the Administrative Manual for more information.

_____ **Notarized Letter of Authorization.** A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. If the owner is a partnership or corporation, proof that the owner can sign on behalf of the partnership or corporation is also required. Please see the Letter of Authorization template in the Administrative Manual for a sample.

_____ **Response to Submittal Checklist.** All applications require response to applicable review standards. These standards are outlined on the Submittal Checklists for each application type. If a pre-application conference is held, the Submittal Checklists will be provided at the conference. If no pre-application conference is required, please see the Administrative Manual for the applicable Checklists. The checklist is intended as a reference to assist you in submitting a sufficient application; submitting a copy of the checklist itself is not required.

FORMAT.

The main component of any application is demonstration of compliance with all applicable Land Development Regulations (LDRs) and Resolutions. The submittal checklists are intended to identify applicable LDR standards and to outline the information that must be submitted to sufficiently address compliance with those standards.

For some submittal components, minimum standards and formatting requirements have been established. Those are referenced on the checklists where applicable. For all other submittal components, the applicant may choose to make use of narrative statements, maps, drawings, plans and specifications, tables and/or calculations to best demonstrate compliance with a particular standard.

Note: *Information provided by the applicant or other review agencies during the planning process may identify other requirements that were not evident at the time of application submittal or a Pre-Application Conference, if held. Staff may request additional materials during review as needed to determine compliance with the LDRs.*

Under penalty of perjury, I hereby certify that I have read this application and associated checklists and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.

Signature of Owner or Authorized Applicant/Agent

Date

Name Printed

Title

LETTER OF AUTHORIZATION

Wells Fargo Bank, N.A., "Owner" whose address is: c/o Corporate

Properties Group, 333 Market Street, 11th Floor, MAC #A0109-112, San Francisco, CA 94105 Attn: Mr. Arthur Barbour

(NAME OF ALL INDIVIDUALS OR ENTITY OWNING THE PROPERTY)

_____, as the owner of property
more specifically legally described as: 112 Center Street and 165 East Deloney Avenue,
Town of Jackson, Wyoming 83001

(If too lengthy, attach description)

HEREBY AUTHORIZES James D. Waller, President of Crystal Creek Capital Real Estate Advisors, LLC as agent to represent and act for Owner in making application for and receiving and accepting on Owners behalf, any permits or other action by the Town of Jackson, or the Town of Jackson Planning, Building, Engineering and/or Environmental Health Departments relating to the modification, development, planning or replatting, improvement, use or occupancy of land in the Town of Jackson. Owner agrees that Owner is or shall be deemed conclusively to be fully aware of and to have authorized and/or made any and all representations or promises contained in said application or any Owner information in support thereof, and shall be deemed to be aware of and to have authorized any subsequent revisions, corrections or modifications to such materials. Owner acknowledges and agrees that Owner shall be bound and shall abide by the written terms or conditions of issuance of any such named representative, whether actually delivered to Owner or not. Owner agrees that no modification, development, platting or replatting, improvement, occupancy or use of any structure or land involved in the application shall take place until approved by the appropriate official of the Town of Jackson, in accordance with applicable codes and regulations. Owner agrees to pay any fines and be liable for any other penalties arising out of the failure to comply with the terms of any permit or arising out of any violation of the applicable laws, codes or regulations applicable to the action sought to be permitted by the application authorized herein.

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.

OWNER: Wells Fargo Bank, N.A.

By: *Arthur Barbour*

(SIGNATURE) (SIGNATURE OF CO-OWNER)

Title: Arthur Barbour V.P.

(If signed by officer, partner or member of corporation, LLC (secretary or corporate owner) partnership or other non-individual Owner)

STATE OF California)
)SS.
COUNTY OF _____)

The foregoing instrument was acknowledged before me by Arthur Barbour this _____ day of _____, 200__.

WITNESS my hand and official seal.

(Seal)

(Notary Public)

My commission expires:

please see Attached

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

CIVIL CODE § 1189

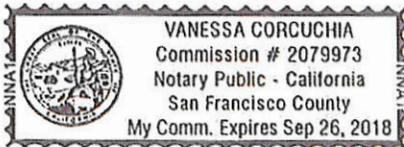
A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California)
County of San Francisco)
On November 23, 2014 before me, Vanessa Corcuchia, Notary Public,
Date Here Insert Name and Title of the Officer
personally appeared Arthur Barbour
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.



Signature [Handwritten Signature]
Signature of Notary Public

Place Notary Seal Above

OPTIONAL

Though this section is optional, completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document

Title or Type of Document: _____ Document Date: _____

Number of Pages: _____ Signer(s) Other Than Named Above: _____

Capacity(ies) Claimed by Signer(s)

Signer's Name: _____

Corporate Officer — Title(s): _____

Partner — Limited General

Individual Attorney in Fact

Trustee Guardian or Conservator

Other: _____

Signer Is Representing: _____

Signer's Name: _____

Corporate Officer — Title(s): _____

Partner — Limited General

Individual Attorney in Fact

Trustee Guardian or Conservator

Other: _____

Signer Is Representing: _____

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PROJECT OVERVIEW & COMPLIANCE WITH CONDITIONS OF APPROVAL

PROJECT OVERVIEW

COMPLIANCE with CONDITIONS OF APPROVAL

Project Overview

The Center Street Project occupies one of the most iconic locations in the Town of Jackson, and is thoughtfully designed to be consistent with the existing character of Town Square. This mixed-use project will add vitality to our downtown core and provide a significant upgrade to the existing buildings on an acre of land bounded by Center, Deloney and King Streets. The goal for the project is to create an active, pedestrian-friendly and inviting place that incorporates a mix of uses that will be attractive to tourists and locals alike.

Multiple Uses

The Center Street Project consists of a 96-room hotel, restaurant, bar, retail, meeting rooms, roof deck, underground parking, and employee housing.

LDR Compliance

The site spans two zoning districts, the Town Square and Downtown Core, and is subject to the Lodging Overlay. Our proposal complies with all regulations in the two zoning districts and received sketch plan approval from the DRC and Town Council. No variances or waivers are sought.

Architectural Design

The architectural character enhances the established western character of the Town Square district while incorporating large windows and transparency at the street level. The approximately 71,000 total square feet (plus employee housing) is broken into two separate buildings, connected across the alley by a hallway.

The 185-foot façade along Center Street will be varied with building walls that step back, canopies over the sidewalk, and setbacks for balconies, adding depth to what would otherwise be a flat street wall. Building materials and lighting will be finalized by December 1 and submitted for review by the Design Review Committee. The materials and lighting will be compatible with the western character of the Town Square and will contribute to the architectural theme of the building.

Alley Development

The development site currently is divided by a ten-foot-wide alley that has provided for vehicular access to the neighboring property and sewer and power lines. This ten-foot one way alley is the only right-of-way to service two-way vehicular traffic needs from the adjacent property owners. The Town of Jackson Fire Marshall has noted the current alley and its use as a hazard. Crystal Creek Capital proposes to purchase and develop the alley as part of the redevelopment of the site. The Center Street Project connects the two buildings with an enclosed hallway that crosses the alley and a below grade parking garage. As part of building the hallway and below grade parking, an existing overhead power line will be relocated and buried. The alley is no longer needed for a sewer line as result of this redevelopment, and

a new 20 – foot wide, two-way access easement from King Street provides improved and functional access to the neighboring properties.

Parking – Below Grade and Dedicated Center Street Spaces

Parking for the proposed development is provided on site in a parking structure beneath each building and is accessed from a location that is internal to the development. Bicycle racks for a minimum of eight bike parking spaces are included in the car court accessed off King Street. The site plan shows three alternative locations for the bike parking.

As part of this redevelopment project, the applicant proposes to pay the Town of Jackson appropriate compensation for the exclusive use of five parking spaces on Center Street that would be located directly in front of the hotel entrance. These spaces will be used briefly by guests checking into the hotel. After designating these five spaces for hotel use, there will be a net gain of one parking space for public use along Center Street. This net gain (total gain of six) results from replacing two existing driveway curb cuts with new angled parking spaces. These five drop-off spaces are not counted as part of the required parking total.

Pedestrian Friendly Walkways

A main design objective is to prioritize the development of great pedestrian spaces and connections. Along both Center and Deloney Streets the building is setback 13-feet from back of curb. This creates an eight-foot-wide clear, continuous pedestrian walkway along the project frontages. A five-foot-wide buffer area of pavers and street trees in grates is proposed to separate pedestrians from the street and provide snow storage space. The Center Street Project implements all Town of Jackson streetscape standards and handicap ramps will be installed where required.

A cantilevered canopy is installed along Center Street. The canopies cover nine feet of walkway width and provide shelter from the elements, a comfortable entry for hotel and restaurant guests and a clear walkway for all pedestrians. The canopy covers the 75% of the building frontage as required by LDR's. An encroachment agreement with the Town will be executed to allow the canopies to extend into the public right-of-way.

Conditions of Approval for Sketch Plan & CUP

Below are the conditions of approval for the sketch plan and CUP. Our responses follow each enumerated condition.

1. The applicant shall address comments from the DRC and staff and present the project to the DRC prior to Development Plan approval.

The submitted plan addresses the DRC and staff comments that were made about the sketch plan. A submittal package for the Final Plan will be submitted by December 1 for further DRC review, and the applicant will endeavor to address any additional comments from the committee.

2. If the five valet parking spaces within the Center Street ROW are approved for the exclusive use of the hotel, the applicant shall provide the Town the required consideration prior to building permit approval.

If the five spaces on Center Street are approved for exclusive use of the hotel, the required consideration will be paid prior to the submittal of a building permit application. The applicant will work with Town of Jackson staff to finalize a written agreement to designate the parking spaces for hotel use.

3. The applicant shall submit with the Development Plan a draft deed restriction to meet the employee housing mitigation requirement for the project that is approved by the Housing Department.

Included in this submittal is a draft deed restriction and the applicant will work with the Affordable Housing Department staff to finalize this restriction before obtaining a building permit. This development contains more employee housing than is required by the LDR. This housing overage is classified as an Accessory Residential Unit and therefore, an ARU deed restriction is included in this application.

4. The applicant shall obtain approval for any encroachment of the sidewalk canopies into the Center Street ROW prior to approval of the Development Plan.

Sidewalk canopies will extend approximately nine feet into the Center Street ROW for about 75% of the building frontage, as required by the LDR. See a section in the Engineering Report that is included in this submittal for the dimensional details of the proposed encroachment. The applicant will work with Town of Jackson staff to finalize an encroachment agreement. Delaying the preparation of the agreement allows the precise location of the canopies to be determined and included in a legal description that will be a part of the agreement.

5. The applicant shall obtain approval for any encroachments or easements into the Town alley, or vacation of the alley, prior to approval of the Development Plan.

A separate application has been submitted to purchase the alley and replace it with a 20-foot wide access easement crossing the property from King Street.

6. The applicant shall ensure through the provision of necessary easements and/or other instruments that all existing vehicular access rights through the applicant's property for adjacent properties shall be protected, if not improved, as part of the final design of the project.

A separate application has been submitted to purchase the alley and replace it with a 20-foot wide access easement crossing the property from King Street. The new easement will be improved and maintained for all-weather access.

7. The vehicular entrances on Deloney Avenue and King Streets shall provide adequate clearance heights for the Fire Marshall.

See the dimensions on the building plans that demonstrate compliance with this condition.

8. As part of the Development Plan submittal, the east-facing and south-facing facades on the Deloney building that are shown as 10' from the property line shall be revised to provide structural elements at 5' from the property line to meet the LDRs.

See the site plan that demonstrates compliance with this condition.

9. Any dormitory proposed for employee housing shall require the submittal of a CUP as part of the Development Plan.

See the attached CUP application and Findings of Approval for the proposed dormitory.

LDR COMPLIANCE

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Requirements	Proposed Town Square	Proposed Downtown Core	Comply/Not Comply
FAR Tn. Sq. 1.83 DC 1.30 Alley divided evenly btw. 2 dist. (2,864 s. f.) Total 71,477	70,995 total property, excluding employee housing		complies with inclusion of 1,333 s. f. from alley FAR
Max. Building Size Tn. Sq. 15,000 / 35,000 DC n/a	34,238	n/a	CUP issued with sketch plan
Building Height Tn. Sq. 35 Tn. Sq. @ 110% 38.5 DC 42/46	35 38.5 at NE corner	40	complies
Number of Floors In LO 3 Out of LO 2	In LO 3 Out LO 2	In LO 3	complies
Building Width Tn. Sq. n/a DC 80% lot width	n/a	80%	complies
Setbacks Street Tn. Sq. 10 DC 13 back curb	13 back curb	13 back curb	complies
Side	0	5	complies
Rear	0	0	complies
3 rd Floor	10	10	complies
Parking Lodging 72.0 Restaurant 29.0 Bar 26.8 Retail 6.4 ARUs, Dorms 4.0	76, plus 5 valet spaces		complies 67.9 credits and on-street parking applied to retail, restaurant and bar
Employee Housing Lodging 2,956.6 Restaur./bar 1,228.9 Retail 211.0 Meeting room 160.8	4,892		complies 585.3 sq. ft. credit from existing development

RESPONSES TO SUBMITTAL CHECKLIST

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Application	Included in submittal
LOA	Included in submittal
Fees	Paid on submittal
Review Fees	Will be paid when billed
Notice Fee	Will be paid when billed
Digital Submission	Will be submitted upon Sufficiency
Narrative Description	See Cover Letter & Project Description
Development Program	See Project Description & Program
Site Plan	See Site & Building Plans
Floor Plans	See Site & Building Plans
N'borhood Meeting	Completed on 1/23/17
Posted Notice	Will be posted upon scheduling of public hearings
Nonconformities	n/a
Structure Location, Mass	See LDR Compliance Chart; Site & Building Plans
Maximum Scale	34,238 sq. ft. in Center Street building, CUP approved
Building Design	Site & Building plans approved by DRC at sketch plan
Site Development	See Site Plan; No natural resources or applicable environmental stds.
Fencing	No fencing proposed
Scenic Standards	All lighting will comply with regulations; No SRO
Landscaping	See site plan
Signs	Signs will be detailed at later date and will comply with regulations
Grading, Storm water	See Engineering Report
Design Guidelines	Site & building plans approved by DRC and Town Council at sketch plan
Allowed Uses	Lodging w. meeting room; Retail; Restaurant / Bar; ARUs
Use Requirements	All uses will comply with use requirements
Parking Required	See Program Description & Program
Parking Location	All parking on-site and below grade; screened from street
Parking Maintenance	All parking will be maintained per regulations
Park / Loading Standards	Loading will occur on-site
Downtown Park. District	Parking credits and on-street parking applied to non-lodging / residences
Employees Housed	See Housing Mitigation Plan
Max. Scale of Use	Retail and Restaurant / Bar comply; other uses have no limit

Operational Standards	
Outside Storage	No outside storage is proposed
Refuse / Recycling	See Site Plan for screened refuse container
Noise	Uses will comply with regulations
Vibration	Uses will comply with regulations
Electrical Disturbances	Uses will comply with regulations
Fire / Explosive Hazards	Uses will comply with regulations
Subdivision Options	No subdivision proposed
Development Options	No development options proposed
Additional Zone Stds.	TS pedestrian setback – 10 ft.; Parking credits and on-street parking used for restaurant/bar; alternative side setback in DC
Lighting	Will comply with regulations
SRO	n/a; Lighting will comply with regulations
Natural Hazards	No natural hazards on site
Landscape Standards	See site plan for landscaping
Sign Standards	Signs will comply with regulations
Grading, Storm water	See Engineering Report
Design Guidelines	Site & building plans approved by DRC and Town Council at sketch plan
Allowed Uses	Lodging; restaurant / bar; ARUs comply with regulations
Parking, Loading	See Project Description & Program and Site Plan; On-site below grade parking; Will comply with maintenance & loading regulations
Employee Housing	See Housing Mitigation Plan
Operational Standards	See Site Plan for refuse; Will comply with regulations
Subdivision Standards	No subdivision proposed
Affordable Housing	n/a
Exactions	n/a
Transportation Facilities	Site fronts existing public streets; See Traffic Analysis in Engineers Report
Utilities	Will connect to public water & sewer; underground power lines; other utilities n/a

PROPOSED DEVELOPMENT WITH CIVIL PLANS



THE CENTER STREET PROJECT
CRYSTAL CREEK CAPITAL DEVELOPMENT COMPANY, LLC

FINAL DEVELOPMENT PACKAGE SUBMITTAL
NOVEMBER 3, 2017

EXECUTIVE ARCHITECT
CARNEY LOGAN BURKE ARCHITECTS, P.C
215 SOUTH KING STREET
JACKSON, WY 83001

ARCHITECT OF RECORD
IBI GROUP
10 EXCHANGE PLACE
SALT LAKE CITY, UT 84111

INTERIOR ARCHITECT
TRUEXCULLINS, INC.
209 BATTERY STREET
BURLINGTON, VT 05401

CIVIL ENGINEER
NELSON ENGINEERING
430 CACHE STREET
JACKSON WY, 83001

GENERAL CONTRACTOR
GE JOHNSON CONSTRUCTION CO, INC
5613 DTC PKWY #450
GREENWOOD VILLAGE CO, 80111

LANDSCAPE ARCHITECT
IBI GROUP
10 EXCHANGE PLACE
SALT LAKE CITY, UT 84111

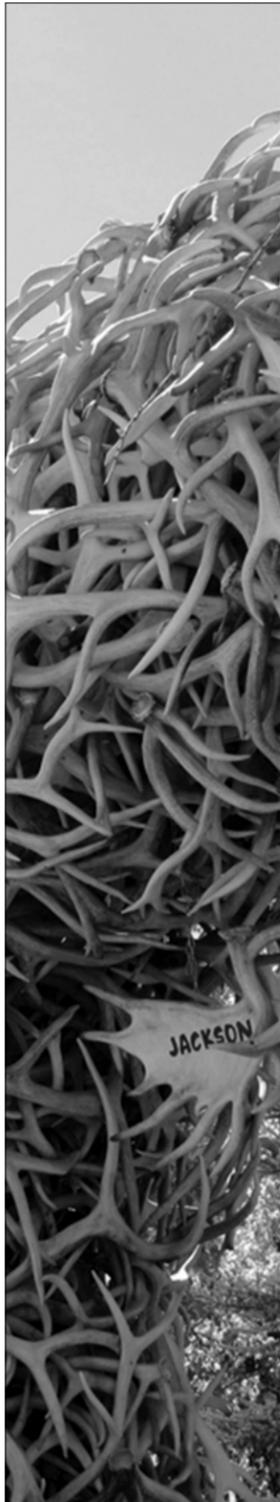
STRUCTURAL ENGINEERING
KL&A, INC.
1717 WASHINGTON AVENUE, SUITE 100
GOLDEN, CO 80401

MEP ENGINEERING
ENERGY 1, LLC
235 EAST BROADWAY
JACKSON WY, 83001

PLANNING CONSULTANT
COLLINS PLANNING ASSOCIATES
P.O. BOX 7441
JACKSON WY, 83002

DRAWING INDEX

3D SKETCH	
3D SKETCH	
BASEMENT FLOOR PLAN	A200
MAIN LEVEL FLOOR PLAN	A210
SECOND LEVEL FLOOR PLAN	A220
THIRD LEVEL FLOOR PLAN	A230
EXTERIOR ELEVATIONS	A301
EXTERIOR ELEVATIONS	A302
EXTERIOR ELEVATIONS	A303
LANDSCAPE SITE PLAN	L1.0
EXISTING SITE PLAN	C1.0
EXISTING UTILITY RELOCATION PLAN	C2.0
PROPOSED SITE & UTILITY PLAN	C2.1
SITE GRADING PLAN	C3.0
ROAD & GRADING DETAILS	C4.1
STANDARD WATER & SEWER DETAILS	C4.2
STORM WATER DETAILS	C4.3



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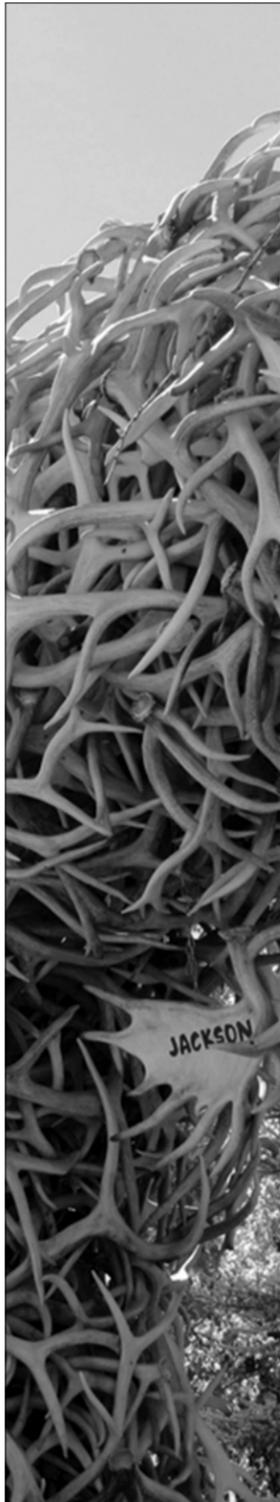
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THE CENTER STREET PROJECT 1619-00

SKETCH PLAN SUBMITTAL

3D Sketch

11/2/17



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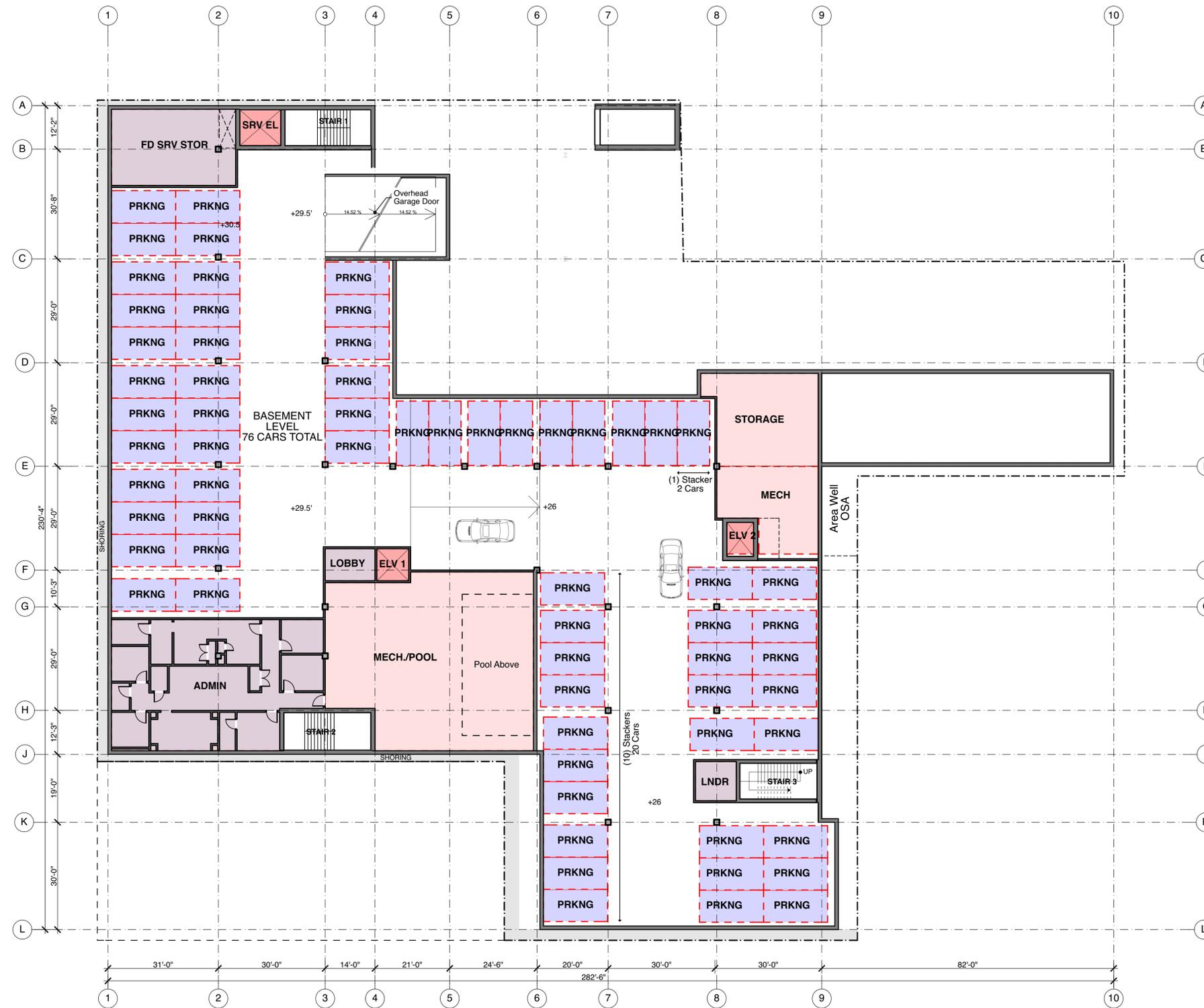
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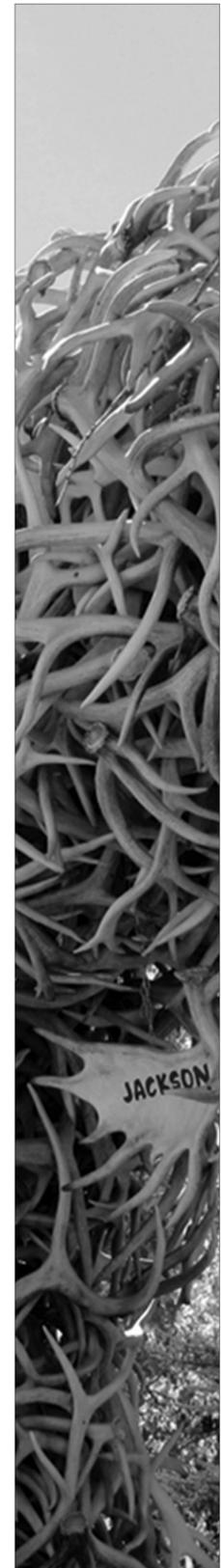
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SKETCH PLAN SUBMITTAL

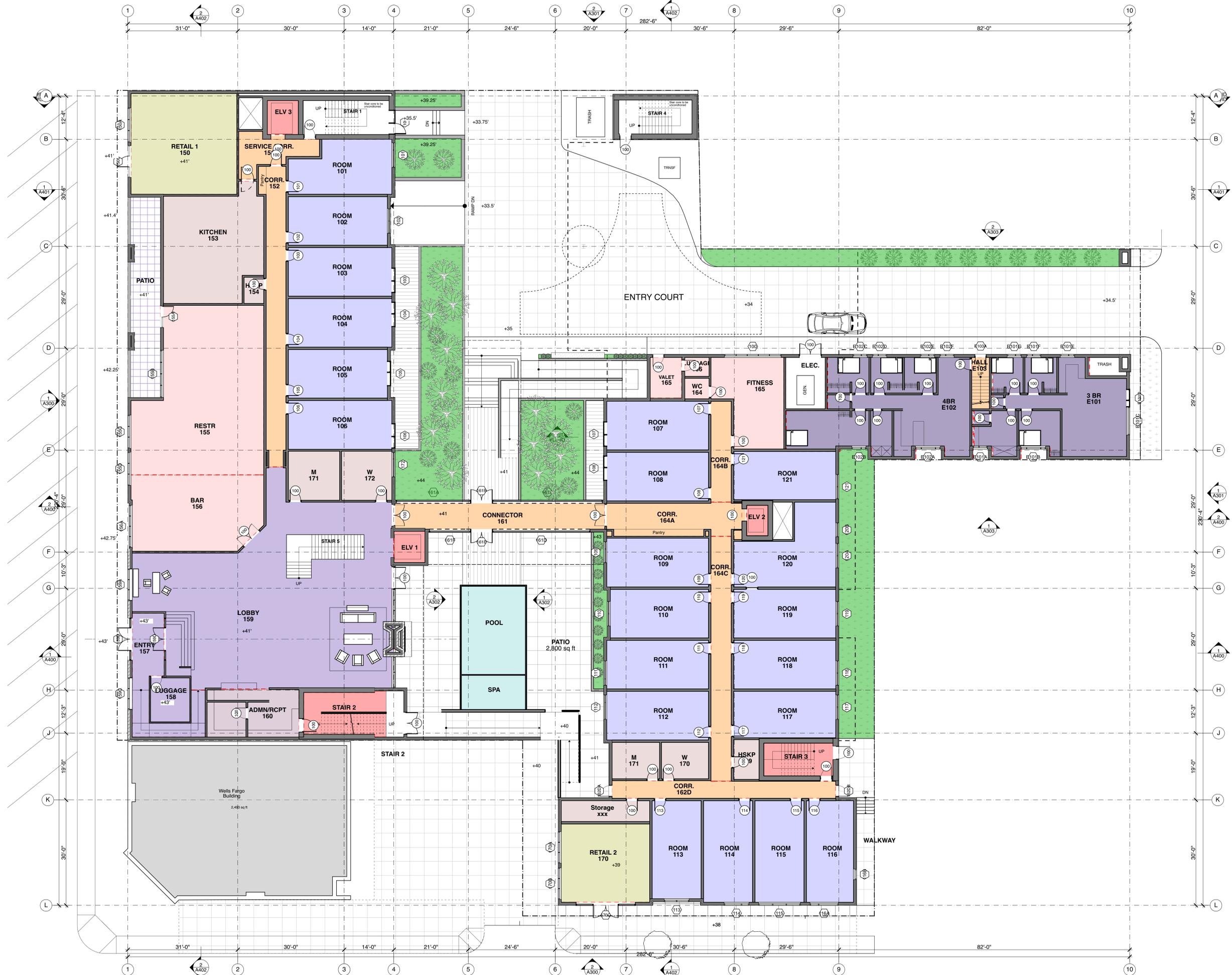
3D Sketch

11/2/17



Level 0 Plan
SCALE: 1/16" = 1'-0"





1 Level 1 Floor Plan
SCALE: 1" = 10'

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CENTER STREET HOTEL
 SD Pricing 1619.00
 Level 1 Floor Plan
A210
 1/10/18



1 Level 2 Floor Plan
SCALE: 1" = 10'





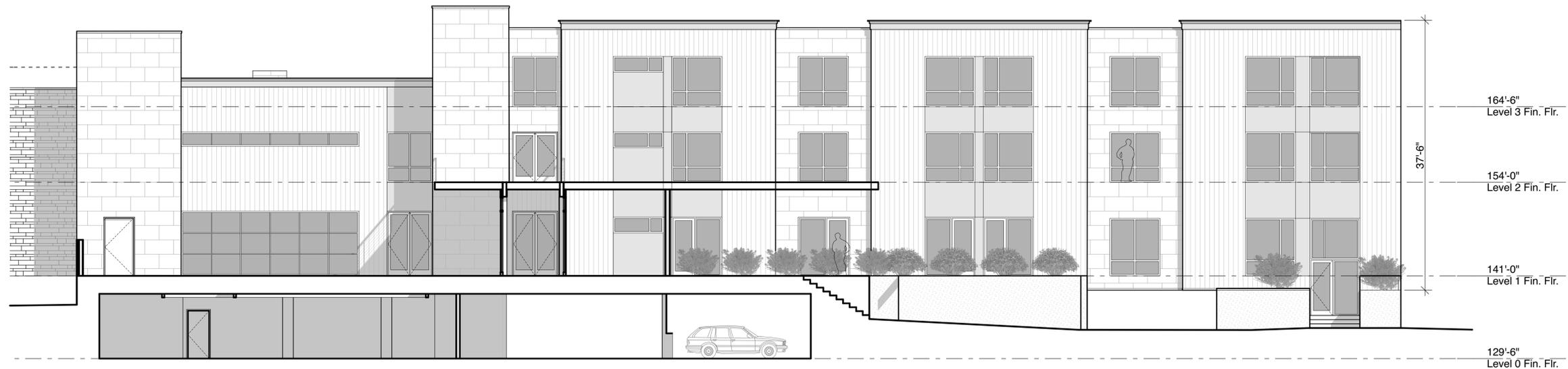
1 Level 3 Floor Plan
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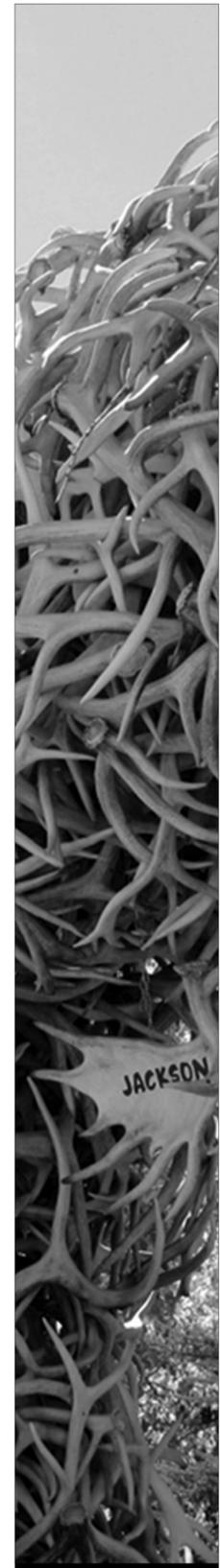
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SCALE: 1/8" = 1'-0"



West Building East Elevation

SCALE: 1/8" = 1'-0"

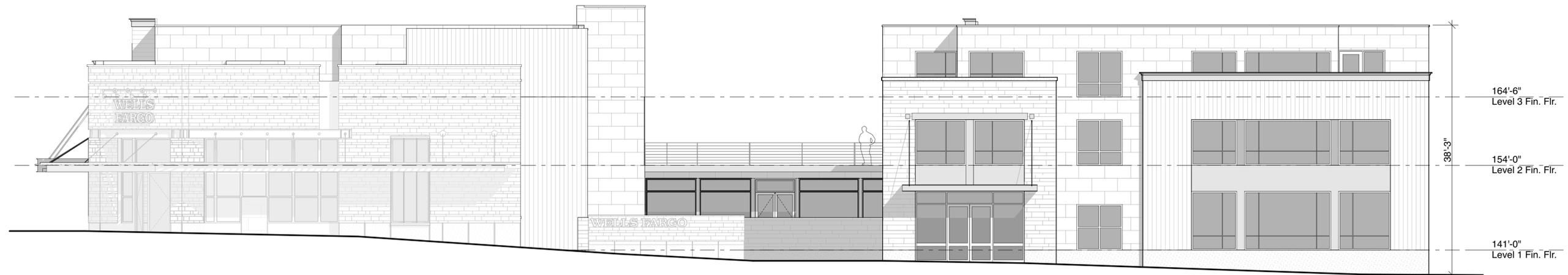


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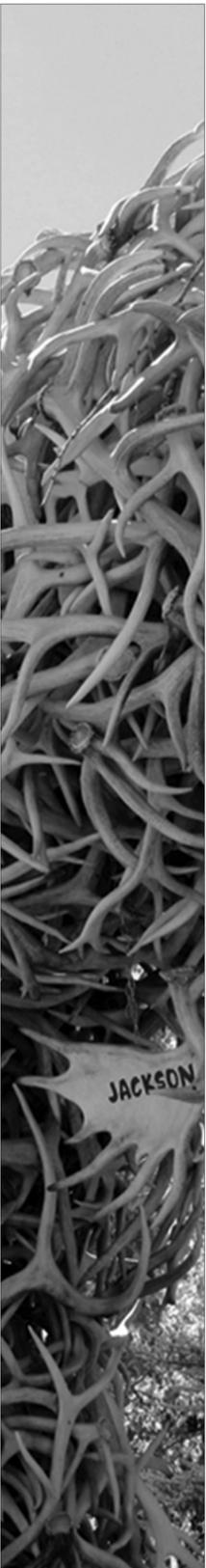
Exterior Elevations
A301
10/31/2017



1 South Elevation
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1 East Elevation
SCALE: 1/8" = 1'-0"

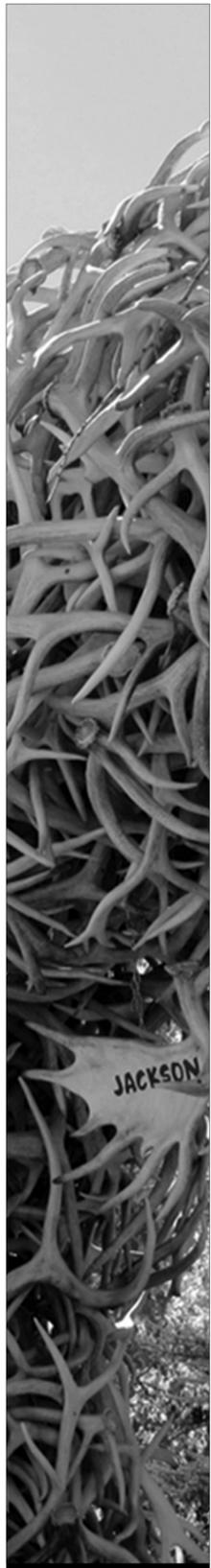


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THE CENTER STREET PROJECT
FDP Submittal Draft 1619-00

Exterior Elevations
A302
10/31/2017

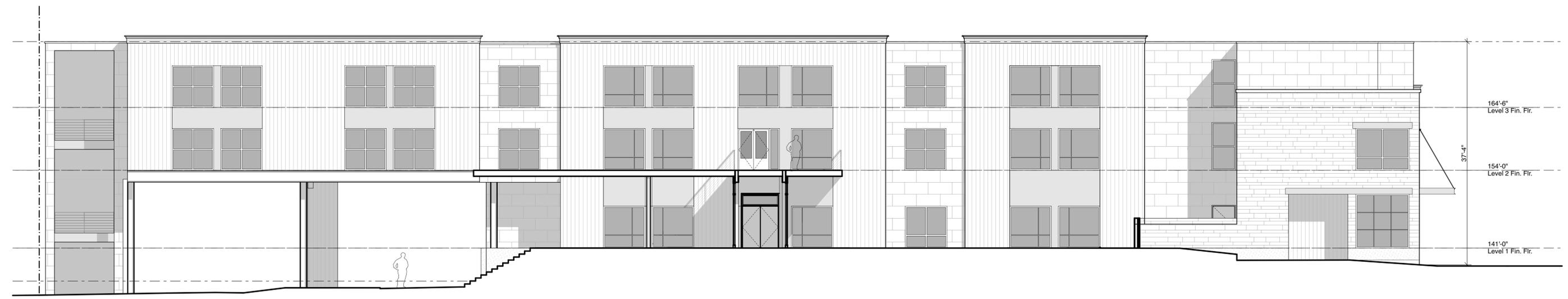


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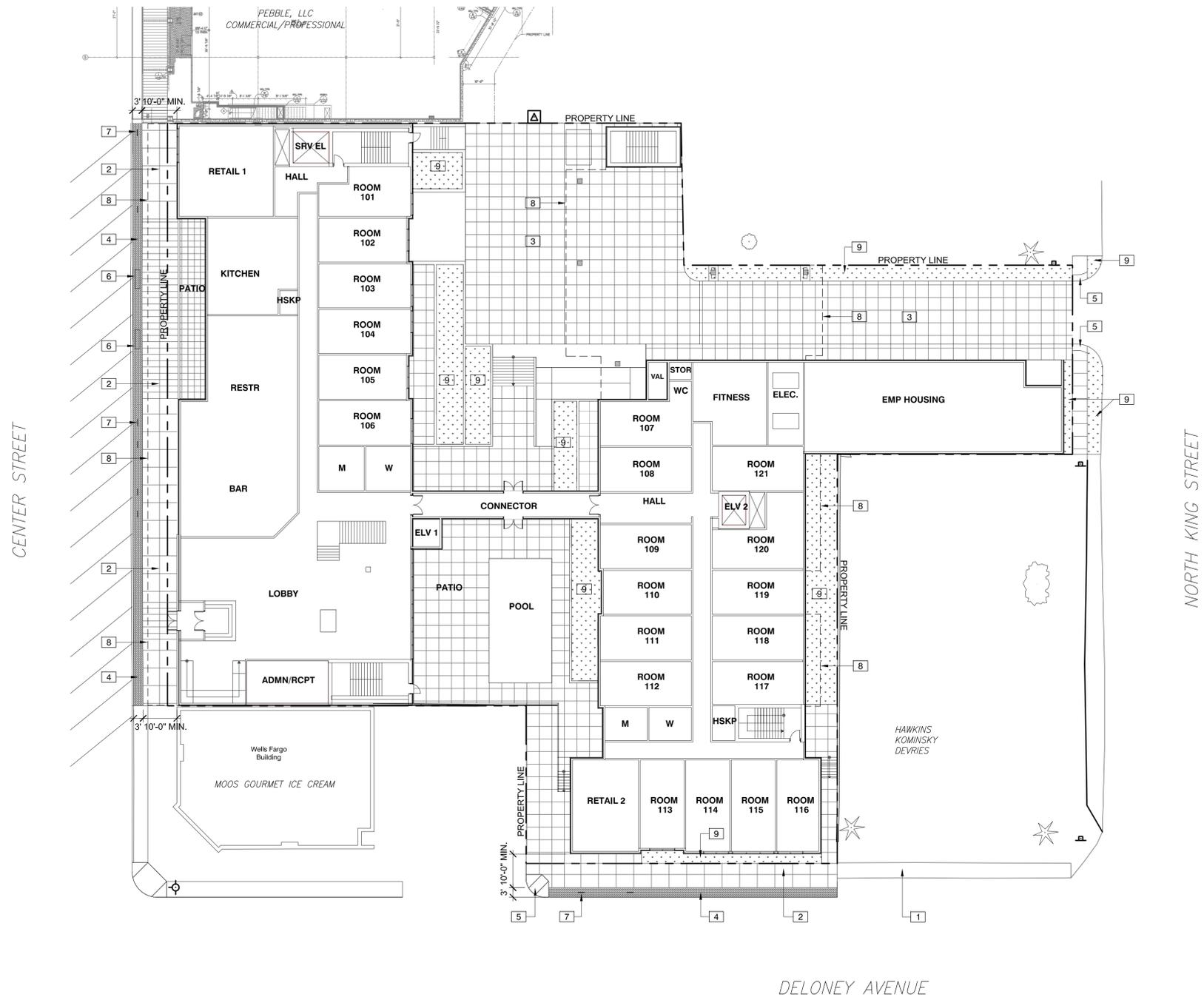
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THE CENTER STREET PROJECT
FDP Submittal Draft 1619-00

Exterior Elevations
A303
10/31/2017



1 East Building - West Elevation
SCALE: 1/8" = 1'-0"



REFERENCE NOTES SCHEDULE

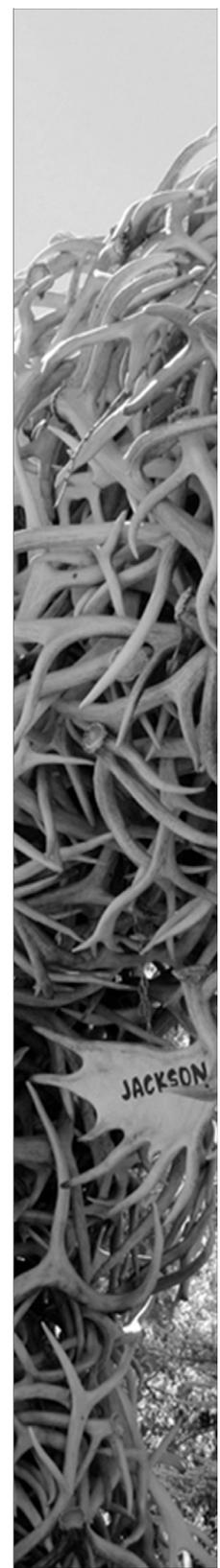
SYMBOL	DESCRIPTION
1	EXISTING SIDEWALK
2	CONCRETE PAVING - SIDEWALK
3	CONCRETE PAVING - ENTRY COURT
4	PAVERS
5	ADA RAMP
6	BENCH
7	BIKE RACK, TYP.
8	BUILDING OVERHANG
9	PLANTING AREA

NOTES:

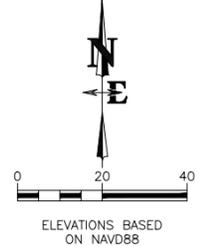
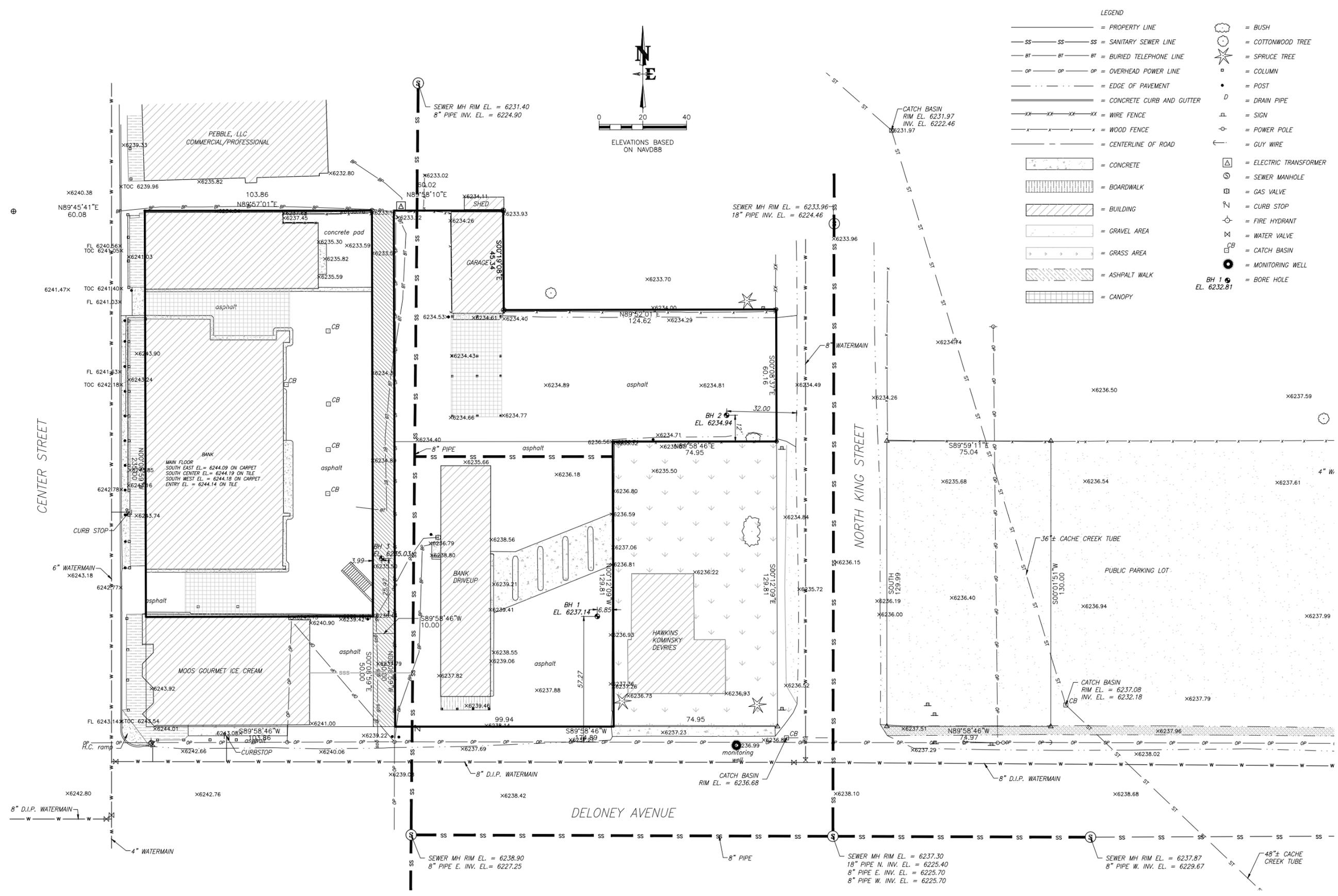
THIS PROJECT IS LOCATED IN THE DOWNTOWN CORE AND TOWN SQUARE DISTRICTS. THERE IS NO MINIMUM LANDSCAPE REQUIREMENT FOR THESE DISTRICTS.

TOTAL PLANTING REQUIRED = 0
 TOTAL PLANTING PROVIDED = 3,426 SF

ALL PLANTING AREAS SHALL BE WATERED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH APPROVED BACKFLOW PREVENTION DEVICE.



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DATE	SURVEYED	ENGINEERED	DRAWN	CHECKED	APPROVED
10/24/2017					

NELSON ENGINEERING
P.O. BOX 1599, JACKSON WYOMING (307) 783-2087

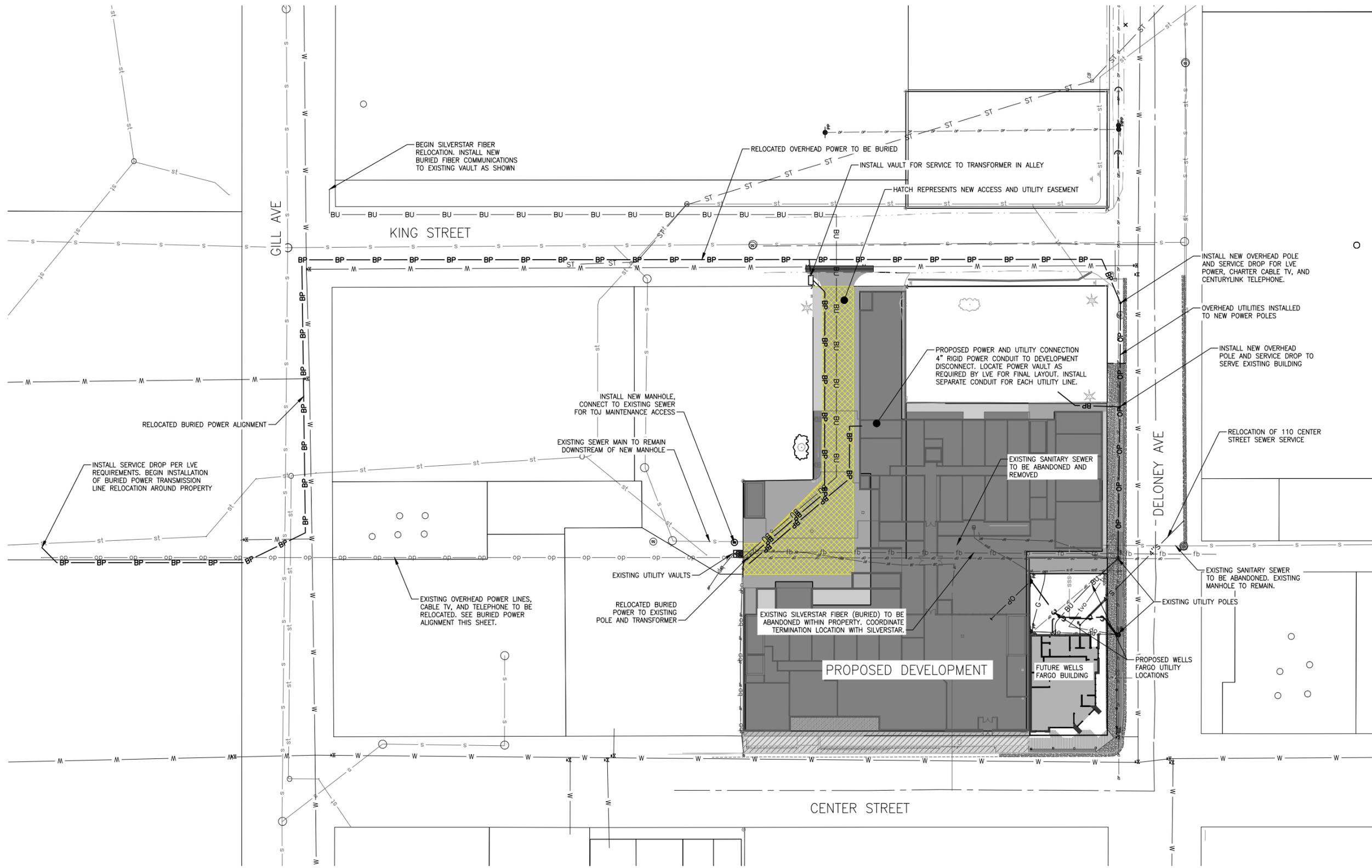
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EXISTING SITE PLAN

JOB TITLE
CENTER STREET PROJECT
DEVELOPMENT SUBMITTAL
JACKSON, WYOMING

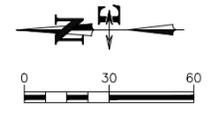
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JOB NO
16-306-04

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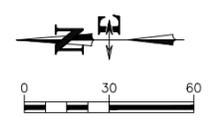
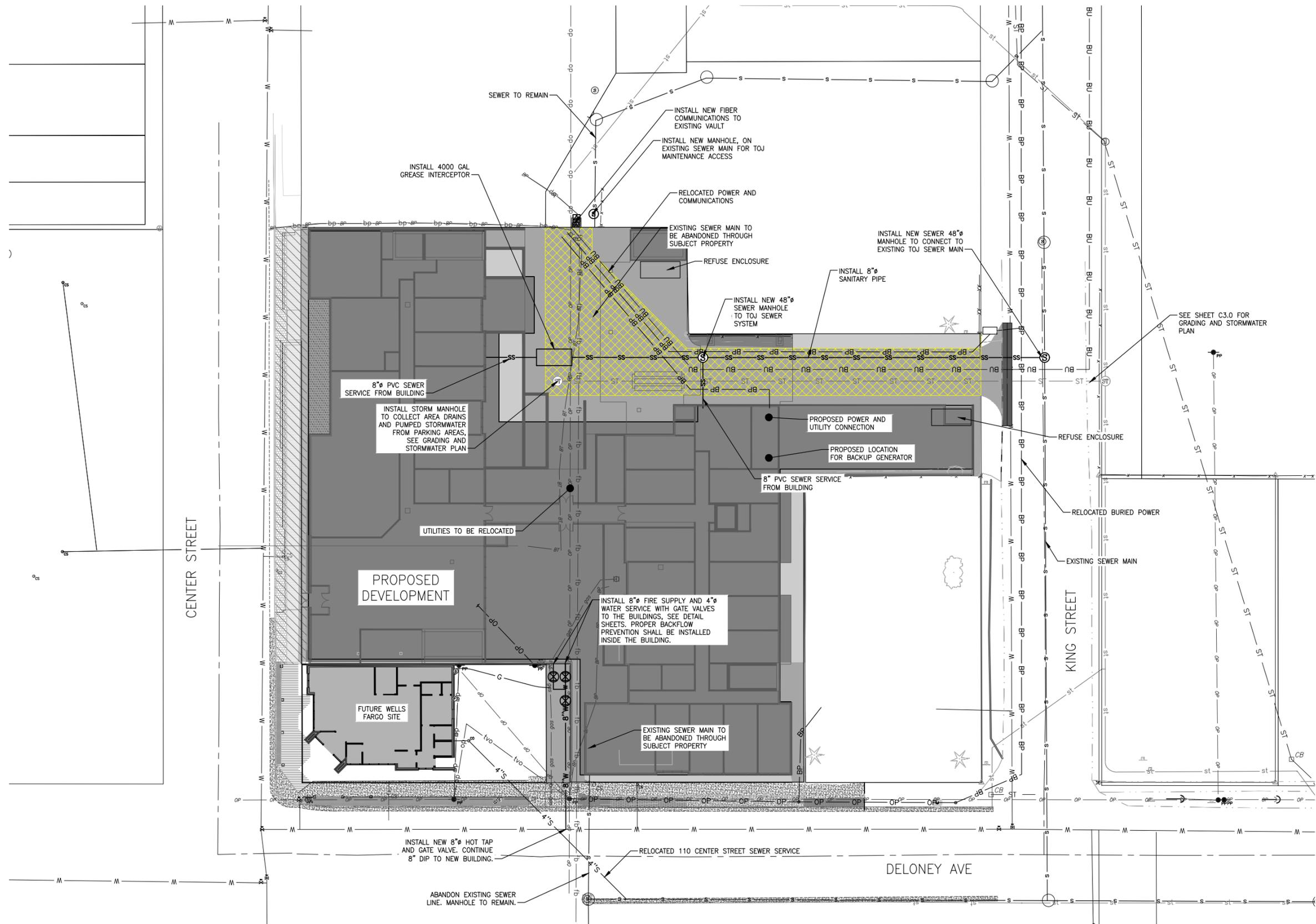


- NOTES:
1. THE PROPOSED DEVELOPMENT WILL REQUIRE RELOCATION OF EXISTING OVERHEAD POWER AS INDICATED. LVE HAS PROVIDED PRELIMINARY DESIGN RELOCATION AS REFLECTED IN PLAN
 2. THE EXISTING SEWER MAIN TO BE ABANDONED IN THE ALLEY SERVES 110 CENTER STREET AND THE EXISTING WELLS FARGO COMPLEX ONLY. THE SERVICE TO 110 CENTER STREET WILL BE RELOCATED TO DELONEY AND THE DEVELOPMENT WILL HAVE A NEW PRIVATE COLLECTION SYSTEM INSTALLED TO CONVEY WASTEWATER TO THE TOJ SYSTEM.



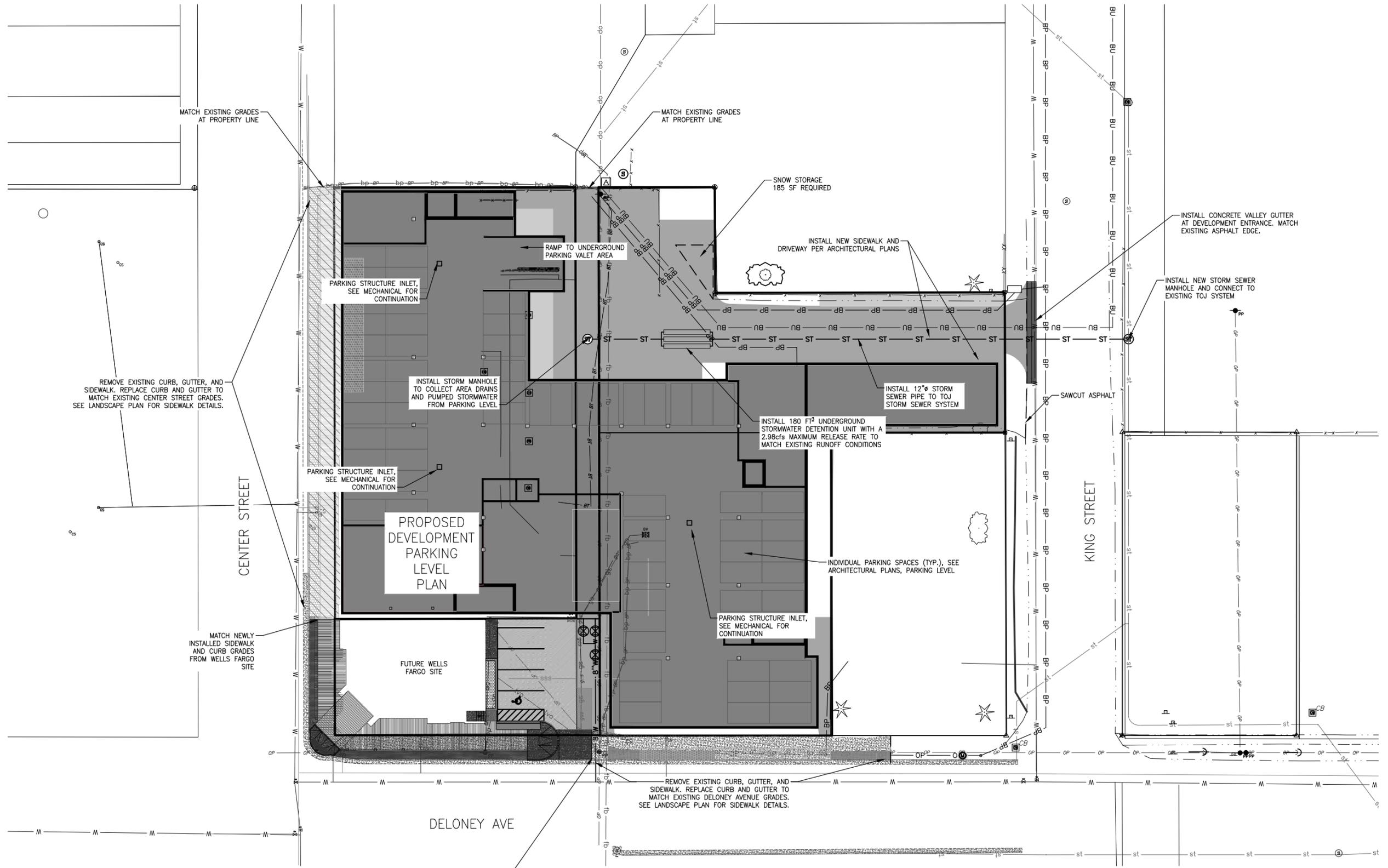
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				DATE 10/24/2017	DESIGNED MB	DRAWN AL	CHECKED	APPROVED
				NELSON ENGINEERING P.O. BOX 1599, JACKSON WYOMING (307) 783-2087				

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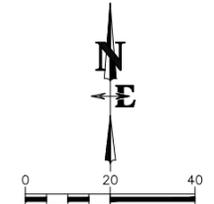


DRAWING NO CE.1	JOB TITLE CENTER STREET PROJECT DEVELOPMENT SUBMITTAL JACKSON, WYOMING	DRAWING TITLE PROPOSED SITE & UTILITY PLAN	REV.			
			DATE 10/24/2017	ENGINEERED MB	DRAWN AL	APPROVED
JOB NO 16-306-04	<p style="text-align: center;">NELSON ENGINEERING P.O. BOX 1599, JACKSON WYOMING (307) 783-2087</p>					

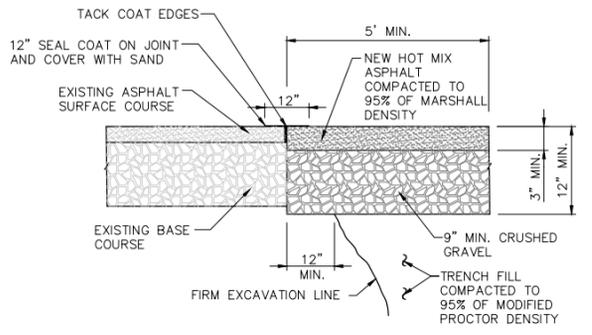
S:\proj\016\306-04 Center Street Project - F3P Submittal\Drawings\GRADING\CG3.0 GRADING PLAN - PLOTTED BY: Lee DMC T20WAT 210 Oct 28 07 08:56:44 pm



- NOTES:
1. THE PARKING STRUCTURE INLETS WILL COLLECT ALL STORMWATER WITHIN THE PARKING LEVEL AND CONVEY TO A SAND/OIL SEPARATOR. ALL COLLECTED STORMWATER WILL BE PUMPED FROM THE PARKING LEVEL TO THE STORMWATER COLLECTION SYSTEM MANHOLE INSTALLED AT GRADE AS INDICATED.
 2. ALL STORMWATER COLLECTED FROM THE ROOFS, TERRACES, AND ADDITIONAL SURFACE RUNOFF WILL BE CONNECTED IN THE SAME STORMWATER MANHOLE INSTALLED AT GRADE AS INDICATED AND CONVEYED TO THE TOJ SYSTEM AS NOTED.

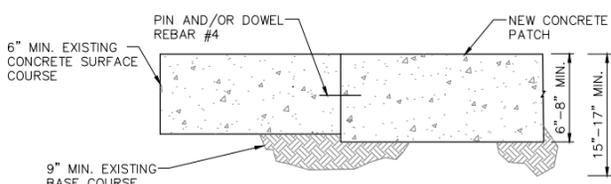


DRAWING NO C3.0	JOB NO 16-306-04	JOB TITLE CENTER STREET PROJECT DEVELOPMENT SUBMITTAL JACKSON, WYOMING	DRAWING TITLE SITE GRADING PLAN	 P.O. BOX 1599, JACKSON WYOMING (307) 733-2087	DATE	10/24/2017	REV.
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BITUMINOUS MATERIAL SHALL MEET THE APPLICABLE REQUIREMENTS OF SECTION 02545 BITUMINOUS MATERIALS OF WYOMING PUBLIC WORKS STANDARDS AND SPECIFICATIONS

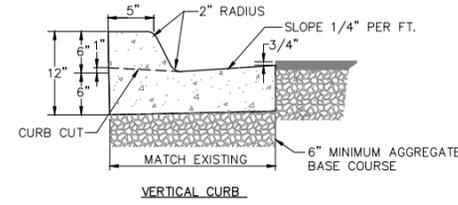
ASPHALT PATCH REPAIR DETAIL



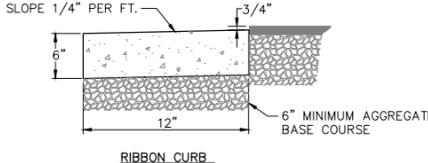
CONCRETE PATCH REPAIR DETAIL

- NOTES:
1. REPLACEMENT ASPHALT THICKNESS SHALL BE 1" GREATER THAN EXISTING AND NO LESS THAN 3" MINIMUM.
 2. ASPHALT SHALL BE PLACED IN TWO (2) LIFTS, EACH NO LESS THAN 1 1/2" IN THICKNESS, AND COMPACTED TO 95% OF MARSHALL DENSITY.
 3. PORTLAND CEMENT CONCRETE PAVEMENT SHALL MEET APPLICABLE REQUIREMENTS OF SECTION 02520, 02776 AND 03304 AS DIRECTED BY TOWN PUBLIC WORKS DEPARTMENT.

ST-118 PATCH REPAIR SECTION TOJ STD DETAIL C4.1



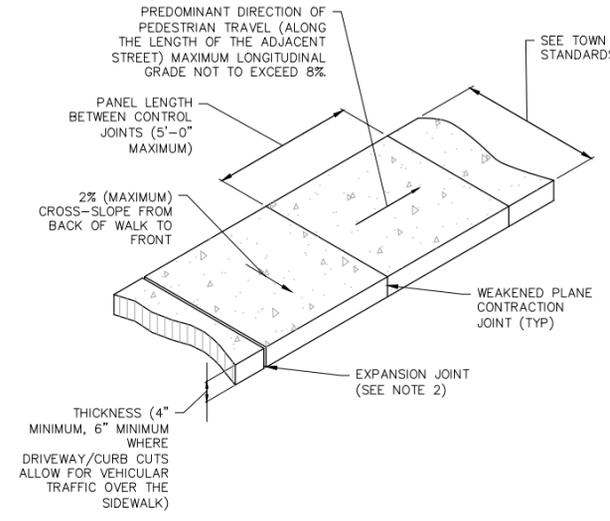
VERTICAL CURB



RIBBON CURB

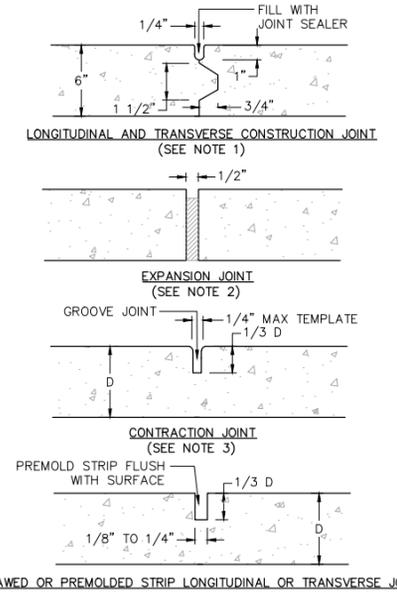
- NOTES:
1. CURBS SHALL CONFORM TO WPSS SECTION 02525, EXCEPT THAT PORTLAND CEMENT CONCRETE SHALL BE FIBERMESH-REINFORCED CLASS 4000 CONCRETE CONFORMING WITH WPSS SECTION 03304, PART 2.07.
 2. AGGREGATE BASE COURSE SHALL BE SIX INCH MINIMUM THICKNESS, CONFORM TO WPSS SECTION 02190, PART 2.03, GRADING H, AND BE INSTALLED PER WPSS SECTION 02231, PART 3.03.
 3. REMOVAL AND REPLACEMENT OF CURB SHALL TAKE PLACE IN FULL PANELS.
 4. ROLL CURB SHALL NOT BE ALLOWED.

ST-110 CURB SECTION DETAIL TOJ STD DETAIL C4.1



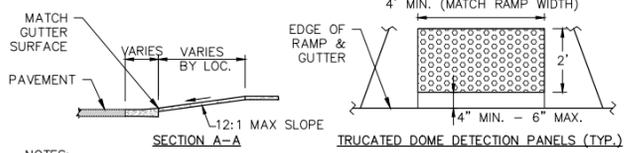
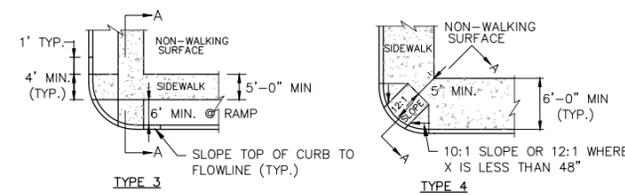
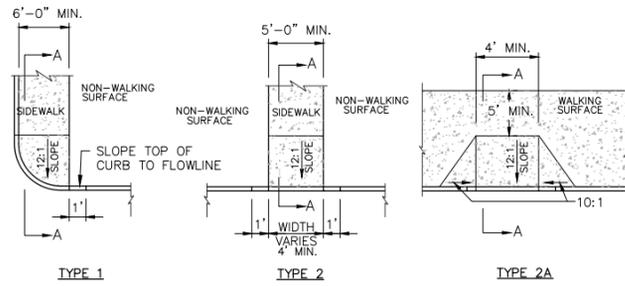
- NOTES:
1. SIDEWALK SHALL CONFORM TO ALL APPLICABLE ADA STANDARD REQUIREMENTS SIDEWALKS SHALL CONFORM TO WPSS SECTION 02776, EXCEPT THAT PORTLAND CEMENT CONCRETE SHALL BE FIBERMESH-REINFORCED CLASS 4000 CONCRETE CONFORMING WITH WPSS SECTION 03304, PART 2.07.
 2. EXPANSION JOINTS SHALL BE PLACED IN SIDEWALK AT THE SAME LOCATIONS AS THOSE IN CURB AND GUTTER WHEN SIDEWALK IS ADJACENT TO CURB. (PER WPSS SECTION 03251, PART 3.04 SPACING SHALL NOT EXCEED 32'-0" ON CENTER.)
 3. FOR SIDEWALKS GREATER THAN SIX FEET IN WIDTH, A LONGITUDINAL CONTROL JOINT SHALL BE INSTALLED AT THE CENTER OF THE WALK.
 4. REMOVAL AND REPLACEMENT OF SIDEWALK SHALL TAKE PLACE IN FULL PANELS.
 5. AGGREGATE BASE COURSE SHALL BE FOUR INCH MINIMUM THICKNESS, CONFORM TO WPSS SECTION 02190, PART 2.03, GRADING H, AND BE INSTALLED PER WPSS SECTION 02231, PART 3.03.

ST-127 CONCRETE SIDEWALK TOJ STD DETAIL C4.1



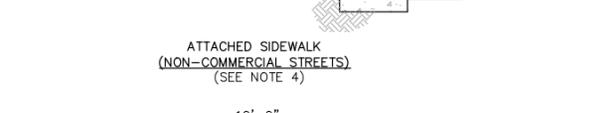
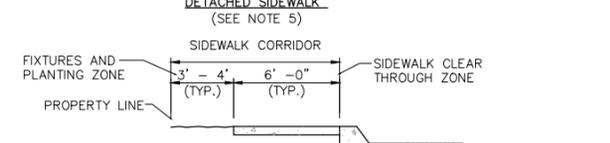
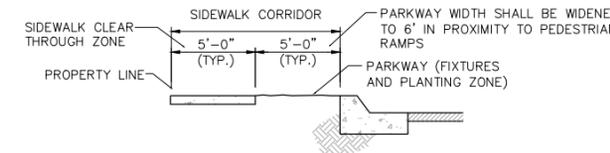
- NOTE:
1. KEYWAY FORMED BY FASTENING METAL KEY TO FORM.
 2. 1/2" PREMOLDED NON-EXTRUDING EXPANSION JOINT MATERIAL TO MEET AASHTO M-59. EXPANSION MATERIAL SHALL BE INSTALLED WHEN ABUTTING EXISTING CONCRETE OR FIXED STRUCTURES SUCH AS INLETS AND DRIVEWAYS, AND EVERY 300' ON LONG STRAIGHT CONCRETE STRETCHES.
 3. FORM WITH TEMPLATE OR SAWCUT JOINTS. IF SAWCUT JOINTS ARE USED, THEY SHALL BEGIN AS SOON AS CONCRETE IS HARDENED SUFFICIENTLY TO PERMIT SAWING WITHOUT EXCESSIVE RAVELING AND BEFORE UNCONTROLLED CRACKING OCCURS. MINIMUM DISTANCE BETWEEN JOINTS IS 5'.
 4. JOINT LAYOUT FOR CONCRETE STREETS IS TO BE SUBMITTED TO THE TOWN ENGINEER FOR APPROVAL.

ST-123 PAVING & CONCRETE JOINT DETAILS TOJ STD DETAIL C4.1



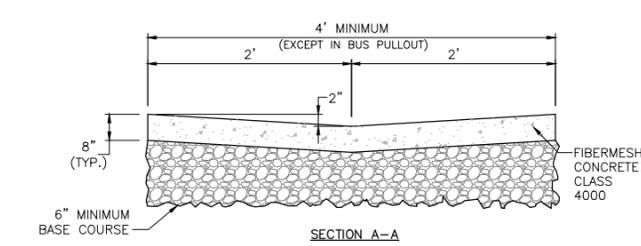
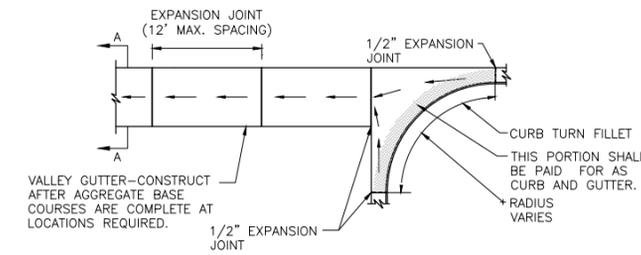
- NOTES:
1. SIDEWALKS SHALL CONFORM TO ALL APPLICABLE ADA STANDARD REQUIREMENTS.
 2. LIP AT GUTTER TO BE NO MORE THAN 1/4" HIGH.
 3. CONCRETE TO BE A BROOM FINISH.
 4. ALL PEDESTRIAN RAMPS SHALL INCLUDE PLACEMENT OF CAST IRON TRUNCATED DOME DETECTION PANELS IN A BRICK RED COLOR. (PANELS SHALL BE PROVIDED BY TOJ.)

ST-112 PEDESTRIAN RAMPS TOJ STD DETAIL C4.1



- NOTES:
1. SIDEWALKS SHALL CONFORM TO ALL APPLICABLE ADA STANDARD REQUIREMENTS
 2. SIDEWALK, PEDESTRIAN RAMPS AND CURB & GUTTER CONSTRUCTION SHALL BE PER 3. TOWN STANDARDS
 3. WITHIN THE TOWN'S BOARDWALK DISTRICT, BOARDWALK (RATHER THAN SIDEWALK) SHALL BE INSTALLED.
 4. MINIMUM CLEARANCE AROUND ALL OBSTRUCTIONS SHALL BE 5'-0".
 5. ON NON-COMMERCIAL STREETS DETACHED SIDEWALK SHALL BE THE PREFERRED OPTION. IN ORDER TO MAINTAIN THE CLEAR THROUGH ZONE, THE FIXTURES ZONE SHALL BE WHERE FIRE HYDRANTS, UTILITY POLES, GUY WIRES, PULL BOXES, NEWSPAPER BOXES, PHONE BOOTHS, AND OTHER SUCH OBSTRUCTIONS ARE LOCATED.

ST-128 SIDEWALK CORRIDOR TOJ STD DETAIL C4.1



- NOTES:
1. VALLEY GUTTERS AND CURB TURN FILLETS SHALL CONFORM TO WPSS SECTION 02528, EXCEPT THAT PORTLAND CEMENT CONCRETE SHALL BE FIBERMESH CLASS 4000 CONCRETE CONFORMING WITH WPSS SECTION 03304, PART 2.08.
 2. AGGREGATE BASE COURSE SHALL BE SIX INCH MINIMUM THICKNESS, CONFORM TO WPSS SECTION 02190, PART 2.03, GRADING H, AND BE INSTALLED PER WPSS SECTION 02231, PART 3.03.
 3. REMOVAL AND REPLACEMENT OF VALLEY GUTTER SHALL TAKE PLACE IN FULL PANELS.
 4. CURB AND GUTTER SECTION SHALL BE POURED SEPARATE OF VALLEY PAN AS WELL AS PEDESTRIAN RAMP AND/OR SIDEWALK.

ST-109 VALLEY GUTTER & CURB TURN FILLET TOJ STD DETAIL C4.1

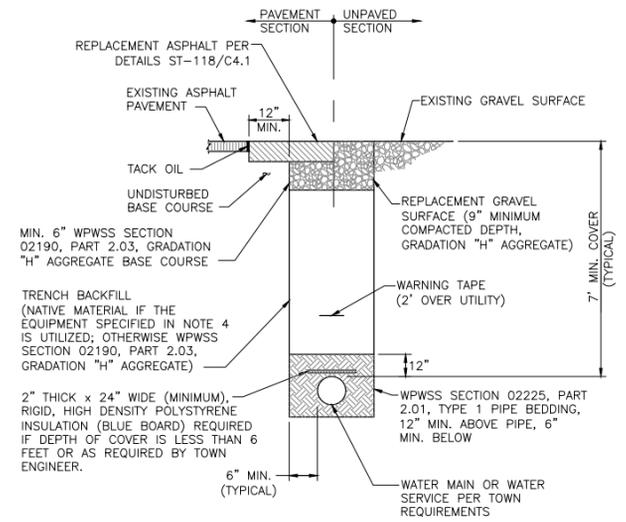
REV.	10/24/2017
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NELSON ENGINEERING
 P.O. BOX 1599, JACKSON WYOMING (307) 783-2087

DRAWING TITLE
ROAD & GRADING DETAILS

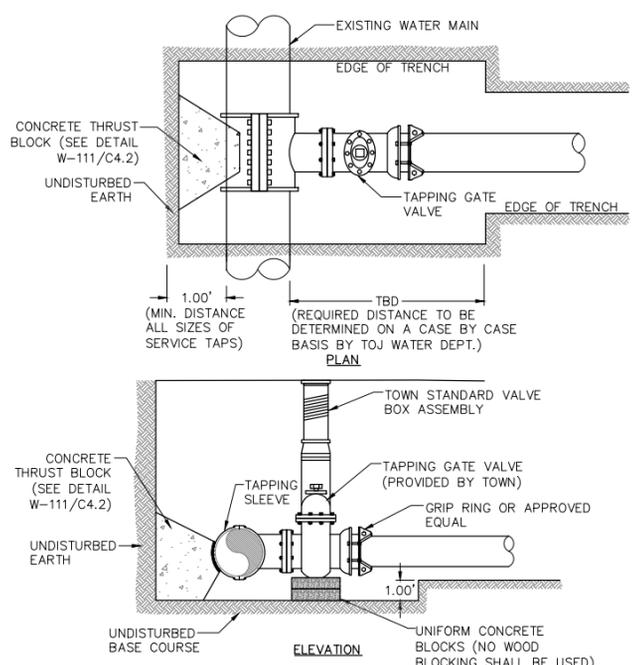
JOB TITLE
CENTER STREET PROJECT DEVELOPMENT SUBMITTAL JACKSON, WYOMING

DRAWING NO
C4.1
 JOB NO
16-306-04



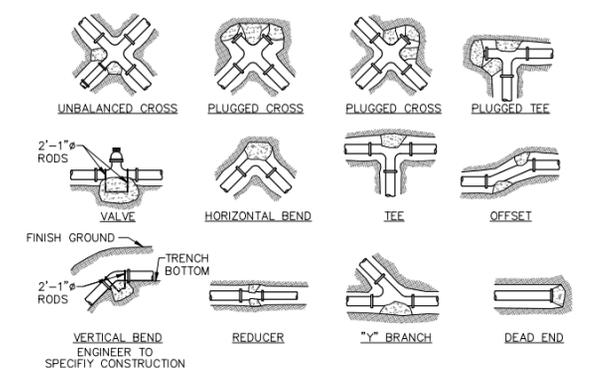
- NOTES:
- TRENCH BACKFILL BELOW THE SURFACE SHALL MEET THE FOLLOWING CRITERIA:
 - 95% MODIFIED PROCTOR DENSITY WITHIN STREET AND ALLEY RIGHTS-OF-WAY.
 - 90% MODIFIED PROCTOR DENSITY OUTSIDE STREET AND ALLEY RIGHTS-OF-WAY.
 - COMPACTION OF NATIVE TRENCH BACKFILL, WITH ALL ROCK LARGER THAN 6" REMOVED, SHALL BE CARRIED OUT IN 2" LIFTS WITH A HOE-PACK OR A VIBRATORY SHEEPS FOOT ROLLER (COMPACTION METHOD AND EQUIPMENT SHALL BE REVIEWED AND APPROVED BY TOWN ENGINEER PRIOR TO BACKFILLING).
 - PIPE BEDDING SHALL BE PLACED IN 6" LIFTS AND THOROUGHLY COMPACTED WITH A JUMPING JACK TO PROVIDE UNIFORM PIPE SUPPORT.
 - UNLESS OTHERWISE DIRECTED, ALL BASE COURSE AND GRAVEL SURFACE REPLACEMENT SHALL BE INSTALLED PER WPSS SECTION 02231, PART 3.03.
 - ALL TRENCH EXCAVATION SHALL CONFORM TO WYOMING OCCUPATIONAL HEALTH AND SAFETY ADMINISTRATION (WYOSHA) REGULATIONS.

W-100 WATER MAIN AND SERVICE LINE TRENCH TOJ STD DETAIL



- NOTES:
- TRENCH WILL BE EXCAVATED TO MEET ALL WYOSHA STANDARDS PRIOR TO TAPPING.
 - EXCAVATION OF TAPPING LOCATION SHALL BE APPROVED BY TOJ WATER DEPARTMENT PRIOR TO TAPPING.
 - THE TOWN SHALL COMPLETE THE TAPPING OF THE MAIN. NO OTHER PERSONS SHALL COMPLETE TAP WITHOUT CONSENT OF TOWN. ALL OTHER WATER MAIN WORK SHALL BE THE RESPONSIBILITY OF THE OWNER/CONTRACTOR.

W-118 WATER MAIN TAPPING DETAIL TOJ STD DETAIL

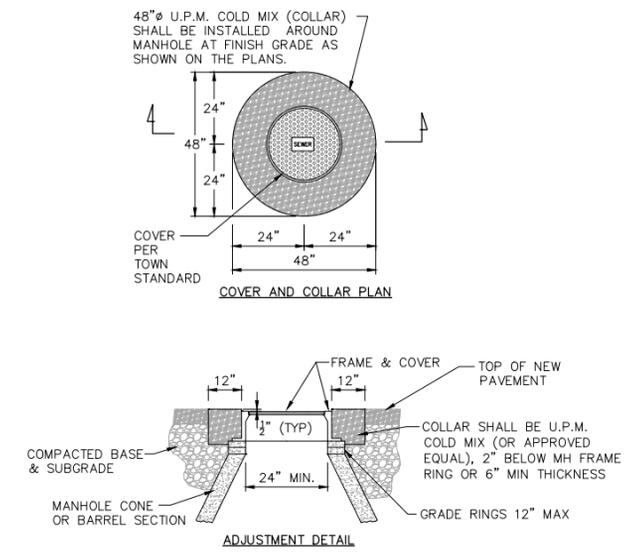


MINIMUM DIMENSIONS FOR THRUST BLOCKING

FITTING SIZE	TEES & PLUGS		90° BENDS		45° BENDS & WYES		REDUCERS & 22 1/2° BENDS		11 1/4° BENDS	
	A	B	A	B	A	B	A	B	A	B
4"	1'-2"	1'-2"	1'-9"	1'-6"	1'-8"	0'-10"	1'-7"	0'-6"	0'-6"	0'-6"
6"	2'-0"	1'-11"	2'-5"	2'-2"	1'-10"	1'-7"	1'-9"	0'-10"	1'-0"	0'-6"
8"	2'-8"	2'-6"	3'-2"	3'-0"	2'-5"	2'-1"	1'-9"	1'-6"	1'-0"	1'-0"
10"	3'-4"	3'-3"	4'-0"	3'-10"	3'-0"	2'-9"	2'-2"	1'-11"	1'-6"	1'-0"
12"	4'-0"	3'-10"	4'-8"	4'-8"	3'-8"	3'-3"	2'-7"	2'-3"	2'-0"	1'-0"
14"	5'-0"	3'-10"	6'-6"	4'-11"	4'-9"	3'-5"	3'-5"	2'-5"	2'-0"	1'-6"
20"	5'-0"	5'-0"	6'-0"	6'-0"	5'-0"	4'-0"	3'-6"	3'-0"	3'-0"	2'-0"
24"	6'-0"	6'-0"	7'-0"	7'-0"	5'-0"	5'-0"	4'-6"	3'-0"	3'-0"	3'-0"
30"	7'-6"	7'-6"	8'-0"	8'-0"	6'-3"	6'-3"	4'-9"	4'-6"	3'-3"	3'-3"

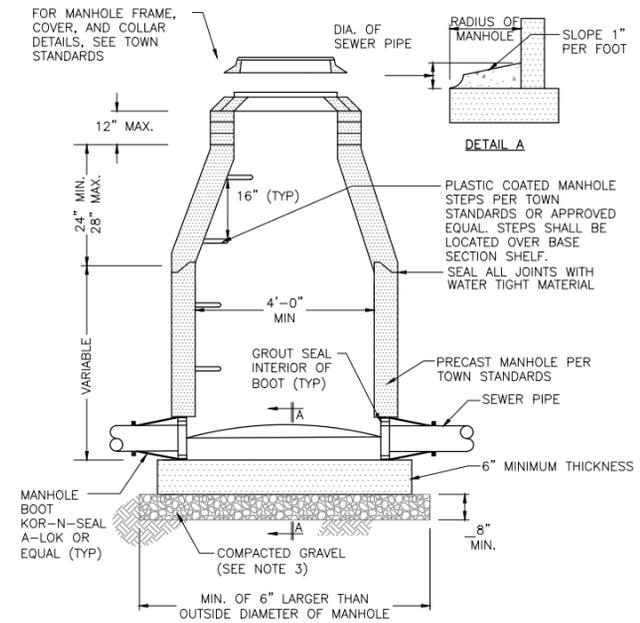
- NOTES:
- SIZE BLOCKS SHALL BE A MINIMUM OF 6" THICK.
 - ALL BLOCKING SHALL BEAR AGAINST UNDISTURBED MATERIAL.
 - DESIGN IS BASED ON 150 PSF MAIN PRESSURE AND 2000 PSF SOIL BEARING CAPACITY.
 - 4 MIL POLYETHYLENE PLASTIC BOND BREAKER SHALL BE PROVIDED BETWEEN THRUST BLOCK AND WATER PIPE.

W-111 THRUST BLOCK DETAILS TOJ STD DETAIL



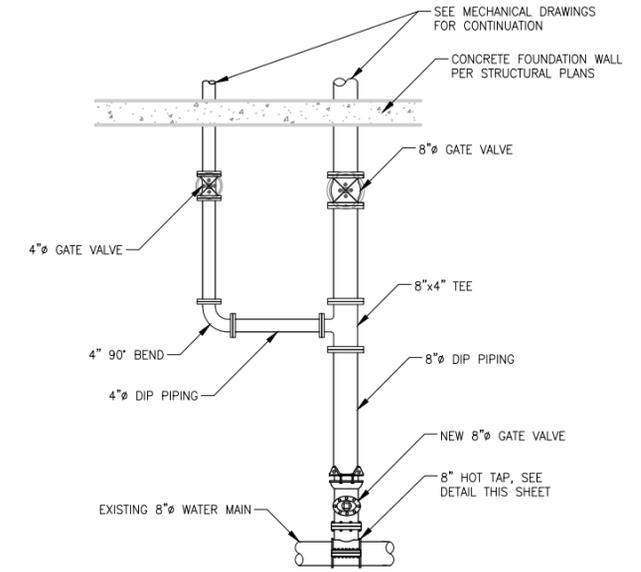
- NOTES:
- ADJUST MANHOLE UPWARD WITH ADJUSTING RINGS UNDER FRAME. ADJUST MANHOLE DOWNWARD BY REMOVING A PORTION OF THE MANHOLE RISER AND REBUILDING TO PROPER HEIGHT. SLOPE MANHOLE RING AS REQUIRED TO MATCH STREET GRADE AND CROSS SLOPE. MAKE FINAL MANHOLE ADJUSTMENT AFTER PAVING AND BEFORE SEAL COATING.
 - IF MANHOLE IS WITHIN UNPAVED AREA USE TAPERED COLLAR. SEE TOWN SANITARY SEWER DETAIL SS-110.

SS-109 MANHOLE ADJUSTMENT DETAIL TOJ STD DETAIL



- NOTES:
- DROP ACROSS INVERT SHALL BE GREATER THAN OR EQUAL TO SLOPE OF ADJACENT SEWER PIPE.
 - BASE SHALL BE REINFORCED WHEN THE DISTANCE FROM INVERT TO TOP OF COVER EXCEEDS 15'. REINFORCEMENT TO BE APPROVED BY ENGINEER.
 - GRAVEL SHALL BE EIGHT INCH MINIMUM THICKNESS, CONFORM TO WPSS SECTION 02190, PART 2.03, GRADATION H, AND BE INSTALLED PER WPSS SECTION 02231, PART 3.03.
 - ALL PIPES GOING INTO MANHOLE SHALL BE INSTALLED TO MATCH TOP OF PIPE CROWNS.
 - TROUGH DEPTH AT CENTER TO BE HALF THE DIAMETER OF THE PIPE.

SS-102 SANITARY SEWER MANHOLE TOJ STD DETAIL

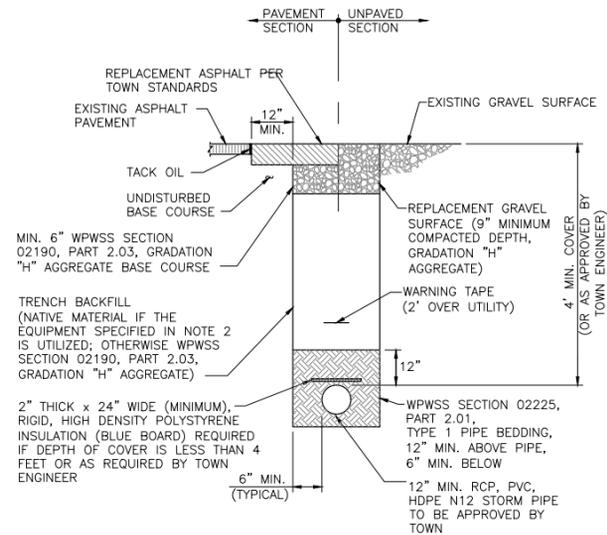


1 WATER SERVICE CONNECTION DETAIL C4.2

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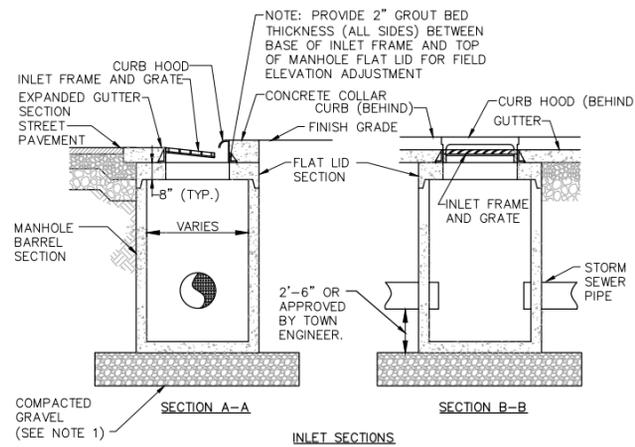
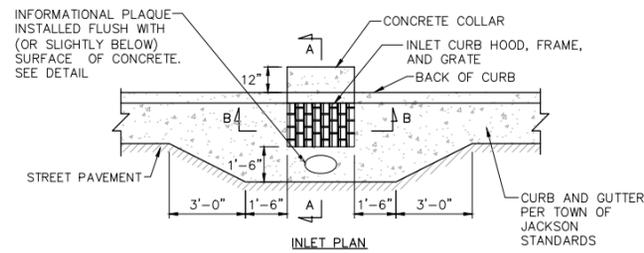
DRAWING NO	C4.2	JOB NO	16-306-04
	JOB TITLE		CENTER STREET PROJECT DEVELOPMENT SUBMITTAL JACKSON, WYOMING
DRAWING TITLE			
STANDARD WATER & SEWER DETAILS			
REV.			
DATE	10/24/2017	ENGINEER	MB
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CHECKED		APPROVED	

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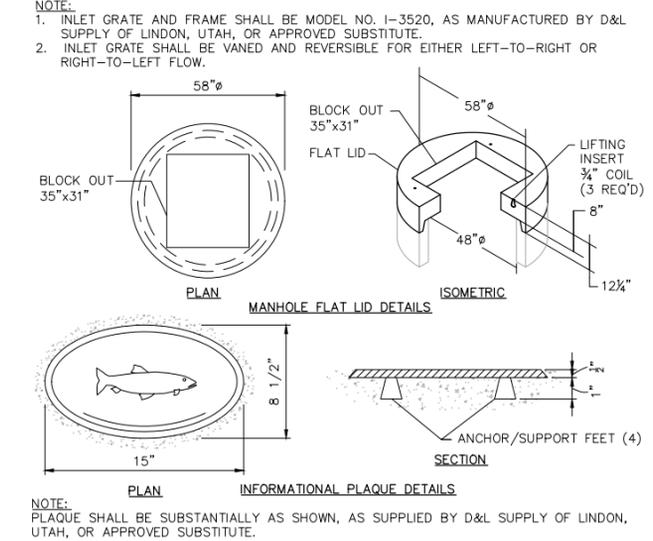
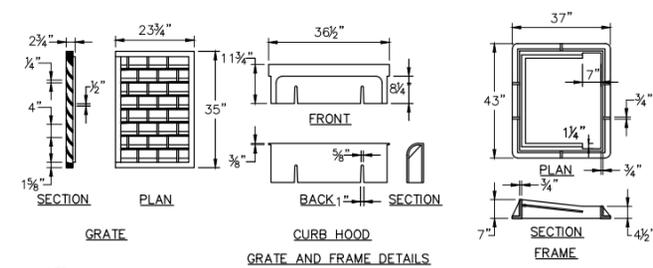


- NOTES:
- TRENCH BACKFILL BELOW THE SURFACE SHALL MEET THE FOLLOWING CRITERIA:
 - 95% MODIFIED PROCTOR DENSITY WITHIN STREET AND ALLEY RIGHTS-OF-WAY.
 - 90% MODIFIED PROCTOR DENSITY OUTSIDE STREET AND ALLEY RIGHTS-OF-WAY.
 - COMPACTION OF NATIVE TRENCH BACKFILL, WITH ALL ROCK LARGER THAN 6" REMOVED, SHALL BE CARRIED OUT IN 2' LIFTS WITH A HOE-PACK OR A VIBRATORY SHEEPS FOOT ROLLER (COMPACTION METHOD AND EQUIPMENT SHALL BE REVIEWED AND APPROVED BY TOWN ENGINEER PRIOR TO BACKFILLING).
 - PIPE BEDDING SHALL BE PLACED IN 6" LIFTS AND THOROUGHLY COMPACTED WITH A JUMPING JACK TO PROVIDE UNIFORM PIPE SUPPORT.
 - UNLESS OTHERWISE DIRECTED, ALL BASE COURSE AND GRAVEL SURFACE REPLACEMENT SHALL BE INSTALLED PER WPWSS SECTION 02231, PART 3.03.
 - ALL TRENCH EXCAVATION SHALL CONFORM TO WYOMING OCCUPATIONAL HEALTH AND SAFETY ADMINISTRATION (WOSHA) REGULATIONS.

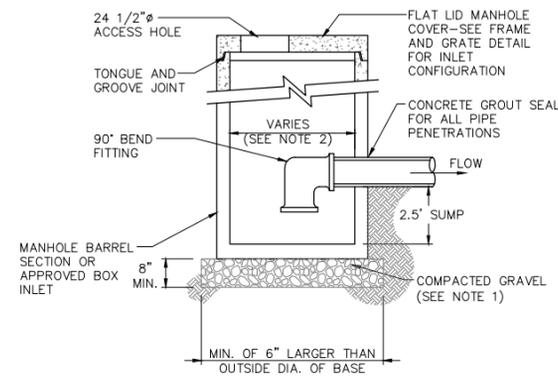
STM-100
C4.3 STORM SEWER PIPE TRENCH
TOJ STD DETAIL



STM-101
C4.3 CURB INLET DETAILS
TOJ STD DETAIL

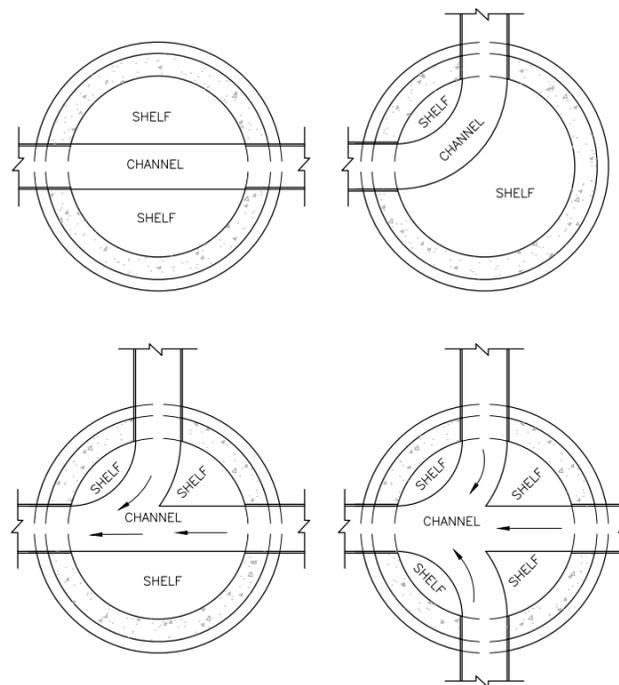


STM-105
C4.3 CURB INLET DETAILS
TOJ STD DETAIL



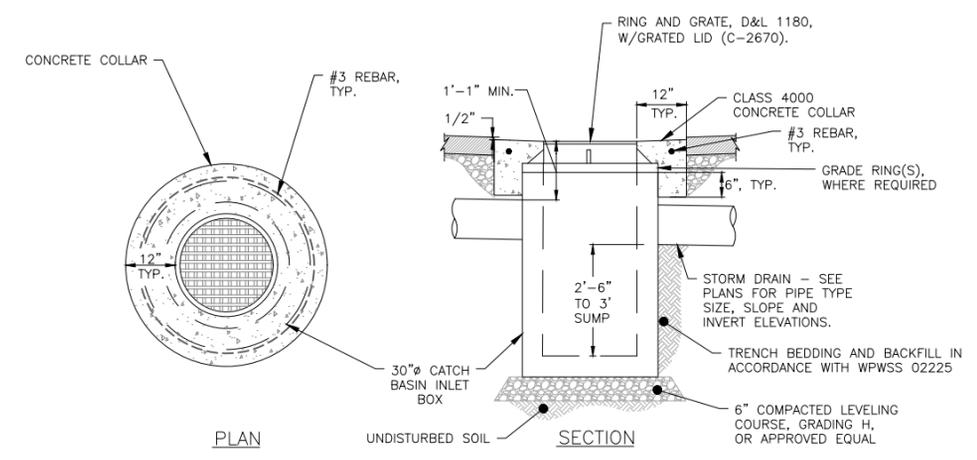
- NOTES:
- GRAVEL SHALL BE EIGHT INCH MINIMUM THICKNESS, CONFORM TO WPWSS SECTION 02190, PART 2.03, GRADING H, AND BE INSTALLED PER WPWSS SECTION 02231, PART 3.03.
 - ALL DIMENSIONS TO BE APPROVED BY THE TOWN PUBLIC WORKS DEPARTMENT.
 - MANHOLE COVER SHALL BE DESIGNED FOR H20S LOADING.
 - SEE DETAIL FOR CAST IRON FRAME AND COVER.
 - SEE ADJUSTMENT AND COLLAR DETAIL.

STM-102
C4.3 PARKING STRUCTURE INLET
TOJ STD DETAIL



- NOTES:
- SLOPE ALL SHELVES TO CHANNEL AT 1" PER FOOT.
 - SEE PLAN-PROFILE SHEETS FOR SLOPE OF CHANNEL.

SS-107
C4.3 MANHOLE CHANNEL DETAILS
TOJ STD DETAIL



- NOTES:
- PROVIDE 0.1' DROP FROM INLET AND OUTLET PIPES.
 - MATCH PIPE INVERTS CALLED OUT IN PLAN.
 - GROUT BOTTOM OF CATCH BASIN, AS NECESSARY, TO OUTLET INVERT AND PROVIDE POSITIVE DRAINAGE.
 - TRENCH BACKFILL SHALL BE TYPE A FOR ALL STORM DRAIN WORK.

1
C4.3 STORM SEWER MANHOLE

S:\Pro\2010\306-04-Center Street Project - FIP Submittal\Drawings\STANDARD\STORM WATER - Dwg Form\01.dwg - Oct 25 2017 08:56:43 pm - PLOTTED BY: Lee DWG FORM: 210

DATE	SURVEYED	ENGINEERED	DRAWN	CHECKED	APPROVED
10/24/2017					

REV.

MB

AL

NELSON ENGINEERING

P.O. BOX 1599, JACKSON WYOMING (307) 783-2087

DRAWING TITLE

STORM WATER DETAILS

JOB TITLE

CENTER STREET PROJECT DEVELOPMENT SUBMITTAL JACKSON, WYOMING

DRAWING NO

C4.3

JOB NO

16-306-04

FINIDINGS FOR APPROVAL

Findings for Approval

Development Plan

This project is consistent with the desired future character described for the site in the Jackson/Teton County Comprehensive Plan.

The proposed development implements every goal that is established for the site by the Comprehensive Plan. The redevelopment of the property provides multiple land uses, a design that maintains a western character, and pedestrian friendly streets; the leading elements of the desired future character that is defined in the Plan. This property is divided between two character districts and the proposed plan ties together the two districts to fully implement the Plan. The Center Street property is in Character District 1.2 and the remainder of the property is in Character District 2.3.

CHARACTER DISTRICT 1.2

For Character District 1.2, the Comprehensive Plan contains numerous descriptions and goals that establish the desired future character. This desired character focuses on maintaining western character, lodging tourist and establishing pedestrian friendly streets. The italicized statements below are direct quotes from the Comprehensive Plan and describe the desired character for the District. The bulleted comments relate the proposed development to the detailed statements in the Comprehensive Plan.

Western Character

Stable area with a focus on maintaining western character. – Desired architectural style and approach will coordinate with the Inner Square. – Continuation of covered wooden boardwalks is vital to maintaining western character.

- The architecture of the proposed buildings and the covered walkway along Center Street contribute to the western character of the downtown area. The details and colors maintain the modern western architectural theme that is evolving in Jackson. The walls are capped with a cornice detail and all colors are from the western palette.

Tourist Economy

Building heights allowed up to three stories in order to provide lodging supporting our tourist economy.

- Redevelopment of the site with a high-quality hotel, retail, meeting rooms and restaurant/bar supports our tourist economy.
- The parts of the two proposed buildings that lodge tourists are three stories. A portion of one building that is not in the Lodging Overlay is only two stories.

Streetscape and Pedestrians

Buildings should be located near the street to create an attractive street front. – Walkable area oriented to pedestrians.

- The proposed buildings on Center and Deloney Streets are setback 13 feet from the back of curb to create a generous pedestrian corridor along two major streets that connect public parking lots to the Town Square.
- The 13-foot wide pedestrian corridors contain sidewalks and pedestrian amenities along the Center and Deloney Streets.
- A mix of retail and restaurant uses front Center Street in a building with a significant number of large windows. This transparency in the building design integrates the indoor uses with the outdoor pedestrian area. The restaurant/bar along Center Street also incorporates an outdoor sitting area which will bring additional vibrancy to the street. These active pedestrian areas replace the current streetscapes that are created by the existing institutional buildings and are very uninviting to pedestrians.
- The Center Street building frontage is broken down into a pedestrian scale façade. Varied setbacks in the building wall, overhead canopies, balconies, material changes and other design features create a comfortable walking corridor for pedestrians.
- A retail use contained in the Deloney Street building frontage will complement the improved pedestrian corridor and help activate this street.

CHARACTER DISTRICT 2.3

The remainder of the property is in Character District 2.3 and the Comprehensive Plan contains extensive descriptions and goals that establish the future desired character of this District. The Plan calls for mixed land uses, identifies the area as the economic and lodging centers of the community, classifies the District as Transitional, and promotes pedestrian friendly development. The italicized statements below are directly from the Comprehensive Plan and describe the desired future character, followed by comments about the proposed development.

Mixed Uses

Mixed use area. -- Includes retail, restaurant, office, and other commercial along with lodging in a variety of building sizes. -- Goal to create vibrant mixed use area by accommodating a variety of uses. -- Challenge to provide balance between lodging and long term residential.

- This development contains six land uses on the property. A mix of lodging, meeting rooms, workforce housing, retail, restaurant and a bar will occupy the site.
- Restaurant/bar, retail and meeting rooms coupled with a high-end hotel within a short walking distance to the Square creates the vibrancy the Comprehensive Plan seeks for the desired future character.
- While parts of Character District 2.3 may provide opportunities for long-term residential that can balance lodging, this site is most suitable for lodging and other commercial uses. The site is bordered on three sides by commercial development and the Town soon will develop tour bus parking along the fourth side. Nonetheless, this development includes workforce housing. In addition to the transportation benefits derived from on-site worker housing, these residential units also provide a base residential population for downtown, adding to the mixed uses and vibrancy.

Center of Economic Activity, Center of Tourist Experience

Center of economic activity. -- Center of visitor experience with a significant amount of lodging. -- This area was the starting point for the refined lodging overlay boundary.

- After much discussion and community involvement, the lodging overlay boundary was revised and re-adopted. This redevelopment site is in the center of the overlay, exactly where the Comprehensive Plan and LDR designate for lodging.
- A high-quality hotel with retail, restaurant, bar, and meeting rooms significantly enhance the area of town defined as “the center of the visitor experience.”
- Redeveloping an institutional site with a mix of uses and the high-quality hotel in the core of downtown creates the economic activity that implements the Comprehensive Plan.

Change in Physical Development

Transitional area. -- Existing character of the built form is varied and inconsistent. -- A variety of two and three story buildings are desired.

- This application redevelops a property that currently is dominated by institutional buildings, a drive-through banking facility, uninviting pedestrian experiences along major walking routes between public parking and the Square, and a large asphalt area as viewed from the adjoining streets.
- The proposed redevelopment will transform the site into building forms and land uses that accomplish essentially every goal established for this area by the Comprehensive Plan.
- The portion of the proposed building that is closest to the Town Square will be two levels; the remainder of the buildings will be three levels to accommodate lodging.

Streetscape and Pedestrians

Commercial uses create an active and engaging pedestrian experience located on first and second floors, with lodging predominately located on upper floors. Pedestrian is of great importance. -- Walkable area. -- Buildings are to create attractive street wall with good urban design principles. -- On-site parking underground or screened from view.

- The Center Street building contains a significant amount of glass, creating interaction between the indoor activities and the outdoor pedestrian area.
- An outdoor dining area is included in the restaurant/bar that fronts Center Street.
- The building wall is broken down to a pedestrian scale with differing setbacks, balconies, overhead canopies, and varied building materials, creating a pedestrian friendly corridor.
- The redevelopment of this site replaces an existing institutional building that discourages pedestrian activity with a highly attractive streetscape that encourages pedestrians to walk down the street.
- All parking on this site is below grade and screened from view.

Achieves the standards and objective of the Natural Resource Overlay (NRO) and Scenic Resources Overlay (SRO), if applicable.

- N/A

Does not have significant impact on public facilities and services, including transportation, potable water and wastewater facilities, parks, schools, police, fire, and EMS facilities.

- See the attached Engineering Report for demonstrations of no significant impact on transportation, water and wastewater. The proposed uses will have no impact on schools, and no measurable impact on other public facilities.

Complies with the Town of Jackson Design Guideline.

- The Sketch Plan received unanimous approval from the Design Review Committee and the Final Plan will be submitted for further review by the Committee. The applicant will endeavor to address any additional comments the Committee may have.
- The submitted plan complies with the Jackson form based zoning code and the pedestrian requirements along both Center and Deloney Streets.

Complies with all relevant standards of these LDRs and other Town Ordinances.

- See the attached sections on LDR Compliance and Responses to Checklist Items.

Is in substantial conformance with all standards or conditions of any prior applicable permits or approvals.

- This proposal fully redevelops the site thereby replacing all prior permits and approvals.

Findings for Approval – Conditional Use

Standards for Accessory Residential Unit

Conditional Use Permit (for dormitory)

Two employee housing units contain four bedrooms and are therefore classified as dormitories, which require Conditional Use Permits. Below are the Findings for Approval of a CUP. The bullet points below are our responses to the Findings.

In addition to these findings, see:

1. the Special Restriction for Employee Housing, included in this section;
2. the floor plan for all employee housing units, including the two four bedroom units, and
3. each employee bedroom will have a designated storage space that will be on-site and near the housing.

We will work with the Affordable Housing Department staff to finalize the Special Restriction.

Is compatible with the desired future character of the area.

- Please see another section of this submittal titled, Development Plan for a description of compatibility with the desired future character of the area.

Complies with the uses specific standards of Div. 6.1.

- The two, four-bedroom units are residential units occupied by a group of unrelated people not residing as a single family, therefore meeting the dormitory definition in Div. 6.1.
- Dormitories are allowed as conditional uses in the Downtown Core zoning district.

Minimizes adverse visual impacts.

- The dormitories are embedded in a residential structure that contains other residential units with fewer bedrooms. The dormitory units will be indistinguishable from the other units as the building is viewed from all vantage points.
- The residential building fronts King Street and is constructed in the same architectural theme and materials as the remainder of the development.

Minimizes adverse environmental impacts.

- The dormitory units are a very small part of a larger development. The project redevelops a downtown property that is fully covered with buildings and asphalt. There are no natural resources on the site.

Minimizes adverse impacts on public facilities.

- The dormitories are a very small part of a larger development. See the section of this submittal titled, Engineering Report for a demonstration that the entire development does not create adverse impacts on public facilities.

Complies with all other relevant standards of these LDRs and all other Town Ordinances.

- Please see other sections of this application titled LDR Compliance and Housing Mitigation Plan for demonstrations of compliance with applicable LDR standards.
- This application also complies with all other town ordinances as demonstrated by the unanimous approval of the previous Sketch Plan.

Is in substantial conformance with all standards or conditions of any prior applicable permits or approvals.

- Please see another section of this application titled, Project Overview, Compliance with Conditions of Approval, for a demonstration of compliance with the conditions of the previously approved Sketch Plan. Because this site is being fully redeveloped, all earlier permits and approvals are superseded by this application.

Accessory Residential Unit

The applicant proposes approximately 910 square feet of employee housing beyond the amount required by the LDRs. The employee housing units include two three-bedroom Accessory Residential Units, which require an ARU permit. Also, see the Special Restriction for Accessory Residential Uses. The applicant will work with the Affordable Housing Department staff to finalize this restriction. Below is the LDR Standard for an ARU. The bullet points are the applicant's responses to the Findings.

Complies with the use specific standards of Division 6.1, Allowed Uses, and the zone.

- The ARU will be used as an employee apartment and the occupants will be employed in Teton County, consistent with the Affordable Housing Rules and Regulations.
- The ARU is an accessory to a mixed-use development which contains the principle uses of lodging, restaurant, bar and retail.
- ARUs are an allowed use in the Downtown Core zoning district.
- The ARU is a small part of a much larger development. See another section of this submittal titled LDR Compliance for a demonstration of the entire development, including this ARU, complying with the applicable LDR.

Findings for Approval

Basic Use Permits

Listed below are the Findings for Approval for the Basic Use Permits required for the Center Street Redevelopment project. The bullet points below are our responses to the Findings.

Lodging

Complies with the use specific standards of Division 6.1, Allowed Uses, and the zone.

- Pursuant to the definitions of the LDRs, the hotel is conventional lodging, which is an allowed use in the Lodging Overlay in both the Town Square and Downtown Core zoning districts.
- Please see another section of this application titled, LDR Compliance for a demonstration of compliance with the standards of the Town Square and Downtown Core zones.

Complies with all other relevant standards of these LDRs and all other Town Ordinances.

- Please see other sections of this application titled, LDR Compliance and Housing Mitigation Plan for demonstrations of compliance with applicable LDR standards.
- Also, please see other sections of this submittal for demonstrations of compliance with the standards for a Development Plan and a Conditional Use Permit (for dormitory).
- This application also complies with all other town ordinances as demonstrated by the unanimous approval of the previous Sketch Plan.

Is in substantial conformance with all standards or conditions of any prior applicable permits or approvals.

- Please see another section of this application titled, Project Overview, Compliance with Conditions of Approval, for a demonstration of compliance with the conditions of the previously approved Sketch Plan. Because this site is being fully redeveloped, all earlier permits and approvals are superseded by this application.

Restaurant / Bar

Complies with the use specific standards of Division 6.1, Allowed Uses, and the zone.

- The restaurant/bar will serve food and beverages for seated consumption on sight and therefore complies with the definition in Division 6.1.
- The restaurant/bar is an allowed use in the Town Square district.
- Please see another section of this application titled LDR Compliance for a demonstration of compliance with the standards of the Town Square zone.

Complies with all other relevant standards of these LDRs and all other Town Ordinances.

- Please see the section of this application titled, LDR Compliance and Housing Mitigation Plan for demonstrations of compliance with applicable LDR standards.
- Also, please see other sections of this submittal for demonstrations of compliance with the standards for a Development Plan and a Conditional Use Permit (for dormitory).
- This application also complies with all other town ordinances as demonstrated by the unanimous approval of the previous Sketch Plan.

Is in substantial conformance with all standards or conditions of any prior applicable permits or approvals.

- Please see the section of this application titled, Project Overview, Compliance with Conditions of Approval for a demonstration of compliance with the conditions of the previously approved Sketch Plan. Because this site is being fully redeveloped, all earlier permits and approvals are superseded by this application.

Retail

Complies with the use specific standards of Division 6.1, Allowed Uses, and the zone.

- Pursuant to the definitions of the LDRs, the retail spaces will sell goods.
- The products that will be sold in the two retail spaces will be determined later but the establishments that will occupy these spaces will be typical of all other retailers in the downtown area.
- Please see the section of this application titled, LDR Compliance for a demonstration of compliance with the standards of the Town Square and Downtown Core zones.

Complies with all other relevant standards of these LDRs and all other Town Ordinances.

- Please see other sections of this application titled, LDR Compliance and Housing Mitigation Plan for demonstrations of compliance with applicable LDR standards.
- Also, please see other sections of this submittal for demonstrations of compliance with the standards for a Development Plan and a Conditional Use Permit (for dormitory).
- This application also complies with all other town ordinances as demonstrated by the unanimous approval of the previous Sketch Plan.

Is in substantial conformance with all standards or conditions of any prior applicable permits or approvals.

- Please see the section of this application titled, Project Overview, Compliance with Conditions of Approval for a demonstration of compliance with the conditions of the previously approved Sketch Plan. Because this site is being fully redeveloped, all earlier permits and approvals are superseded by this application.

Accessory Residential Unit

Complies with the use specific standards of Division 6.1, Allowed Uses, and the zone.

- The ARU will be used as an employee apartment and the occupants will be employed in Teton County, consistent with the Affordable Housing Rules and Regulations.
- The ARU is accessory to a mixed-use development, which contains the principle uses of lodging, restaurant, bar and retail.
- ARUs are an allowed use in the Downtown Core zoning district.
- See the section of this submittal titled, LDR Compliance for a demonstration of this ARU complying with the applicable LDR.

Complies with all other relevant standards of these LDRs and all other Town Ordinances.

- Please see the section of this application titled, LDR Compliance for demonstrations of compliance with applicable LDR standards.
- This application also complies with all other town ordinances as demonstrated by the unanimous approval of the previous Sketch Plan.

Is in substantial conformance with all standards or conditions of any prior applicable permits or approvals.

- Please see the section of this application titled, Project Description, Compliance with Conditions of Approval for a demonstration of compliance with the conditions of the previously approved Sketch Plan. Because this site is being fully redeveloped, all earlier permits and approvals are superseded by this application.

ENGINEERING REPORT

ENGINEERING REPORT

Introduction

This engineering report provides the basis for design and addresses the engineering related issues for the proposed multi use development. The existing site contains two structures, a covered parking area, and asphalt parking. For the past several years the site has been utilized as a bank branch, including until recently, drive up teller windows. The site is completely developed with little to no existing pervious surfacing or landscaping. There are several existing buried and overhead utilities through the property. Water and sanitary sewer facilities are provided to the property through Town of Jackson (TOJ) Systems. The level of detail includes the basic layout and general design elements. Design detail will advance as the plan moves into the construction permitting and construction phases of the project.

Soils and Groundwater Conditions

A geotechnical investigation was performed by Nelson Engineering in 2001. This report noted that silty clay material existed down to 8' below ground surface and then changes to a gravel with some clay. In May of 2017 an additional investigation was performed. Groundwater was observed in all borings as noted in the reports. Due to fluctuations in ground water depths, monitoring wells were installed in some of the borings. Throughout the summer of 2017 groundwater depths were monitored, during which it was found that the highest ground water depths were witnessed during August. The highest ground water depth was noted to be at an elevation of approximately 6,222.6.

Access and Parking

Access to the site will be from King Street via the main development entrance. This access is proposed as a 20' wide roadway with a 5' pedestrian sidewalk. There will be dedicated parking spots on Center Street outside the main entrance. These spots will be temporary parking where guests will be directed to the King Street entrance, in addition valet services will be provided at the Center Street entrance to relocate vehicles to the King Street entrance. Parking for the development will be located internal to the building through the main King Street entrance. At this location valet services will be provided to move vehicles to the underground parking storage location.

The street frontage along both Center Street and Deloney Avenue will include sidewalks as indicated on the landscape plan. A traffic impact statement is included in the Appendix comparing the existing trip generations from the site to a proposed future amount. As stated in that report it is assumed the project will generate some additional trips to and from the site but this increase percentage is fairly minimal.

Grading, Drainage, and Stormwater Management

Grading of the site will not alter the grades along Center Street, Deloney Avenue, or King Street. Curb and gutter will be removed in all the locations where the development runs up to the TOJ right of

way. This will require replacement along with sidewalk installation. Grades of the replaced curb and gutter will match the existing asphalt paving. Development of the site will leave little to no pervious surface. Storm water will be collected on the roofs and terraces of the development and conveyed to a central collection system internal to the site. The limited area which is not to be covered with a structure will be graded with drains installed to convey runoff to the collection system.

The existing site contains 2 separate structures along with asphalt paving and parking. All existing stormwater runoff from the site sheet flows onto neighboring parcels and TOJ roadways. Based on TOJ regulations the proposed development is required to detain any additional runoff above and beyond the existing conditions. Preliminary stormwater calculations were performed and are included in Appendix D. Due to the proposed development having a longer time of concentration prior to leaving the site, the estimated runoff from a 100 yr storm event is just slightly higher than the existing 3.06 cfs compared to 2.98 cfs. As stated above, storm water will be collected on the roofs of the structures and various locations on the site, collected to a central collection system internal to the site, and conveyed to the TOJ storm pipe in King Street. Even though minimal stormwater retainage is required on site per regulations, as indicated in the calculations, a buried storm water detention facility is proposed to minimize impacts to the TOJ collection system. This would be a buried network of piping with a flow control outlet and overflow. In addition to the collection network gathering stormwater from the building roofs and surface drainage, snow melt and general drainage from the underground parking areas will have to be collected and conveyed to the stormwater system. Due to the depth of the underground parking area, all stormwater collected in the underground parking areas will require a pump or pumps to lift drainage to the stormwater collection system. All runoff collected within the parking areas will be conveyed to sand/oil separators prior to being pumped to the TOJ collection system. The estimated 3.06 cfs of runoff calculated for a 100 yr storm event will not affect the TOJ system further downstream as was noted previous because the runoff amount is close to the existing flow which ultimately flows to the same collection system. The calculations included in the Appendix along with grading and stormwater management plans will be refined through the Grading and Erosion Control Permit process as the project develops.

Water System

The site is surrounded on three sides by TOJ Water System Facilities. The TOJ has a 6-inch water main in Center Street, an 8-inch main in Deloney, and an 8-inch main in King Street. Due to the location of the project being near the downtown core of the TOJ, all water main facilities are adequately sized and looped.

To verify the existing water facilities are sized adequately, proposed water flows, both domestic and fire were estimated for the development. Current proposed programming values for the development were utilized for the estimates. Assumptions on use based on the proposed programming of the development are included in the Appendix along with flow projection calculations. Water demands were calculated using the AWWA M22 method and estimated to be 200 gpm based on the estimated fixture unit counts for the development. Based on discussions with the

TOJ and water system modeling it is expected that adequate capacity is available from the Town's water system.

Due to the size and proposed use of the development, the structures will require automatic fire sprinkler systems. Fire flow requirements were calculated utilizing NFPA 13, along with the proposed programming of the facility. Fire sprinkler flow requirements for the development sprinkler system are estimated to be 475 gpm. Due to the location of the development being in the core downtown area, it was assumed that additional exterior flow requirements would be needed in the event of a fire. It is assumed that 2 additional fire flows of 1,000 gpm would be required on adjacent fire hydrants. The building fire flow, along with the 2 exterior fire hydrant flows were simulated in the TOJ Water Model. Results of the modeling are included in the Appendix, which indicate that residual pressure within the water system at adjacent fire hydrants never dropped below 20 psi during a fire flow scenario, meeting Wyoming Department of Environmental Quality (WYDEQ) requirements.

Using the projected fire sprinkler flow demands, the water service supplying the development will need to be an 8-inch pipe to keep velocities within the pipeline below 6 feet per second during a fire flow scenario. To comply with the TOJ's conventional practice that a single development be supplied water through one location from the TOJ's system, a single connection will be constructed from Deloney Avenue. This connection will then split at the property line with one connection feeding the fire suppression system and the other supplying domestic water to the development. To provide the maximum domestic water demand a four-inch potable main will be installed to the development from the water main branch at the property line. All proposed water system requirements are indicated on the Proposed Utility Plan located in the Development Plan Drawings. As the project advances the project team will coordinate with the fire sprinkler designer and the Fire Department to ensure adequate fire protection measures and equipment are in place.

Sewer System

As can be noted from the existing site drawing located in the Development Plan Drawings, there is an existing TOJ sewer main which runs North/South in the dedicated alley between the 2 proposed buildings. At this time the main serves only the Wells Fargo Complex and the building at 110 Center Street. This collection system ultimately continues north through the property onto adjacent parcels.

In order to vacate the TOJ alley as proposed, the existing TOJ sewer main will be abandoned. To allow the TOJ to maintain the sewer main to the north of the development a new sewer manhole is proposed just north of the property and a utility access easement will be provided. A new sanitary sewer collection system will be constructed on site to convey flows to the TOJ main located in King Street. This new system would be private and maintained by the property owner. This would eliminate the TOJ's need to maintain the collection system within the alley. Abandoning the existing system and constructing a new private system would require coordination of the relocation of the sewer service from 110 Center Street. At this time the building at 110 Center Street is slated for demolition and reconstruction beginning Spring 2018. Reviewing the proposed plans for that development, the sewer service is proposed to connect to the sewer main in Deloney. All proposed

modifications are indicated on the Proposed Utility Plan located in the Development Plan Drawings. With the service to 110 Center Street relocated, the development will collect sanitary waste on site and construct a new system to connect to the TOJ system with a new manhole in King Street.

To size the proposed piping the same assumed development programming was utilized as with the water system. Because there is little irrigation demand on the subject property it can be assumed the water and sewer demands will be close to equal. Based on calculations, included in the Appendix for the water demands, the peak hourly sanitary sewer flow was estimated at 195 gpm. Using this flow and assuming minimum pipe slopes an 8-inch gravity pipe would be adequate to serve the development. Due to cooking facilities proposed within the development a grease trap on the collection system will be required. From preliminary development programming assuming numbers of meals, a 4,000-gallon grease interceptor is proposed in a location where it can be maintained. As the design develops the size of the interceptor will be refined. The proposed utility plan indicates the changes to the sanitary sewer system.

Wire Utilities and Gas

Power and communication facilities are readily available throughout the area and to this specific location. There are several overhead power and communication facilities which run north/south through the TOJ alley. Lower Valley Energy Century Link Communications, Charter Communications, and Silver Star Communications have been contacted to discuss relocation of the overhead facilities. Included in the Development Plan Drawings is a utility relocation plan indicating the proposed location of the relocated facilities. Continued coordination will be required with the project team and utility providers as the design develops.

Refuse, Garbage, Trash, and Recycling

Refuse, garbage, trash, and recycling will be kept in covered containers at all times. All containers will be kept within enclosed structures as indicated on the proposed site plan. At this time there are 2 different locations proposed. One in the structure at the King Street entrance and the other at the north end of the development near the northwest corner set of stairs.

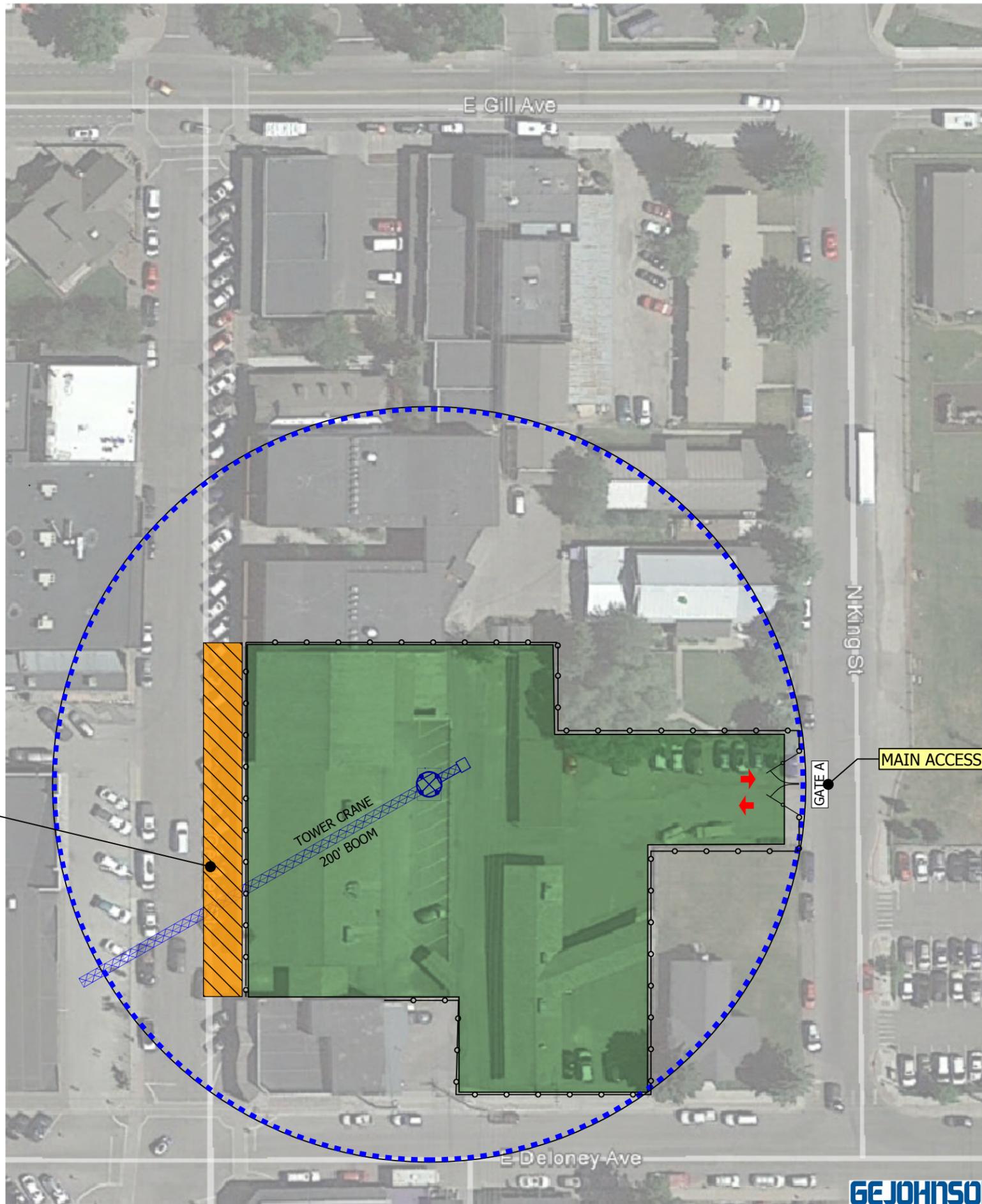
Snow Storage

Due to the proposed scale of the development, there is very little area on the site which is not covered by roofs or decks. The only area on the site where snow removal will be required is the area of the drive lanes accessing the development and area of the turnaround at the building entrance. This area is approximately 7,300 square feet. Using the TOJ snow storage requirement that states storage area equal to 2.5% of the parking area needs to be provided, which results in 185 square feet of snow storage. This area will easily be accounted for on the access drive at the north end of the development. Although, due to the nature of the development and the proposed amenities, all snow will be removed from the site in an expedited manner.

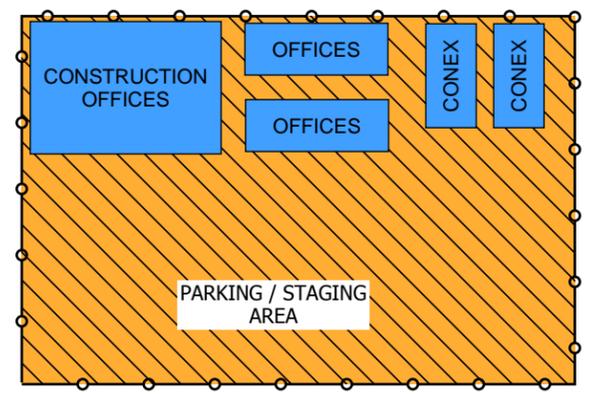
Construction Management

A draft site logistics plan has been prepared by GE Johnson Construction Wyoming and is included in this development plan submittal. GE Johnson is very familiar with the requirements when working within the Town of Jackson and are more than adequately qualified in preparing the plan. GE Johnson Construction Wyoming will work with our development team and the Town of Jackson Public Works to further develop the details of the site logistics plan.

EXHIBIT A - SITE LOGISTICS PLAN



POTENTIAL RENTAL OF PARKING SPACES FROM TOWN OF JACKSON (TBD)
 GE JOHNSON AND OWNER TO COORDINATE PARKING SPACES AND PEDESTIRAN ACCESS WITH TOWN OF JACKSON PUBLIC WORKS



- OFF-SITE LOT (TBD)
- CONSTRUCTION OFFICES
- CONCRETE WASHOUT
- DEBRIS BOXS
- MATERIAL LAYDOW



CENTER STREET - JACKSON WY
 - SITE LOGISTICS -

EXHIBIT B - GEOTECHNICAL REPORT

GEOTECHNICAL INVESTIGATION

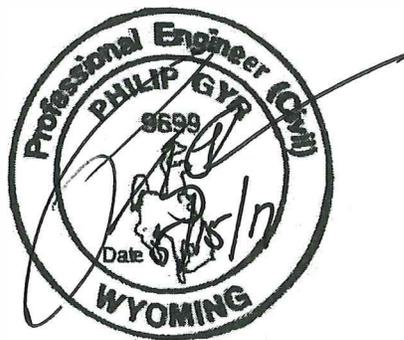
**CENTER STREET PROJECT
112 CENTER STREET
& 165 E DELONEY AVENUE
JACKSON, WYOMING**

PREPARED
FOR:

**CRYSTAL CREEK CAPITAL
REAL ESTATE ADVISORS, LLC
JACKSON, WYOMING**

PREPARED
BY:

**NELSON ENGINEERING
JACKSON, WYOMING**



MAY 2017
Project No. 16-306-02

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GENERAL AND PROJECT DESCRIPTION

This report pertains to a geotechnical investigation performed for an approximately 74,000 square feet mixed use development at 112 Center Street and 165 E Deloney Avenue in downtown Jackson, Wyoming. Preliminary plans prepared by CLB Architects show a four-story structure with three levels above ground and a basement level. The basement level will include approximately 87 parking spaces, mechanical and service spaces, a lower lobby, staircases, and elevators. The deepest portions of the basement level are shown on the plan approximately 17 feet below existing grade. Planned elements for the upper three levels of the structure include a hotel, retail and restaurant space, employee housing, driveways, hardscapes, pool and spa, and utility improvements. Geotechnical recommendations contained herein are based on design development plans dated 4/10/17 prepared by CLB Architects.

Scope of Services

The scope of services for this investigation was to provide geotechnical recommendations based on subsurface investigations and soils laboratory testing for the proposed facility. The purpose of the subsurface investigation was to determine soils and groundwater characteristics. The results of the subsurface investigation and subsequent laboratory testing were utilized in an engineering analysis for foundation, paving and construction recommendations. Slope stability analyses were not conducted, as it is our engineering judgment that the existing and proposed site geometry and soil composition indicate stability. Specific design for stability, shoring, underpinning and dewatering of excavations required for construction are not within the scope of this investigation. The Owner and Contractor shall be responsible for obtaining final analysis and design of foundation excavations required for construction. Specific recommendations for drainage and surface water conveyance are not within the scope of work for this report.

The foundation analysis and resulting recommendations contained herein are based on typical loads for the type of structures envisioned in the conceptual design. In the final design phase of the project, it will be critical that structural loads be properly communicated to the geotechnical engineer to verify that the imposed loading conditions on the proposed foundation configuration do not cause excessive settlement, exceed the bearing capacity of the site soils, or exceed the seismic loading capacity of the foundation elements. Lateral earth pressure recommendations contained within this report are general in nature; it is critical that final retaining wall designs are reviewed by the geotechnical engineer for review and approval. For this report, it is assumed that foundation elements would not be subjected to unusual loading conditions such as eccentric loads or vibratory equipment. Unusual load conditions can induce settlement or reduce the bearing capacity of foundation elements.

SITE CONDITIONS

Description

Existing structures on the project parcels include: 1) the existing bank, a two-story structure, main floor Center Street level with walkout basement/parking garage, constructed in 1966, 2) Chamber of Commerce addition to north, main floor at Center Street level with basement, completed in the early 1970's, and 3) bank drive-up facility at

165 E Deloney Avenue, single-story and full basement, constructed between 1977 and 1979. The parcels are fully improved with structures and asphalt paved areas. Various underground utilities traverse the project. Local topography generally slopes from southeast to northwest towards Flat Creek.

Geology and Soil Mapping

The area's surface geology is mapped on the USGS "Geologic Map of the Jackson Quadrangle, Teton County, Wyoming," J.D. Love and H.F. Albee, 2004. The surficial deposits throughout the project site are described as "Q_f-Alluvial Fan Deposits-Water-laid gravel, sand, silt, and clay spreading out from mouths of ravines and canyons." Quaternary swamp deposits, described as "Q_s-Swamp Deposits-Clays, silt, and fine sand, dark-gray and brown, rich in vegetal debris," and Quaternary floodplain deposits, described as "Q_{fp}-Flood-Plain Deposits-Sand, silt, clay, and minor lenses of gravel" are mapped approximately 1000 feet to the north of the project site. Soil profiles observed in the borings are thought to consist of coarse-grained alluvial fan deposits with inter-tongued fine-grained floodplain deposits and swam deposits.

The US Natural Resources Conservation Service's Soil Survey of Teton County has mapped the Greyback gravelly loam at the site. The soils are characterized as located on 0 to 3 percent slopes formed of alluvium and/or glaciofluvial deposits derived from igneous, metamorphic, and sedimentary rock. This soil is described as very deep, somewhat excessively drained, and composed of gravelly loam, very gravelly sandy loam, and very gravelly loamy sand.

Seismic Hazard

Jackson Hole and the project site are located within the Intermountain Seismic Belt, a zone extending from southern Utah through eastern Idaho and western Montana, and encompassing western Wyoming and the Teton Range as referenced by Smith, Robert B., and Walter J. Arabasz. "Seismicity of the Intermountain seismic belt. "Neotectonics of North America," 1991. The USGS Earthquake Hazards Program has mapped Quaternary faults and folds in the United States as displayed on Google Earth with the following active faults near the project site: the Teton Fault, the Phillips Valley Fault, and secondary faults within the Jackson Hole Valley. In particular, the Teton Fault is thought to be capable of producing major earthquakes of a magnitude of six or greater. The portion of the Teton Fault mapped as active in the Quaternary is approximately 6.9 miles northwest of the site. The USGS "Geologic Map of the Jackson Quadrangle, Teton County, Wyoming," J.D. Love and H.F. Albee, 2004, shows the postulate trace of the Cache Creek Thrust Fault a quarter mile south of the project site. The Cache Creek Thrust Fault is not classified by the USGS as an active fault. Multiple minor earthquakes with epicenters near the site have occurred in recent years (USGS Earthquake Database).

SITE INVESTIGATIONS

2001 Investigation

On October 19, 2001, Nelson Engineering advanced three boreholes, BH-1, BH-2 and BH-3 within the project site. These borings were part of a geotechnical investigation and groundwater investigation titled "Subsurface Geotechnical Investigation for Addition to Jackson State Bank Main Bank Building" dated November 28, 2001 and performed for the

former Jackson State Bank. The borings were advanced to depths of 25 to 31 feet at the locations shown on **Drawing 2 – Borehole Location Map**. Soil profiles in these boring were variable with high bearing capacity gravels found in the west and medium to low bearing capacity mixed clay and gravel soils found in the south and west. Borehole locations from the 2001 investigation were located during a site survey. LK Drilling of Green River, Wyoming, advanced the borings with a Diedrick geotechnical auger rig using 3.25 inch solid flight augers. The report and boring information were directly used as a reference in the development of this report.

2017 Investigation

On April 20, 2017, four boreholes, BH-4 through BH-7, were advanced within the project site. Borehole locations are shown on Drawing 1 – Borehole Location Map in the Appendix. Boreholes for this investigation were located with a Trimble GeoXT GPS unit. Borehole locations and depths were selected to best determine subsurface conditions within the proposed building site. Inberg-Miller Engineers of Riverton, Wyoming, drilled the borings with a truck-mounted CME-85 drill rig using an 8 inch outer-diameter (O.D.) hollow stem auger. Sampling was performed with 2-inch O.D., split-barrel (split-spoon) samplers per ASTM D1586 and 3-inch O.D. Shelby Tube samplers per ASTM D1587. Andy Pruett, a Professional Geologist at Nelson Engineering, logged the boreholes and directed the sampling. Soils were classified in the field and logged by the geologist. The soil classifications, moisture conditions, and presence of organic or other notable features were recorded in the field logs. Bulk samples were sealed in plastic bags and transported to our laboratory for testing and further classification. Undisturbed samples of fine-grained soils were obtained in Shelby Tubes for consolidation testing. Groundwater observations were made at the time of the boring advancement based on field observations of soil moisture conditions. The groundwater level was measured with a downhole water level indicator after drilling was completed and prior to constructing the monitoring wells. Field observations and laboratory testing results are presented both on the boring logs and in the Laboratory Results sheets in the Appendix.

The stratification lines shown on the boring logs and subsurface cross-sections represent the approximate boundary between soil types. The actual in-situ transition may be either gradual or abrupt. Due to the nature and depositional characteristics of natural soils and fills, care should be taken in interpolating subsurface conditions beyond the location of the boreholes. Soil conditions can change rapidly in both the lateral and vertical directions. Groundwater conditions shown on the logs are only for the dates indicated.

The subsurface conditions were interpreted from the described boreholes at the site. The soil properties inferred from the field and laboratory analyses, supported by our experience, formed the basis for developing our conclusions and recommendations.

Laboratory Investigations

Samples obtained during the field investigation were taken to the laboratory where they were visually classified in accordance with ASTM Test Method D-2487-93, which is based on the Unified Soils Classification System (USCS). Representative samples were selected for testing to determine the physical properties of the in-place soils and to estimate engineering properties. Engineering properties of concern at this location included bearing

capacity, seismic response, shear strength, and site-specific construction recommendations that are influenced by soil type and condition.

Laboratory testing was conducted to provide additional information to determine the suitability of the soils for use as foundation and subgrade materials and to verify field observations and classification estimates. The finalized laboratory observations were used to estimate soil strength and compressibility characteristics for bearing capacity determinations, consolidation and settlement determinations, lateral and vertical pile load response analysis, and pavement designs. Specific tests included Atterberg Limits Tests - ASTM Designation D4318, Grain Size Analysis - ASTM Designation C117 & C136, Soil Moisture Content Determinations - ASTM Designation D2226, and Soil Classification - ASTM Designation D2487, One-Dimensional Consolidation – ASTM Designation D2435.

The soil samples stored in our laboratory will be discarded after 30 days from the date this report is submitted unless we receive a specific request to retain them.

SUBSURFACE CONDITIONS

Soil Profiles

All borings (BH1 through BH-7) were advanced through asphalt pavement at the ground surface. Pavement sections were typically 2 to 3 inches up to a maximum thickness of 6 inches of asphalt with approximately 4 inches of underlying crushed base and up to 8 inches of pit run subgrade below the crushed base. Below the pavement sections throughout the project site was coarse-grained alluvial fan deposits composed of gravel with sand and clay and clayey gravel with sand. These soils are identified from 8 feet to 31 feet in BH-1, from 5 to 12 feet and 18 to 25 feet in BH-2, throughout BH-3 and BH-5, to 25 feet depth in BH-4, from 5 to 9 feet and 15 to 26.5 feet in BH-6, and from 1 to 4 feet and 11 to 26.5 feet in BH-7. The alluvial fan deposits were poorly-graded to well-graded, medium dense to very dense, contained angular to sub-round gravels with numerous freshly fractured gravels indicating the presence of larger gravels and cobbles and variable clay content.

Three distinct fine-grained clay and silt layers were identified as shown on the extrapolated and interpolated cross sections on **Drawing 3 – Subsurface Cross-Sections** in the Appendix. A surficial clay layer was found in BH-1, BH-2, BH-5 and BH-6 that may be continuous. A deeper fine grained layer as found in BH-2, BH-6, and BH-7, fine grained soils (silt with sand, silty clay with gravel, gravelly lean clay, and lean clays) were found in BH-7 from 5 feet to 10.5 feet, in BH-6 from 9.5 feet to 15 feet, and in BH-2 from 12 to 18 feet. Additionally, deep layer of clay was found in BH-4 from 25 feet to the bottom of the boring at 36.5 feet. The fine-grained soils identified within BH-4 include inter-tonguing lenses of stiff to very stiff sandy silt, silty sand, and lean clay.

Groundwater

Groundwater was encountered in all seven of the borings. Saturated soils were first encountered at depths between 15 and 30 feet. In BH-4 fine-grained soils from 25 feet to the bottom of the boring at 36.5 were not uniformly saturated indicating that less permeable soils within the deposits form aquitards such that a continuous aquifer is not

formed. A continuous aquifer in the other borings was found in the underlying gravels and cobbles.

Monitoring wells were constructed in BH-1 and in BH-4 through BH-7. Levels were measured on May 10 and April 28, 2017. The highest levels were recorded on April 28, 2017 as shown in Table 1 below.

Table 1: Approximate Groundwater Elevations 04/28/2017

BH #	Approximate G.S. ELEV. (ft.)	Water Depth BGS (ft.)	Approx. Water Surface Elevation
1	6237.1	17.2	6219.9
4	6243.0	26.4	6216.6
5	6238.0	18.5	6219.5
6	6234.8	14.7	6220.1
7	6233.5	14.7	6218.8

Groundwater elevation will fluctuate seasonally. The magnitude of these fluctuations is not known but is thought to be influenced by flows in Flat Creek. Flat Creek flows are typically highest in mid-June to early July due to snowmelt and irrigation water diversion from the Gros Ventre River into the creek.

GEOTECHNICAL ANALYSIS & RECOMMENDATIONS

General

Subsurface conditions encountered in the borings are typical of mixed alluvial and lacustrine and swamp deposits in this area of Jackson. The following sections discuss engineering analysis and construction recommendations for the project as shown on the current project plans. Construction of the proposed foundations will also require shoring and underpinning for excavations and structures adjacent to the property lines. Dense competent gravels are found at footing depths in the south and west portion of the building footprint as shown on the Borehole Location Map. Shallow clay and silt layers were found in the central northern and eastern portions of the site. Existing structures on the north and west along Center Street are postulated to bear on competent gravels and clayey gravel soils. Subsurface conditions beneath the Chamber of Commerce and Bank structures should be explored with test pits or additional borings after demolition.

Seismic Design Parameters

The 2012 International Building Code (IBC) designates site class per ASCE 7 Chapter 20. Data obtained in this investigation is not sufficient to determine soil parameters as required by ASCE 7; therefore the IBC directs that seismic coefficients and design spectra shall be determined using Site Class D and Latitude of 43.483° and Longitude of -110.759°.

Foundation Recommendations

Conventional spread footings and slab-on-grade elements transferring structural loads to native, dense alluvial deposits reinforced structural fills are the appropriate foundation

elements to support proposed developments. Minimum burial depth for frost is 36 inches per Town of Jackson requirements.

Parking Garage Level: Bottom of Footing < Elev. 6124

Lower elevation parking garage spread footings bearing on dense alluvial gravel deposits are appropriate the foundation elements. Where clay or silt is found at bottom of foundations, these soils shall be removed and replaced with structural fills. For continuous footings with widths of 4 feet or less and isolated pad or column footings with areas of less than 225 square feet a net allowable bearing capacity of **3500 PSF** is acceptable.

Parking Garage Level: Bottom of Footing > Elev. 6124

Spread footings bearing on geogrid reinforced structural fills are appropriate. Structural fill shall be reinforced with Tensar TX7 geogrid at 1 foot intervals as shown on Drawing 4. Reinforced fill thickness shall be 4 feet minimum unless competent gravel is encountered at shallower depth and reduced thickness is approved by Nelson Engineering. For continuous footings with widths of 4 feet or less and isolated pad or column footings with areas of less than 64 square feet a net allowable bearing capacity of 3000 PSF is acceptable. Reinforced structural fill shall be placed on native subgrade compacted to a depth of 8 inches to 95% of maximum density per ASTM D 698 (Standard Proctor). Structural fill shall extend horizontally from the bottom of footing a minimum of 1-ft for continuous footings and 2-ft for isolated or pad footings.

Eastern Lobe and Lobby Level, Finished Floor at Grade Areas

For the eastern lobe of the building fronting King Street and Lobby areas it is assumed footings will bear at frost depth. Spread footings bearing on geogrid reinforced structural fills are appropriate. Structural fill shall be reinforced with Tensar TX7 geogrid at 1 foot intervals as shown on Drawing 4. Reinforced fill thickness shall be 4 feet. Where competent gravel is encountered at shallower depth a reduced thickness may be approved by Nelson Engineering. For continuous footings with widths of 2.5 feet or less and isolated pad or column footings with areas of less than 64 square feet a net allowable bearing capacity of **2500 PSF** is acceptable Structural fill shall be placed on native subgrade compacted to a depth of 8 inches to 95% of maximum density per ASTM D 698 (Standard Proctor). Structural fill shall extend horizontally from the bottom of footing a minimum of 1-ft for continuous footings and 2-ft for isolated or pad footings.

Pool

Pool loads may be supported by driven piles should spread footing loading be too high to meet the restrictions given in the previous section. 10-inch diameter pipe piles driven to a minimum of 20 feet depth with an allowable load of 60 kips are appropriate. Other combinations of depth and pile type can be evaluated if requested. Settlement for individual piles at this working load is calculated to be less than 0.25 inches. A grade beam foundation system will be required to convey loads to driven piles. The recommendations and load limits given are for specific pile sizes.

General Recommendations

The net allowable soil pressures recommended include dead load plus maximum live load. These calculations assume that a maximum total settlement of 0.5 inches be tolerated on any one footing and the maximum differential settlement between footings that can be

tolerated is 0.5 inches. Bearing capacity values and settlement should be checked for each combination of load to determine whether settlement or bearing capacity will control the response of the footing. Construction of large footing sizes can lead to increased settlement as the bearing pressure bulb can extend deeper into the soil profile resulting in settlement of greater than that specified. Foundation elements supporting large concentrated loads should be analyzed on an individual basis to determine settlement and bearing characteristics. Other foundation parameters are as noted below:

1. A one-third increase in allowable bearing capacity may be used for short duration loads such as wind or seismic.
2. Lateral loads may be resisted by friction between the footing base and supporting soil appropriate parameters are a **coefficient of friction of 0.45** at the footing base. Lateral passive bearing pressure assumed for gravelly clay soils is 300 psf.

Any soil type encountered at the bottom of footing excavations other than the ones described herein, including isolated boulders, should be analyzed by a soils engineer, or removed and replaced with structural fill. Any excessively loose material or soft spots encountered in the footing subgrade will require over-excavation and backfilling with structural fill. All footings shall be suitably reinforced to make them as rigid as possible.

Drainage

Moisture penetration into bearing soils, particularly for shallow footings and exterior slabs or pavement, will result in undesirable settlement. Site grading plans should be carefully reviewed to ensure surface waters, snowmelt, and irrigation systems drain away from foundation elements. Moisture infiltration into backfill against structures shall be prevented.

Dewatering

A permanent dewatering system may be required if monitoring through the next two months shows a risk of seasonal high water elevation above basement levels. A conservative assumption is that any part of the structure below an elevation of 6224 feet will require a dewatering system. **When groundwater monitoring has been completed the elevation given here may be revised.**

Shoring, Underpinning

Foundations of adjacent buildings, underground utilities, and other structures may require underpinning or other stabilization measures during construction. An investigation into the depth of footings for adjacent structures will be required to determine shoring and underpinning requirements as well as lateral earth pressure loading on the basement foundation walls.

Extensive shoring will likely be required along portions of the north, south and west property boundaries to accommodate foundation construction. A shored retaining wall using grouted soil nails and a reinforced shotcrete facing is often used in this application. Soil nails will extend into neighboring properties and will require the necessary underground easements. Shoring walls constructed using soldier piles and wood lagging

are often used where wall height is not excessive, site soils are reasonably competent, and site restraints prohibit soil nail construction.

Permanent retaining walls that serve as shoring during construction and will reduce or eliminate lateral loads on basement structural walls may prove cost effective, and should be evaluated as an alternative during the design process.

Conservatively assigned soil properties appropriate for shoring and underpinning design are given below in Table 2. These parameters assume retained soils profile match those in BH-4 and BH-7 and for the location and elevations of sections described.

Table 2: Design Soil Parameters for Shoring and Underpinning

Section:	Section A-A'	Section B-B (0 to 110 feet)	Section B-B' (120 to 210 feet)
Depth (feet):	0 -22 feet	0 -14 feet	0 -12 feet
Soil Type:	Gravels with sand & clay	Gravels with sand & clay	Lean clay with silt & sand
Moist Unit Weight (γ) =	135 lbs/ft ³	135 lbs/ft ³	130 lbs/ft ³
Cohesion (c) =	0 lbs/ft ²	50 lbs/ft ²	250 lbs/ft ²
Effective Friction Angle (Φ') =	34°	34°	25°

Lateral Earth Pressures

The following recommendations assume that all basement foundation walls will resist native soils temporarily restrained by shoring elements during the construction phase of the project, and that all walls will be backfilled with Structural Fill as per **Drawing 4**. As stated earlier, an investigation into the depth of footings for adjacent structures should be completed to determine the appropriate lateral earth pressures on each segment of the basement walls. Any walls adjacent to existing foundation walls may be subjected to considerably reduced earth pressures and will be extremely overdesigned and costly if designed per the recommendations contained herein.

Basement foundation walls should be designed for lateral earth pressures assuming the walls will be backfilled with compacted fills per this report. We recommend that stem or sidewalls restrained from movement such that active earth pressures are will not be allowed to develop, an at-rest equivalent fluid pressure of **60PCF** is appropriate.

The Mononobe-Okabe (M-O) equations are often used to estimate dynamic forces against retaining walls. The M-O analysis is theoretically derived using active earth pressure conditions. Although there is debate about the theoretical applicability of this methodology to restrained or rigid walls, the method has been used for many years for the seismic design of such walls. The performance record of underground walls during earthquakes has generally been good. Appropriate parameters for the M-O analysis are: 1) soil unit weight 130 pounds per cubic foot, and 2) Internal Friction Angle= 32°, and 3) K_h of 0.12g (half of the maximum horizontal seismic acceleration in rock with a 10% exceedance in

50years). The more limiting case, at-rest or active seismic pressure, shall be utilized in the structural design of restrained or rigid retaining walls.

Interior Slabs-On-Grade

Interior slabs shall be founded upon the following section from top to bottom: **1)** 4 inches of crushed base composed of a ¾-inch minus free draining material (WYDOT Grade CR or equivalent) compacted to a minimum of 95% of maximum density as determined by ASTM D1557, **2)** 12 inches of Structural Fill, and **3)** the upper 8 inches of dense gravel alluvial deposits compacted to a minimum of 95% of maximum density as determined by ASTM D698. In areas where bottom of slab elevation coincides with fine-grained, softer soils, a layer of geogrid may be required below the structural fill. Any excessively loose material or soft spots encountered in slab subgrade will require over-excavation and backfilling with structural fill. The recommended Modulus for Subgrade Reaction for use in Slab design per “The American Concrete Institute Design of Slabs on Grade, ACI 360R-92” is **300 lbs/in³**.

Concrete slab-on-grade control joints should be saw-cut as early as possible. Nelson Engineering recommends the use of a soft cut system, which allows saw cutting as soon as the concrete can support foot traffic. Successful crack control is dependent upon proper joint spacing. Control joints should be placed in accordance with current Portland Cement Concrete Paving Association guidelines.

Sidewalks and Exterior Slabs

Sidewalks and exterior concrete slabs for foot traffic shall be placed upon a minimum of 3 inches of ¾-inch minus crushed gravel placed upon 12 inches of structural fill. The native subgrade must be compacted to a minimum of 95% of maximum dry density per ASTM D698 and inspected to 8-inch depth. Any fill required to increase the elevation of the slab should meet the requirements for granular structural fill. (Refer to the section on structural fill for requirements). All fill material within 2 feet of the slabs must be compacted to a minimum 95% of the maximum density as determined by ASTM D698.

Roadway and Parking Lot Sections

The sections given below assume the existing asphalt, crushed base, and pit run section is removed and replaced. Proper drainage is essential for satisfactory road and parking area performance. The structural fill and geotextile requirements given below can be waived when acceptable subgrade conditions exist. **Nelson Engineering shall inspect and approve all driveway and pavement subgrades prior to waiving the structural fill requirement.**

Pavement Section Components	Newly Paved Areas
Asphaltic Concrete	3 inches
WYDOT Grade GR Crushed Aggregate	6 inches
Structural Fill subbase	14 inches
Nonwoven Geotextile	Mirafi 160N, Placed on subgrade
Compacted Subgrade	Surficial 8 inches of native soil compacted as much as moisture and subgrade conditions permit

*See Discussion above

CONSTRUCTION CONSIDERATIONS

Earthwork and Site Grading

Excavation work and heavy equipment access will be difficult when wet conditions exist. A protracted period of wet conditions can be expected during and after seasonal snowmelt and during periods of rainfall. **Placement of imported gravels supported by geotextiles and/or geogrid will be required to provide construction access and to provide platforms for equipment.** General recommendations for earthwork suitability, placement, and compaction procedures are provided below:

- Within the building footprints and areas to be paved, all organic material, deleterious undocumented fill, and debris shall be removed regardless of depth below the surface. Loose and disturbed native soils should be scarified, moisture-conditioned, and compacted. Finished surfaces shall be sloped away from foundations.
- Fill materials shall not be placed, spread, or compacted while the ground is frozen or during unfavorable weather conditions. Fill materials shall be at the proper moisture content prior to compaction and shall contain no frozen soil.
- Native subgrade shall be compacted with vibratory equipment appropriate for the soil types described in this report. Where soft, loose or wet areas are encountered that do not improve with repeated compaction effort, replace native soils with structural fill or as directed by the geotechnical engineer.
- Fine-grained clays and silts with variable amounts of sand and gravel will be encountered throughout the excavations. These soils will exhibit undesirable engineering properties when wetted. **Every effort shall be made to ensure that moisture from rainfall and groundwater does not infiltrate foundation bearing, slab, and roadway subgrade soils during the entire construction period until backfilling is complete.** Measures to prevent moisture infiltration may include the placement of tarps or membranes; maintain grading during construction to drain storm water from exposed excavations during precipitation and snowmelt events, and others. In the event that moisture has been allowed to infiltrate subgrade or bearing soils, excavation and backfill operations should cease and not resume until Nelson Engineering approves the moisture and density conditions of the soils.
- **Structural Fill** shall consist of imported gravels (USCS classification GW or GP) with the following characteristics: 4-inch maximum particle size for geogrid reinforced fills, 6-inch maximum particle size for other uses, no more than 40% greater than $\frac{3}{4}$ ", and less than 8% fines passing the #200 sieve. Fines shall have a plasticity index of less than 15.

Structural Fill shall be placed in layers of not more than 8 inches in thickness. Each layer of Structural Fill should be moisture conditioned to within 2% of optimum moisture content and compacted to a minimum density of 95% of the maximum dry density as determined by ASTM Designation D 698. The maximum density of

material containing more than 30% oversize (greater than ¾" diameter) cannot be determined by use of the ASTM Designation D 698. In this case, a field maximum density may be determined by a test strip method. The material shall be compacted at or near optimum moisture content and a field density test shall be taken after each pass of the compaction equipment. This sequence shall continue until the maximum field density is achieved. This maximum field density shall be used for subsequent field compaction tests. Enough density tests should be taken to monitor proper compaction.

In areas where structural fill placement is necessary to achieve grade, a minimum of 2 feet of surficial soils shall be excavated and removed prior to placing structural fill. Structural fill shall extend horizontally beyond the perimeter of all footers or slabs a minimum of 2 feet or a distance equal to the total depth of structural fill, whichever is less. Structural fill placed above the existing ground surface to achieve footing grade, beyond the 2-foot minimum level from the footings, shall have a maximum slope of 1.5(H):1(V).

- Safety of construction personnel including safe trenches and excavations are the responsibility of the contractor. Excavations for retaining walls and foundations shall conform to the applicable OSHA and Wyoming safety standards. Excavations and utility trenches shall be laid back to safe slopes or properly shored. Excavations and shoring operations shall be conducted in accordance with the most recent versions of the OSHA Construction Standards for Excavations, Part 1926, Subpart P and Wyoming Public Works Standard Specifications. Excavations for utilities shall be shored if the proper slope cannot be maintained.
- During earthwork phases of the project, a representative of Nelson Engineering shall be present to observe exposed native soils and fill materials for suitability and consistency. A documented testing program should be conducted to determine that soil compaction is in accordance with requirements.
- Backfill placed against structures (i.e., pipes and walls) shall be of a character and in a manner that will not damage that structure. In no case shall material greater than 6 inches in diameter bear directly on or against these structures. Placing oversized material against rigid surfaces can damage the structure and interferes with proper compaction.

GENERAL COMMENTS

It is critical that the structural engineer and other project designers review this report. When project plans and specifications are complete, a consultation with this office should be arranged to ensure compliance with this report. Additional or supplementary recommendations concerning foundations and earthwork may be required at this time. Monitoring and testing should be performed to verify that suitable materials are used for structural fills and backfills and that fills are properly placed and compacted. Concrete testing and special inspections should be performed prior to and during placement of all concrete to ensure concrete and reinforcing steel bar comply with project plans and specifications. Nelson Engineering can provide concrete testing and special inspections if requested.

WARRANTY AND LIMITING CONDITIONS

The field observations and research reported herein are considered sufficient in detail and scope to form a reasonable basis for the purposes cited above. Nelson Engineering warrants that the findings and conclusions contained herein have been promulgated in accordance with generally accepted professional engineering practice in the fields of foundation engineering, soil mechanics, and engineering geology, only for the site described in this report. No other warranties are implied or expressed.

These engineering methods have been developed to provide the client with information regarding apparent or potential engineering conditions relating to the subject property within the scope cited above and are limited to the conditions observed at the time of the site visit and research. There is a distinct possibility that conditions may exist which could not be identified within the scope of the investigation or which were not apparent during the site investigation. The report is also limited to the information available at the time it was prepared. In the event additional information is provided to Nelson Engineering following this report, it will be forwarded to the client in the form received for evaluation by the client. This report was prepared for use by Teton County/Jackson Parks and Recreation in Jackson, Wyoming ("Client") and the conclusions and recommendations presented in this report are based on the agreed-upon scope of work outlined in the report and the contract for professional services between Client and Nelson Engineering ("Consultant"). Use or misuse of this report, or reliance upon the findings hereof by any parties other than the Client, is at their own risk. Neither the Client nor Consultant may make any representation of warranty to such other parties as to the accuracy or completeness of this report or the suitability of its use by such other parties for any purpose whatsoever, known or unknown, to the Client or Consultant. Neither Teton County/Jackson Parks and Recreation, nor Nelson Engineering shall have any liability to, or indemnifies or holds harmless third parties for any losses incurred, by the actual or purported use or misuse of this report. No other warranties are implied or expressed.

Prepared By:

Blair Rushing, PE
Geotechnical Engineer

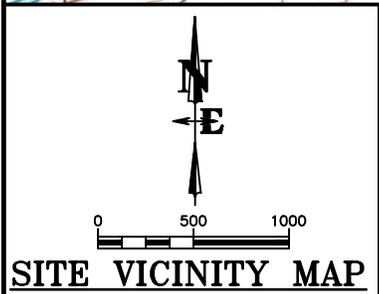
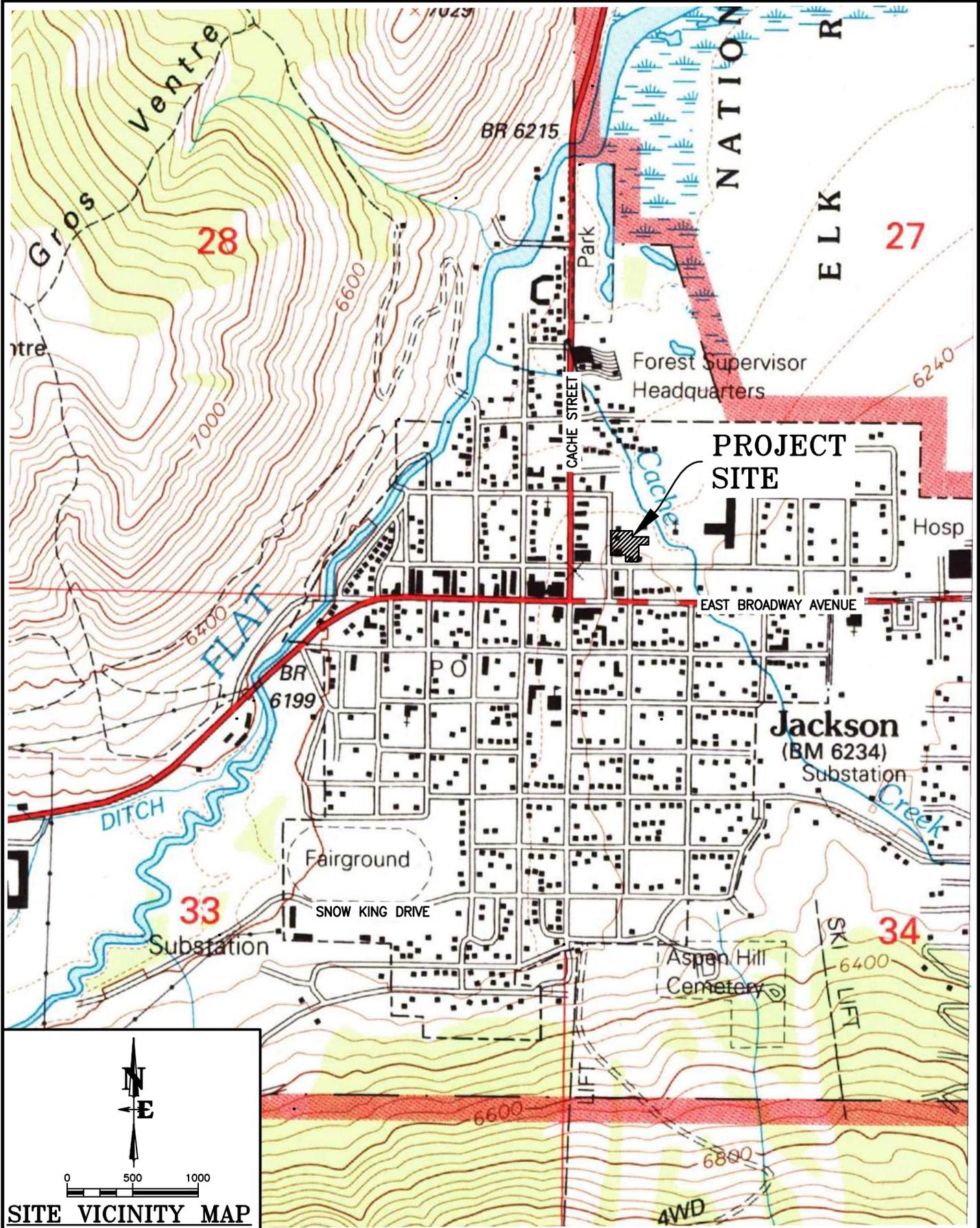
Reviewed By:

Philip Gyr, PE
Sr. Geotechnical Engineer

APPENDIX

DRAWINGS

S:\Proj\2016\306-02\Center Street Project -Geotechnical\Drawings\Center Street Vicinity Map - May 15 2017 08:04 pm PLOTTED BY: BYR

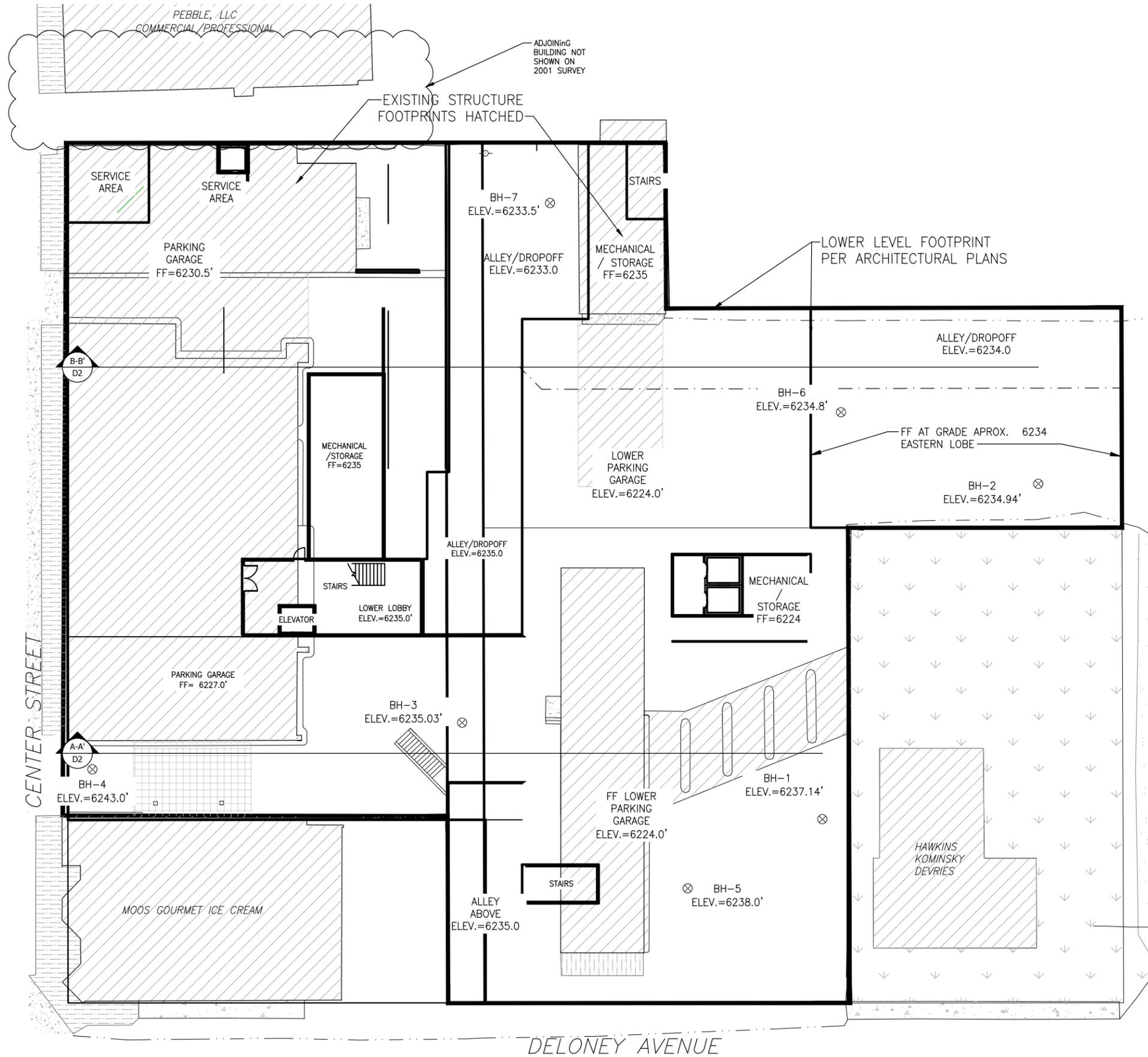


SITE VICINITY MAP

DRAWING NO 1	TITLE CENTER STREET PROJECT 112 CENTER ST/165 DELONEY AVE GEOTECHNICAL INVESTIGATION	NELSON ENGINEERING P.O. BOX 1599, JACKSON WYOMING (307) 733-2087 110	DATE 5/3/2017	REV.
JOB NO 16-306-02			SURVEYED -	
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			CHECKED BR	
			APPROVED PG	

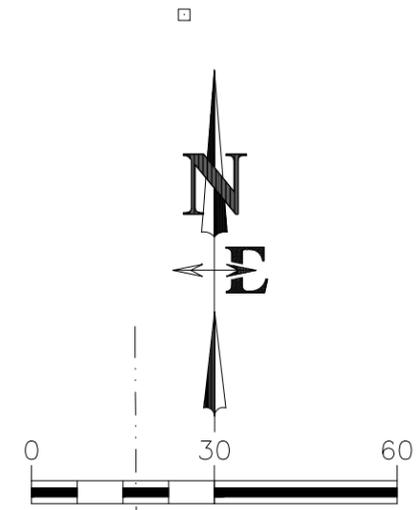
CENTER STREET

CENTER STREET



DELONEY AVENUE

KING STREET



DRAWING NO

2

JOB NO

16-306-02

JOB TITLE

CENTER STREET PROJECT

GEOTECHNICAL INVESTIGATION

JACKSON, WYOMING

DRAWING TITLE

BOREHOLE LOCATION MAP

DATE

SURVEYED

ENGINEERED

DRAWN

CHECKED

APPROVED

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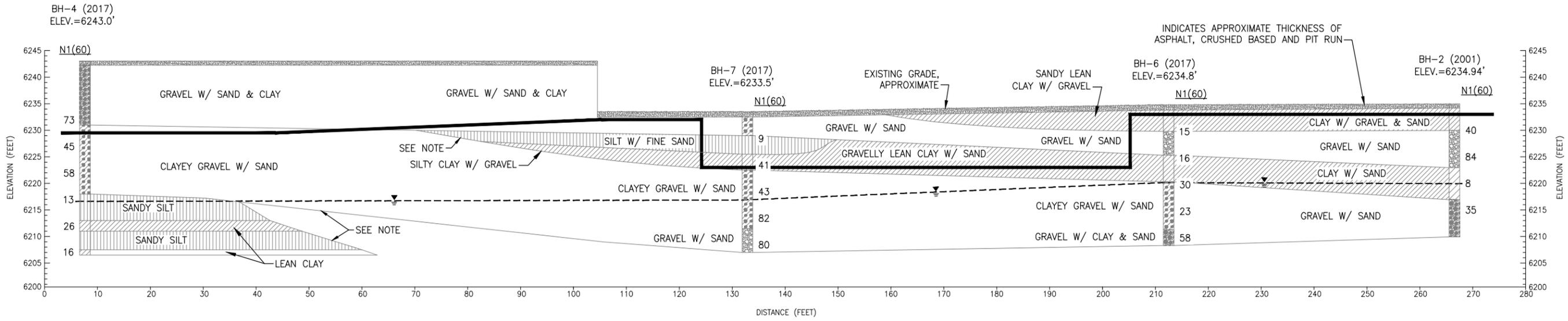
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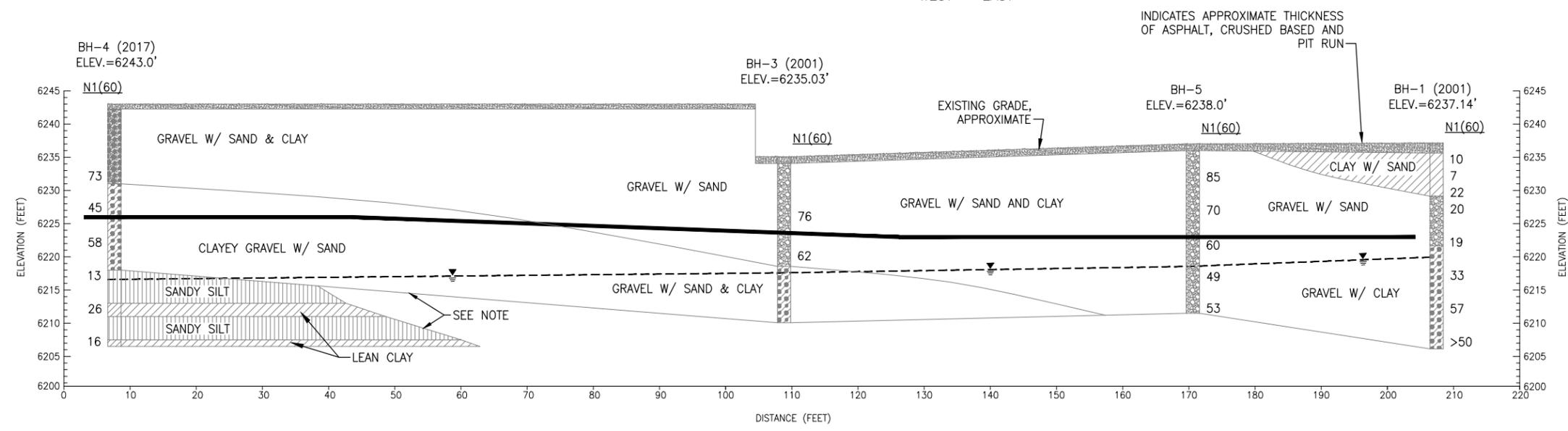
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NELSON ENGINEERING

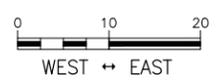
P.O. BOX 1599, JACKSON WYOMING (307) 733-2087



SUBSURFACE PROFILE NORTH - SECTION B-B'
WEST ↔ EAST



SUBSURFACE PROFILE SOUTH - SECTION A-A'
WEST ↔ EAST



LEGEND

GW	SW	ML
GP	SP	CL
GM	SM	MH
GC	SC	CH

POSTULATED BOTTOM OF FOOTING ELEV.: _____

GROUNDWATER ELEVATION (4/29/17): _____

NOTE:
NI(S)= CORRECTED STANDARD PENETRATION N
PROFILES SHOWN ARE POSTULATED IN ZONES BETWEEN
BORINGS. ACTUAL SOIL PROFILES BETWEEN BORINGS MAY
VARY.

DATE	SURVEYED	ENGINEERED	DRAWN	CHECKED	APPROVED
5/1/2017	NE	BR	BR	PG	PG

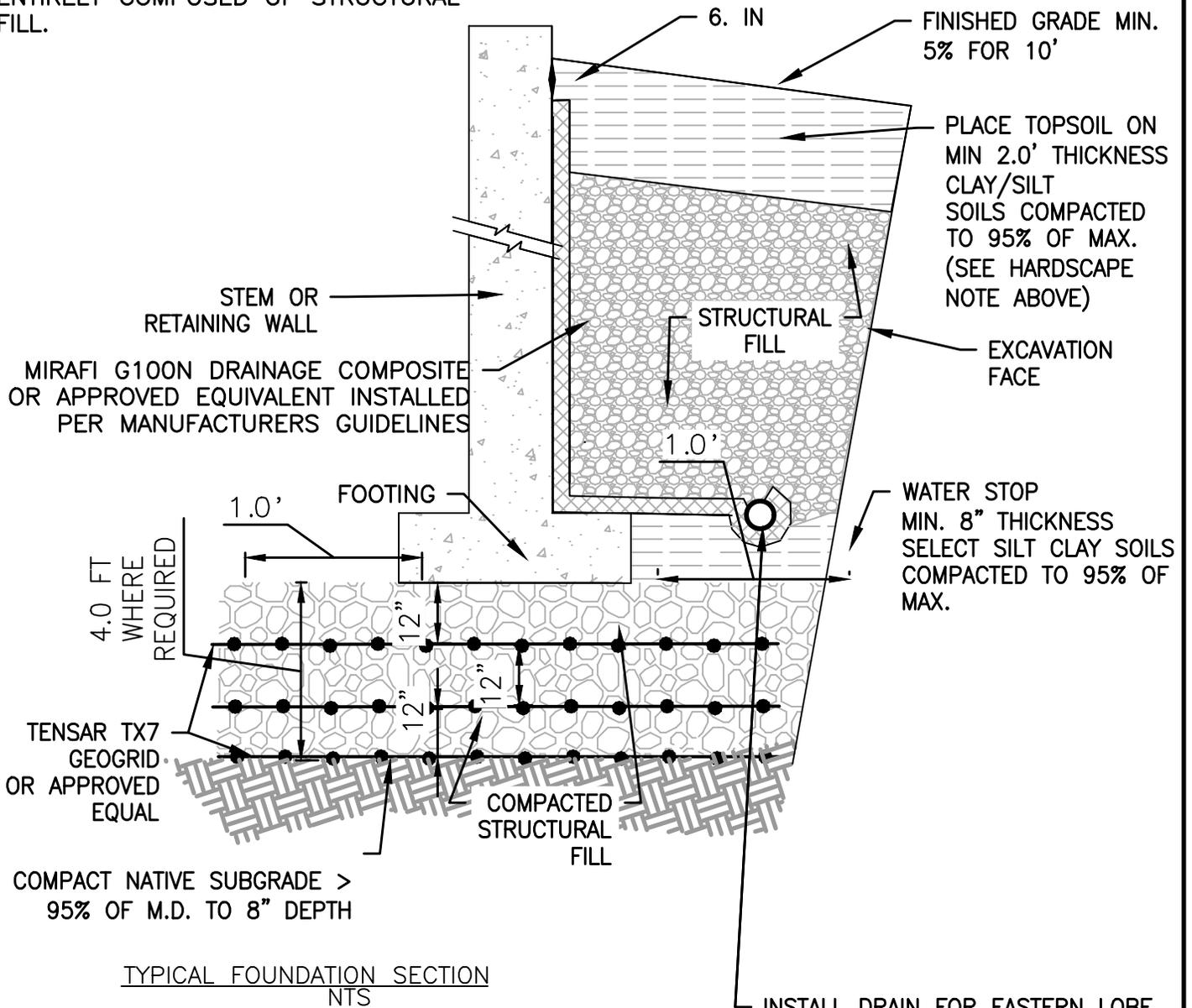
NELSON ENGINEERING
P.O. BOX 1599, JACKSON WYOMING (307) 733-2087

DRAWING TITLE
SUBSURFACE CROSS-SECTIONS

JOB TITLE
CENTER STREET PROJECT
GEOTECHNICAL INVESTIGATION
JACKSON, WYOMING

DRAWING NO
3
JOB NO
16-306-02

NOTE:
 WALL BACKFILL BENEATH EXTERNAL
 SLABS AND HARDSCAPE SHALL BE
 ENTIRELY COMPOSED OF STRUCTURAL
 FILL.



INSTALL DRAIN FOR EASTERN LOBE
 AND LOBBY LEVEL SHALLOW
 FOOTINGS IF DRAINAGE TO STORM
 DRAIN IS PRACTICAL.
 ADS 4" SINGLE WALL PERF. PIPES
 WITH SOCK WRAP. ONCE CLEAR OF
 FOUNDATIONS TRANSITION TO
 SOLID PIPE AT MINIMUM 3% GRADE

DRAWING NO
 4

JOB NO
 18-308-01

TITLE
**CENTER STREET
 REINFORCED FILL, BACKFILL
 AND DRAIN TYPICAL**

**NELSON
 ENGINEERING**

P.O. BOX 1599, JACKSON WYOMING (307) 733-2087

DATE	5 14 17	REV.
SURVEYED		
DRAWN	BR	
CHECKED	PG	
APPROVED	PG	

BORING LOG

GEOTECHNICAL GENERAL NOTES

CORRECTED SPT: Standard Penetration Test values corrected to N_{160} correcting for theoretical free-fall hammer energy and overburden pressure per 7th edition of the AASHTO Bridge Design Specifications.

DRILLING, SAMPLING, AND SOIL PROPERTIES ABBREVIATIONS AND SYMBOLS

- N:** Standard Penetration Test
- U_c :** Unconfined compressive strength, Pounds/ft² (PSF)
- Pp:** Pocket Penetrometer values, Ton/ft² (TSF)
- FILGC:** Fragments indicate gravels and cobbles larger than split spoon diameter.
- w:** Water content, %
- LL:** Liquid limit, %
- PI:** Plasticity index, %
- gd:** In-situ dry density, lbs/ft³ (PCF)
- : Ground water level
- SS:** Split-Spoon Sample
- ST:** Shelby Tube Sampler
- CS:** Cylindrical Brass Lined Sample
-  Monitoring Well, diagonal hatching indicates screen and sand packed interval

SOIL RELATIVE DENSITY AND CONSISTENCY CLASSIFICATION

Non-Cohesive Soils	SPT	Cohesive Soils	Pp-(tons/ft ²)
Very Loose	0 - 4	Very Soft	0 - 0.25
Loose	4 - 10	Soft	0.25 - 0.50
Slightly Compact	8 - 15	Medium Stiff	0.50 - 1.00
Medium Dense	10 - 30	Stiff	1.00 - 2.00
Dense	30 - 50	Very Stiff	2.00 - 4.00
Very Dense	50+	Hard	4.00+

PARTICLE SIZE

Boulders: 12 in.+	Coarse Sand: 5 mm(#4)-2 mm(#10)	Silts and Clays: <#200
Cobbles: 12 in.-3in.	Medium Sand: 2 mm(#10)-0.4mm(#40)	
Gravel: 3in.-5mm(#4)	Fine Sand: 0.4mm(#40)-0.075mm(#200)	

SOIL GRAPHICS

<i>GW</i>		<i>SC</i>	
<i>GP</i>		<i>ML</i>	
<i>GM</i>		<i>CL</i>	
<i>GC</i>		<i>ML-CL</i>	
<i>SW</i>		<i>OL</i>	
<i>SP</i>		<i>MH</i>	
<i>SM</i>		<i>CH</i>	
<i>BEDROCK</i>		<i>OH</i>	
<i>COBBLES/BOULDERS</i>		<i>PT</i>	

NOTE: ANGLED DEMARCATIONS ON THE LOGS INDICATE APPROXIMATE OR POORLY DEFINED BOUNDARIES BETWEEN SOIL TYPES.

BORE HOLE LOG

Test Hole:	BH-1
Project:	Jackson State Bank
Elevation:	6232.5
Depth of Hole	31.0 Feet

Sampled By:	Jeff Snyder
Date:	10/19/01
Drilled By:	LK Drilling
Water Level	19.0 feet

Soils Profile:

Soils Profile:	Sample Depth	Sample Type	USCS	N	LAB ID
0.0'					
0.5'		Asphalt Paving			
1.0'					
1.5'		Crushed Aggregate Base	GW		
2.5'	2.5'-4.0'	SS	CL	6	1-5-6
5.0'	5.0'-6.5'	SS	CL	5	1-5-6
7.5'	7.5'-9.0'	SS	CL	17	
8.0'					
10.0'	10.0'-11.5'	SS	GW	17	
15.0'	15.0'-16.5'	SS	GW	18	
15.5'					
19.0'		Ground Water			
20.0'	20.0'-21.5'	SS	GC	35	1-20-22
25.0'	25.0'-27.0'	CAL	GC	63	
25.5'					
30.0'	30.0'-31.0'	CAL	GC	+100	
31.0'					

BORE HOLE LOG

Test Hole:	BH-2
Project:	Jackson State Bank
Elevation:	6230.3
Depth of Hole	25.0 Feet

Sampled By:	Jeff Snyder
Date:	10/19/01
Drilled By:	LK Drilling
Water Level	17.0 feet

Soils Profile:

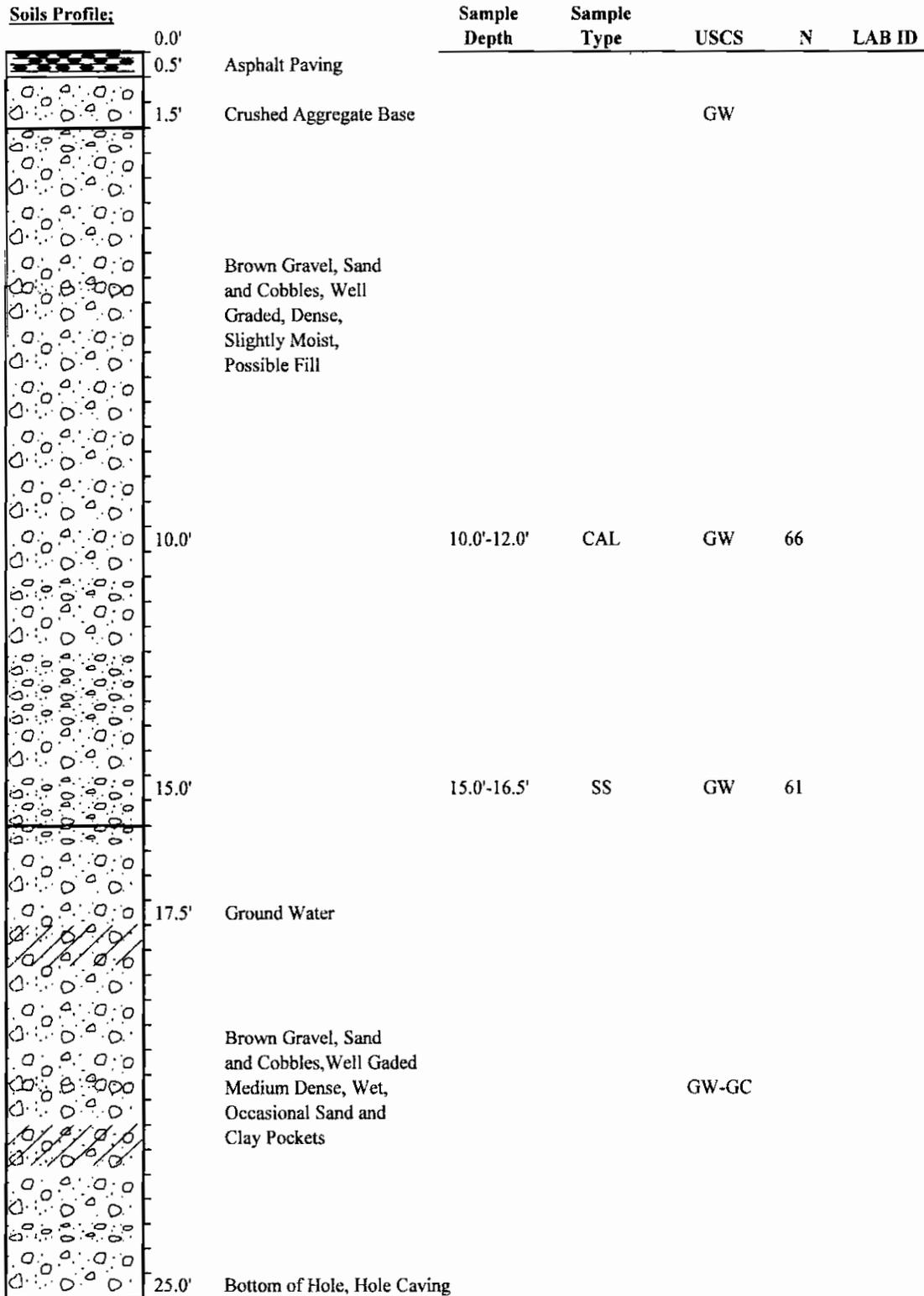
Soils Profile:	Sample Depth	Sample Type	USCS	N	LAB ID
0.0' - 0.2' Asphalt Paving					
0.2' - 0.6' Crushed Aggregate Base			GW		
0.6' - 5.0' Brown Clay with Gravel and Sand, Well Graded Coarse Fragments, Plastic Fines, Firm and Moist, Some Organic Material			CL-GC		
5.0' - 10.0' Brown Gravel, Sand and Cobbles, Well Graded, Dense, Slightly Moist	5.0'-6.5'	SS	GW	28	
10.0' - 12.0' Medium Brown Clay, little Fine Sand, Medium Plasticity, Soft and Moist, some Organic Material Mixed	10.0'-11.5'	SS	GW	71	
12.0' - 15.0' Ground Water	15.0'-16.5'	SS	CL	8	
15.0' - 18.0' Ground Water					
18.0' - 20.0' Brown Gravel, Sand and Cobbles, Well Gaded Medium Dense, Wet, Occasional Sand and Clay Pockets	20.0'-21.5'	SS	GW-GC	35	1-20-22
20.0' - 25.0' Bottom of Hole, Hole Caving					

BORE HOLE LOG

Test Hole:	BH-3
Project:	Jackson State Bank
Elevation:	6231.1
Depth of Hole	25.0 Feet

Sampled By:	Jeff Snyder
Date:	10/19/01
Drilled By:	LK Drilling
Water Level	17.5 feet

Soils Profile:



PROJECT NAME: CENTER STREET PROJECT	DRILL HOLE No. BH-4	PAGE: 1 OF 2
DATE STARTED / FINISHED: 4/20/2017	DRILLER: IME	
LOGGED BY: ANDY PRUETT	DRILL TYPE: TRUCK MOUNTED CME 85	
BOREHOLE LOCATION/ELEVATION: SEE BOREHOLE LOCATION MAP/6243.0'	HOLE DIAMETER: 8" O.D. HSA (HOLLOW STEM AUGER)	
	HAMMER TYPE: 140# AUTOMATIC	

WELL LOG	GRAPHIC LOG	DEPTH (FT)	SAMPLES			RECOVERY %	MATERIAL DESCRIPTION	LIQUID LIMIT	PLASTIC LIMIT	CORRECTED SPT	DRY DENSITY (PCF)	MOISTURE (%)	REMARKS
			DRIVE	UNDISTURBED	BULK								
		0											WELLS FARGO SOUTH CENTER STREET ENTRANCE
		1											HEAVY BIT GRINDING ON COBBLES FROM 1.5' TO 2.5'
		2											CONSTANT BIT GRINDING FROM 1.5' TO 2.5'
		3											BIT GRINDING ON COBBLE AT 4.0' TO 4.5'
		4											D.R. MODERATELY HARD, STEADY DRILLING IN GRAVELS
		5											
		6											
		7											
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NELSON ENGINEERING

P.O. BOX 1599, JACKSON WYOMING (307) 733-2087

120

CLIENT: **CYRSTAL CREEK CAPITAL REAL ESTATE ADVISORS, LLC JACKSON, WYOMING**

WELL LOG	GRAPHIC LOG	DEPTH (FT)	SAMPLES			RECOVERY (%)	MATERIAL DESCRIPTION	LIQUID LIMIT	PLASTIC LIMIT	CORRECTED SPT	DRY DENSITY (PCF)	MOISTURE (%)	REMARKS
			DRIVE	UNDISTURBED	BULK								
		21				72	20.0'-21.5' SAME AS ABOVE, VERY DENSE			58			
		22											
		23											
		24											
		25					25.0'-26.5' 0"-4" SAME AS ABOVE						DRILLING FAST AND SMOOTH FROM 25.0' TO B.O.H.
		26					4"-16" MOIST, BROWN, SANDY SILT WITH FINE-GRAINED SAND, STIFF			13			
		26.4					GROUNDWATER MEASURED AT 26.4' DEPTH ON 4/28/2017						
		27											
		28					27.5'-29.5' TOP AND BOTTOM OF SHELBY TUBE SAMPLE AS ABOVE, 24" PUSH WITH 400 PSI MAXIMUM DOWNWARD PRESSURE DURING SAMPLE DRIVE						
		29											
		30					30'-31.5' 0"-14" MOIST, BROWN, LEAN CLAY, USCS CLASSIFICATION - CL, MINOR ORANGE OXIDATION STAINING	27	17	26		21.1	
		31					14"-21" MOIST, BROWN, SANDY SILT/SILTY SAND WITH FINE SANDS, VERY STIFF						
		32											
		33											
		34											
		35					35.0'-36.5' VARIABLE LENSES OF MOIST, BROWN, LEAN CLAY WITH SAND AND SANDY SILT/SILTY SAND, MINOR ORANGE OXIDATION STAINING THROUGHOUT, VERY STIFF			16			
		36											
		36.5					B.O.H. = 36.5'						
		37											
		38					MONITORING WELL CONSTRUCTION: LENGTH OF PIPE = 36.1' (1.5"Ø PVC) SLOTS EVERY 6" FROM 16.3' TO 36.3' PIPE STICKUP = -0.2'						
		39											
		40					DRILLING STARTED AT 8:00 A.M. DRILLING ENDED AT 10:15 A.M. FINISHED M.W. AT 11:45 A.M.						
		41											
		42											
		43											
		44											

PROJECT NAME: CENTER STREET PROJECT	DRILL HOLE No. BH-5	PAGE: 1 OF 2
DATE STARTED / FINISHED: 4/20/2017	DRILLER: IME	
LOGGED BY: ANDY PRUETT	DRILL TYPE: TRUCK MOUNTED CME 85	
BOREHOLE LOCATION/ELEVATION: SEE BOREHOLE LOCATION MAP/6238.0'	HOLE DIAMETER: 8" O.D. HSA (HOLLOW STEM AUGER)	
	HAMMER TYPE: 140# AUTOMATIC	

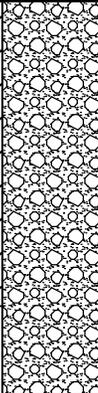
WELL LOG	GRAPHIC LOG	DEPTH (FT)	SAMPLES			RECOVERY %	MATERIAL DESCRIPTION	LIQUID LIMIT	PLASTIC LIMIT	CORRECTED SPT	DRY DENSITY (PCF)	MOISTURE (%)	REMARKS
			DRIVE	UNDISTURBED	BULK								
		0-1											SOUTH OF FORMER WELLS FARGO DRIVE-UP FAST AND EASY DRILLING FROM 1.0' TO 3.0'
		1-2											INTERMITTENT BIT GRINDING FROM 3.0' TO 5.0'
		3-5											GRINDING ON COBBLE FROM 6.5' TO 7.0'
		5-6	15							85			
		6-7	24										
		7-8	22										
		8-10											CONSTANT BIT GRINDING, HARD AND SLOW DRILLING FROM 5.0' TO 20.0'
		10-11	14							70			
		11-12	26										
		12-13	19										
		13-15											
		15-16	10										
		16-17	16							60			GRINDING ON COBBLE FROM 16.0' TO 16.5'
		17-18	28										
		18											
		19-20	14										
		20-21	18							49			

This log is part of a report prepared by Nelson Engineering for this project and should be read with the report. This summary applies only at the location of the boring and at the time of the drilling. Subsurface conditions may differ at other locations and may change at this location with passage of time. The data presented is a simplification of actual conditions encountered.

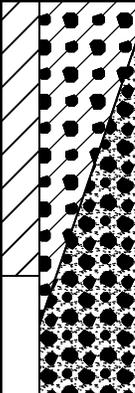


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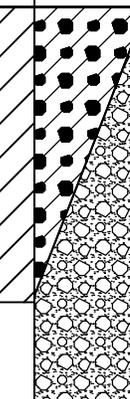
CLIENT: **CYRSTAL CREEK CAPITAL
REAL ESTATE ADVISORS, LLC
JACKSON, WYOMING**

WELL LOG	GRAPHIC LOG	DEPTH (FT)	SAMPLES			RECOVERY (%)	MATERIAL DESCRIPTION	LIQUID LIMIT	PLASTIC LIMIT	CORRECTED SPT	DRY DENSITY (PCF)	MOISTURE (%)	REMARKS
			DRIVE	UNDISTURBED	BULK								
		21				78	20.0'-21.5' SAME AS ABOVE, DENSE			49			MODERATE DRILLING, FASTER RATE WITH CONSTANT BIT GRINDING FROM 20.0' TO 25.0'
		22											
		23											
		24											
		25					1' OF HEAVE BEFORE DRIVING SAMPLE						
		25	12				25.0'-26.5' 0"-2" SAND HEAVE						
		26	23				2"-14" SAME AS ABOVE, VERY DENSE			53			
		26	21										
		27					B.O.H. = 26.5'						
		28					MONITORING WELL CONSTRUCTION: LENGTH OF PIPE = 25.0' (1.5"Ø PVC) SLOTS EVERY 6" FROM 10.3' TO 25.3' PIPE STICKUP = -0.3'						
		29											
		30											
		31					DRILLING STARTED AT 11:50 A.M. DRILLING ENDED AT 1:15 P.M. FINISHED M.W. AT 2:00 P.M.						
		32											
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WELL LOG	GRAPHIC LOG	DEPTH (FT)	SAMPLES			RECOVERY %	MATERIAL DESCRIPTION	LIQUID LIMIT	PLASTIC LIMIT	CORRECTED SPT	DRY DENSITY (PCF)	MOISTURE (%)	REMARKS								
			DRIVE	UNDISTURBED	BULK									SAMPLE ID							
		1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21											<p>This log is part of a report prepared by Nelson Engineering for this project and should be read with the report. This summary applies only at the location of the boring and at the time of the drilling. Subsurface conditions may differ at other locations and may change at this location with passage of time. The data presented is a simplification of actual conditions encountered.</p> <p>SURFACE: 3" COMPLETELY DETERIORATED ASPHALT PAVEMENT OVERLYING 4" OF CRUSHED BASE OVERLYING 6" PIT RUN</p> <p>1.0' - 5.0' CUTTINGS INDICATE SANDY LEAN CLAY WITH GRAVEL</p> <p>5.0'-6.5' MOIST, BROWN, GRAVEL WITH SAND AND MINOR CLAY, ANGULAR TO SUB-ROUND GRAVELS, WELL-GRADED, MEDIUM DENSE</p> <p>CUTTINGS INDICATE MOIST, BROWN, CLAYEY GRAVEL WITH SAND</p> <p>10.0'-11.5' MOIST, BROWN, GRAVELLY LEAN CLAY WITH SAND, 1" GRAVELS, CM-THICKNESS SAND LENSES IN CLAY, VERY STIFF</p> <p>GROUNDWATER MEASURED AT 14.66' ON 4/28/2017</p> <p>15.0'-16.5' WET TO SATURATED, BROWN, CLAYEY GRAVEL WITH SAND, ANGULAR TO SUB-ROUNDED GRAVELS, F.I.L.G.C., MEDIUM DENSE TO DENSE</p> <p>20.0'-21.5' SAME AS ABOVE, SATURATED, MEDIUM DENSE</p>								<p>DETERIORATED ASPHALT PARKING AREA SOUTH OF THE CHILDREN'S MUSEUM</p> <p>SMOOTH AND EASY DRILLING FROM 1.0' TO 5.0'</p> <p>MODERATE AND SMOOTH DRILLING FROM 5.0' TO 8.0'</p> <p>GRINDING ON COBBLE FROM 8.0' TO 8.5'</p> <p>D.R. MODERATE DRILLING WITH INTERMITTENT BIT GRINDING FROM 10.0' TO 15.0'</p> <p>FAST DRILLING IN SMALLER GRAVELS FROM 15.0' TO 25.0'</p>
		7				BH6-1 2" SS 56			15												
		5																			
		3																			
		3				BH6-2 2" SS 56			16												
		6																			
		4																			
		9																			
		3				BH6-3 2" SS 44			30												
		11																			
		10																			
		6				BH6-4 2" SS 61			23												
		8																			

WELL LOG	GRAPHIC LOG	DEPTH (FT)	SAMPLES			RECOVERY (%)	MATERIAL DESCRIPTION	LIQUID LIMIT	PLASTIC LIMIT	CORRECTED SPT	DRY DENSITY (PCF)	MOISTURE (%)	REMARKS
			DRIVE	UNDISTURBED	BULK								
		9 22 23 24 25 26 30				61	20.0'-21.5' SAME AS ABOVE, SATURATED, MEDIUM DENSE			23			FAST DRILLING IN SMALLER GRAVELS FROM 15.0' TO 25.0'
		7 15 30				72	2' OF HEAVE BEFORE DRIVING SAMPLE 25.0'-26.5' 0"-3" SAND HEAVE 3"-13" SATURATED, BROWN, GRAVEL WITH CLAY AND SAND, ANGULAR TO SUB-ROUNDED CLASTS, F.I.L.G.C., POORLY-GRADED, VERY DENSE			58			
							B.O.H. = 26.5'						
							MONITORING WELL CONSTRUCTION: LENGTH OF PIPE = 24.8' (1.5"Ø PVC) SLOTS EVERY 6" FROM 4.9' TO 24.9' PIPE STICKUP = -0.1'						
							DRILLING STARTED AT 2:15 P.M. DRILLING ENDED AT 3:00 P.M. FINISHED M.W. AT 3:30 P.M.						

WELL LOG	GRAPHIC LOG	DEPTH (FT)	SAMPLES			SAMPLE ID	RECOVERY %	This log is part of a report prepared by Nelson Engineering for this project and should be read with the report. This summary applies only at the location of the boring and at the time of the drilling. Subsurface conditions may differ at other locations and may change at this location with passage of time. The data presented is a simplification of actual conditions encountered.	LIQUID LIMIT	PLASTIC LIMIT	CORRECTED SPT	DRY DENSITY (PCF)	MOISTURE (%)	REMARKS	
			DRIVE	UNDISTURBED	BULK			MATERIAL DESCRIPTION							
		0						SURFACE: 3" COMPLETELY DETERIORATED ASPHALT PAVEMENT AND FINE GRAVELS OVERLYING 4" OF CRUSHED BASE OVERLYING 6" PIT RUN						DETERIORATED ASPHALT IN ALLEY ON NORTH END OF PROJECT	
		1						2.5'-4.5' TOP AND BOTTOM OF SAMPLE INDICATE GRAVEL WITH SAND AND CLAY, ANGULAR TO ROUNDED GRAVELS, 24" DRIVE WITH MAXIMUM 600 PSI DOWNWARD PRESSURE						SMOOTH AND FAST DRILLING FROM 1.0' TO 5.0'	
		2													
		3													
		4													
		5						5.0'-6.5' 0"-4" SLOUGH						D.R. SMOOTH AND FAST DRILLING WITH MINOR SMALL GRAVELS	
		6						4"-5" MOIST, BROWN, SILT WITH FINE SAND, STIFF			9				
		7													
		8													
		9													
		10						10.0'-11.5' MOIST, BROWN, SILTY CLAY WITH GRAVEL, HIGHER GRAVEL CONTENT AT BOTTOM OF SAMPLE, HARD				41		BIT GRINDING STARTING AT 10.5'	
		11													
		12													
		13													
		14													
		15						GROUNDWATER MEASURED AT 14.64' ON 4/28/2017						INTERMITTENT BIT GRINDING, MODERATE DRILLING THROUGH SMALL GRAVELS AND COBBLES FROM 10.5'-B.O.H.	
		16						15.0'-16.5' SATURATED, BROWN, CLAYEY GRAVEL WITH SAND, ANGULAR TO SUB-ROUNDED CLASTS, F.I.L.G.C., DENSE			43				
		17													
		18													
		19													
		20						20.0'-21.5' SAME AS ABOVE, YELLOW SANDSTONE AND LIMESTONE CLASTS, VERY DENSE				82			
		21													

WELL LOG	GRAPHIC LOG	DEPTH (FT)	SAMPLES			RECOVERY (%)	MATERIAL DESCRIPTION	LIQUID LIMIT	PLASTIC LIMIT	CORRECTED SPT	DRY DENSITY (PCF)	MOISTURE (%)	REMARKS
			DRIVE	UNDISTURBED	BULK								
		31				78	20.0'-21.5' SAME AS ABOVE, YELLOW SANDSTONE AND LIMESTONE CLASTS, VERY DENSE			82			INTERMITTENT BIT GRINDING, MODERATE DRILLING THROUGH SMALL GRAVELS AND COBBLES FROM 10.5'-B.O.H.
		20				83	25.0'-26.5' 0"-1" HEAVE 1"-15" SATURATED, BROWN, GRAVEL WITH SAND AND MINOR CLAY, ANGULAR TO SUB-ROUNDED GRAVELS, F.I.L.G.C., WELL-GRADED, VERY DENSE B.O.H. = 26.5'			80			
		27					MONITORING WELL CONSTRUCTION: LENGTH OF PIPE = 25.1' (1.5"Ø PVC) SLOTS EVERY 6" FROM 5.1' TO 25.1' PIPE STICKUP = 0.0'						
		28					DRILLING STARTED AT 3:45 P.M. DRILLING ENDED AT 4:45 P.M. FINISHED M.W. AT 5:30 P.M.						
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LABORATORY RESULTS

Sample ID **BH 4-6**

Depth (ft) **30'-31.5'**

Unified Soils Classification

Lean Clay (CL)

Gravel	0%
Sand	10%
Fines	90%

Liquid Limit:	27
Plastic Limit:	17
Plasticity Index:	10

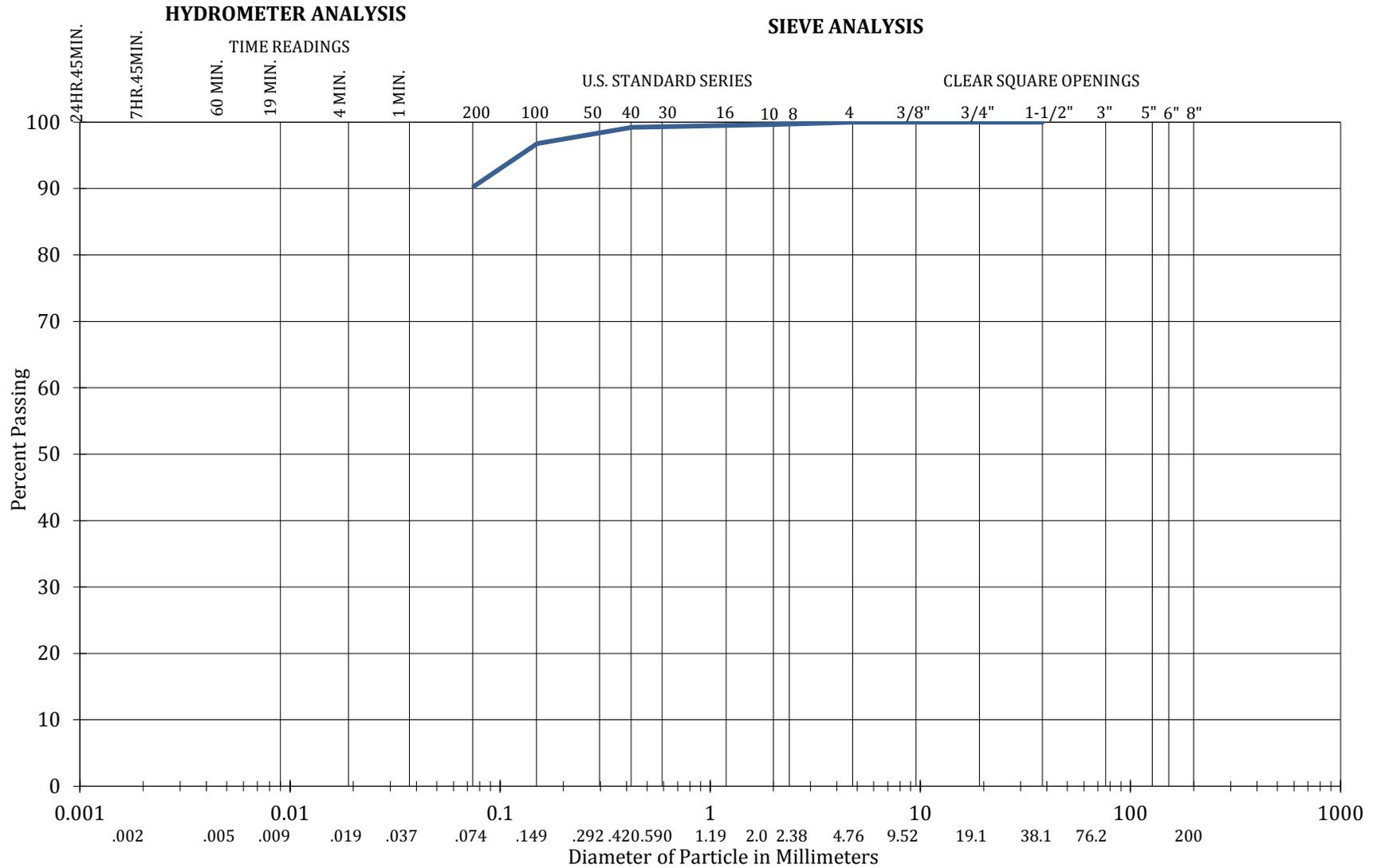
In-Situ Moisture Content	21.1%
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Standard Sieve No.	Particle Size (mm)	Tare Weight (g)	Sample + Tare (g)	Sample Weight (g)	Cumulative % Retained	Percent Passing
1.5"	38	171.5	171.5	0.0	0%	100%
1"	25	171.5	171.5	0.0	0%	100%
3/4"	18.75	171.5	171.5	0.0	0%	100%
3/8"	9.5	171.5	171.5	0.0	0%	100%
#4	4.75	171.5	171.5	0.0	0%	100%
#10	2.00	171.5	171.9	0.4	0%	100%
#40	0.425	171.5	172.0	0.5	1%	99%
#100	0.15	171.5	174.5	3.0	3%	97%
#200	0.075	171.5	179.4	7.9	10%	90%
Pan	0	171.5	282.8	111.3	100%	0%
Total Weight of Sample (g)				123.2		

Moisture Content	
Wet Wt + Tare (g)	320.2
Dry Wt. + Tare (g)	294.2
Wt of Water (g)	26.0
Tare Wt. (g)	171.0
Dry Wt. (g)	123.2
Moisture Content	21.1%
Wash	
Wet Wt. + Tare (g)	320.2
Pre Wash Dry (g)	123.2
Post Wash Dry (g)	11.9
Tare Wt. (g)	171.0
Wt.Of Minus #200 =	111.3

Project: **Center Street Project**
 Job Number: **16-306-02**
 Visual ID: **Lean Clay**

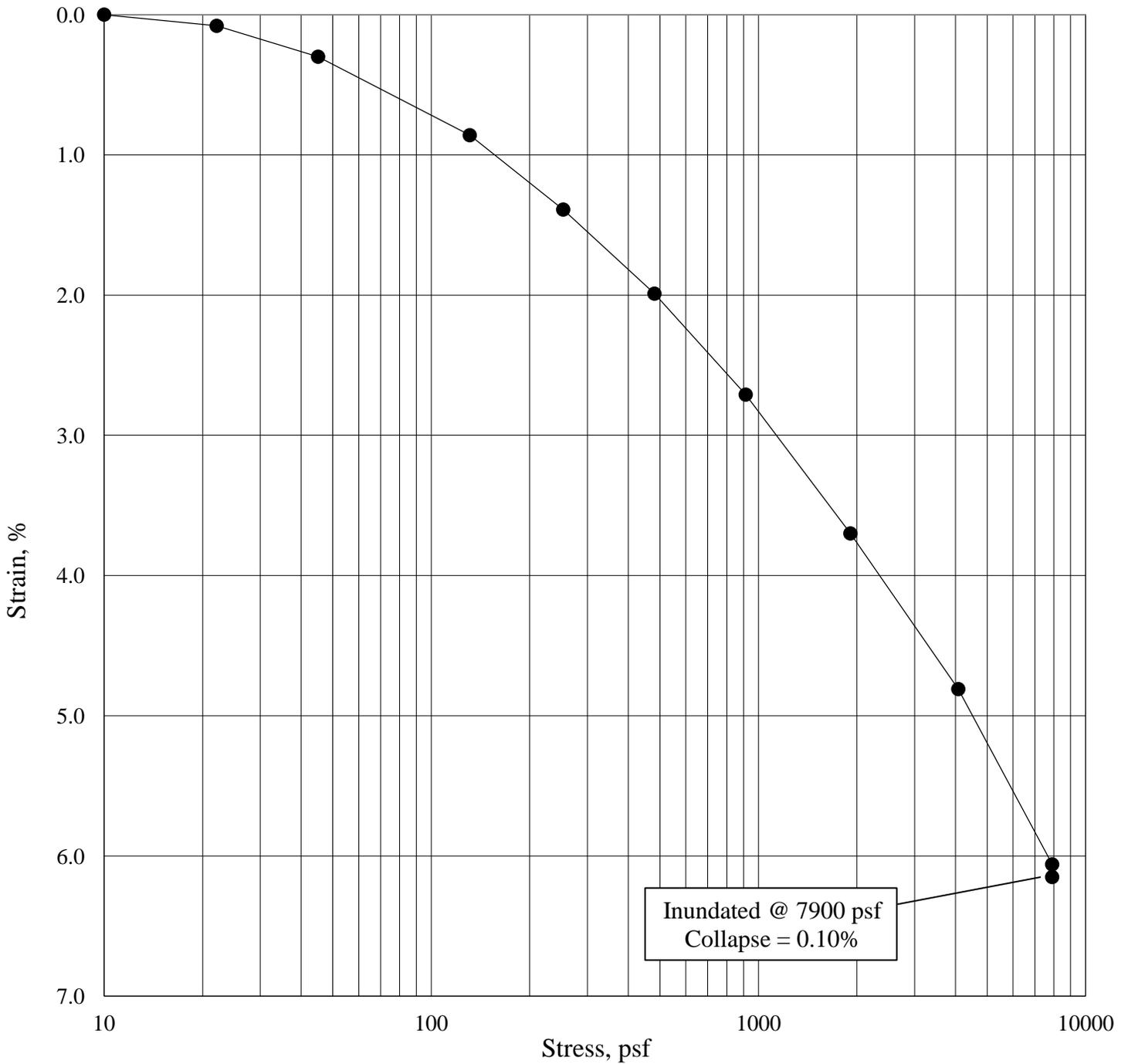
Sampled By: **AP**
 Date: **4/20/2017**
 Tested By: **BO**
 Date: **4/25/2017**



CLAY (plastic) TO SILT (non-plastic)	SAND			GRAVEL		COBBLES
	FINE	MEDIUM	COARSE	FINE	COARSE	

— BH 4-6

Center Street Project



Inundated @ 7900 psf
Collapse = 0.10%

Boring No.	BH4-5	Depth:	27½ - 29½ '	Initial Dry Density (pcf)	106.5	Initial Moisture Content (%)	23.0
Sampled By:	AP/NE	Date Received:	5/1/17				
Soil Description: Silty Clay with Sand (CL-ML), low plasticity, trace gravel, orangish brown, moist, rather soft							

5/8/17



P. O. Box 80190
Billings, MT 59108-0190
Phone: 406.652.3930
Fax: 406.652.3944

Consolidation/Swell Test

SK Project Number: 08-2506
Nelson Project Number: 16-306-02
Center Street Project Geotech

TRAFFIC IMPACT ANALYSIS

**CENTER STREET PROJECT
DEVELOPMENT PLAN SUBMITTAL**

PREPARED BY

**NELSON
ENGINEERING** *since 1964*
Professional Engineers & Land Surveyors
WWW.NELSONENGINEERING.NET
PO Box 1599 | 430 South Cache St | Jackson, WY 83001
Jackson 307.733.2087 | Buffalo 307.684.7029

**September 2017
16-306-04**

TRAFFIC IMPACT ANALYSIS

1. Proposed Project

The proposed project is a redevelopment of two properties just northeast of the Town Square in the Town of Jackson that currently contain a bank and related buildings. The project will be a mixed-use development with lodging and commercial uses. The project will be located at the northwest corner of Center Street and Deloney Avenue. The properties are currently zoned as a mix of Town Square (TS) and Downtown Core (DC).

2. Impact Assessment Methodology

In order to perform any traffic impact assessment, the general methodology is to compare the traffic levels in an existing state with those of a projected situation. The Institute of Traffic Engineers has provided data and methodology that can be used to determine the number of trips generated from a property dependent on the usage. The differential in trips generated between the pre- and post-development conditions can be considered to be the impact caused by the development. Traffic counts provided by the Wyoming Department of Transportation (WYDOT) along the Cache Street corridor will provide context for the volume of trips generated by the development. This preliminary traffic impact analysis will allow a general understanding of the traffic impacts due to the development.

3. Existing Trip Generation

The proposed project site currently contains a Wells Fargo branch office and the Jackson Chamber of Commerce office. The drive-thru facilities on-site are unused and there is a basement used for storage. For the purposes of this trip generation analysis, only active usage in each land use category generates traffic. The P.M. peak hour generates the largest number of trips and will be used for the analysis and comparison. Walk-in banks have a relatively large amount of trip generation associated with them due to the high volume of customers that may stop at the bank each day, even if the duration of their stay there is short. As shown in the summary table below, the existing use of the property generates 95 trips per day during the P.M. peak hour.

P.M. PEAK HOUR TRIP GENERATION

LAND USE	ITE LAND USE DESIGNATION CODE	GROSS SQ. FT. (1,000 SF)	UNITS	P.M. PEAK HOUR TRIP GENERATION RATE	TRIP GENERATION
WALK-IN BANK	911	6.89		12.13	<u>83.6</u>
SINGLE-TENANT OFFICE	715	6.60		1.74	<u>11.5</u>
TOTAL					95

SOURCE: TRIP GENERATION RATES TAKEN FROM
 INSTITUTE OF TRANSPORTATION ENGINEERS (ITE) *TRIP GENERATION, 9TH EDITION*

4. Existing Traffic and Circulation

The intersection of Deloney Avenue and Center Street is one block from roads of high traffic density (Cache Street/US 89 to the west and Broadway Avenue to the south), and currently sees a relatively large volume of traffic, particularly during peak summer tourist season. This intersection is controlled by a four-way stop sign, with two-way traffic on all roads except the portion of Deloney west of Center. This leg is eastbound only between Cache and Center Streets.

WYDOT provided traffic data for Cache Street, a major north-south arterial one block to the west of the project. This data can be used to contextualize the amount of traffic that this neighborhood currently experiences. As shown in the appendix, the annual average daily traffic (AADT) on Cache Street between Broadway and Gill Avenues is 13,117 trips per day. Applying the Design Hourly Volume (DHV) to this figure yields a peak hour design volume of roughly 1,970 trips per hour. The majority of this traffic doesn't use Center Street or Deloney Avenue, but the data shows that the area surrounding the proposed development currently sees a relatively high volume of traffic.

The trips generated by the existing uses on the subject property can use either the dedicated enter and exit lanes on Center Street or park near the former drive-through bank location via the curb cut on Deloney. It is likely that some bank users will have other stops in the downtown core area and will utilize the public parking facilities at the Deloney and Home Ranch parking lots or will be walking from the on-street parking available in the area.

5. Proposed Trip Generation

The Development Plan plan for the subject property indicates roughly a 96-room luxury hotel with an underground parking garage. The hotel will include a restaurant/bar and a small amount of retail and commercial meeting space. The trip generation calculations for hotels assume meeting space within and it does not need to be calculated independently. It is assumed six units of employee housing will also be provided. For the purposes of this analysis, the restaurant was assumed to be a quality sit-down restaurant with an average table time of over an hour, and the retail store was assumed to be consistent with other retail spaces along the Town Square. As shown in the table below, the proposed uses of the property generate 99 trips per hour during the P.M. peak hour.

P.M. PEAK HOUR TRIP GENERATION

LAND USE	ITE LAND USE DESIGNATION CODE	GROSS SQ. FT. (1,000 SF)	ROOMS OR UNITS	P.M. PEAK HOUR TRIP GENERATION RATE	TRIP GENERATION
HOTEL	310		96	0.61	58.56
APARTMENTS	220		6	0.67	4.02
RESTAURANT	931	3.25		9.02	29.3
RETAIL	876	1.79		4.20	7.5
TOTAL					99.4

SOURCE: TRIP GENERATION RATES TAKEN FROM INSTITUTE OF TRANSPORTATION ENGINEERS (ITE) *TRIP GENERATION, 9TH EDITION*

6. Proposed Traffic and Circulation

A comparison of the existing to the proposed condition shows an anticipated increase of 4 trips during the P.M. peak hour for an increase of roughly 4% over existing conditions. The bank currently generates a large volume of short-duration, high-frequency trips that will be replaced by the once-daily exit/entry of the average hotel guest. Particularly in this location, hotel guests won't need to use an automobile to get to typical tourist attractions such as shopping, restaurants, and local parks. The additional 4 trips per hour created by this development will be easily absorbed into a network that currently handles 1,970 trips per hour and has signalized or stop sign controls at all nearby intersections.

Currently, there are two curb cuts on Center Street used for bank entry and exit. The development proposes to eliminate these curb cuts and replacing them with parking spaces and a drop-off lane for hotel guests. Guests will use the drop-off lane for check-in and luggage drop-off, and then be directed to use Gill Avenue for access to the underground parking from King Street on the east side of the development. By replacing the curb cuts with the drop-off lane, Center Street will have an additional parking space available for public use. See Exhibit A in the appendix for illustration of the drop-off lane and hotel traffic flow.

7. Alternative Modes Analysis

Due to the proximity of the project location to the downtown core district, it is anticipated that many hotel guests will utilize existing pedestrian walkways often during their stay at the hotel. The proposed bike share program will add to the ability of a visitor to travel the downtown core district without using an automobile. The project location is also very conducive to the use of public transportation by local employees travelling to work or for the hotel guest on a day trip. There are eleven START bus stops providing direct or connecting service on all lines in both directions within 0.25 miles, the acceptable distance a pedestrian is expected to walk in order to use public transit. No trip reduction was assumed due to the project's proximity to the downtown core district or public transportation; the discussion is included to further illustrate the minimal impact of the development on neighborhood traffic, particularly during peak summer tourist season.

EXHIBIT C - TRAFFIC IMPACT ANALYSIS

APPENDIX

WYDOT TRAFFIC COUNT & DROP-OFF LANE/TRAFFIC FLOW EXHIBIT

WYDOT Traffic Study

January 10, 2017

County: Teton

Location: Cache St

RM: 154.982 – 155.213

2015 AADT: 11,099

FC: 2

Percent Trucks: 6.0%

DHV: 15.0%

County: Teton

Location: Cache St

RM: 154.6

Broadway to Gill

2015 AADT: 13,117

FC: 2

Percent Trucks: 6.0%

DHV: 15.0%

County: Teton

Location: Gill Ave

RM:

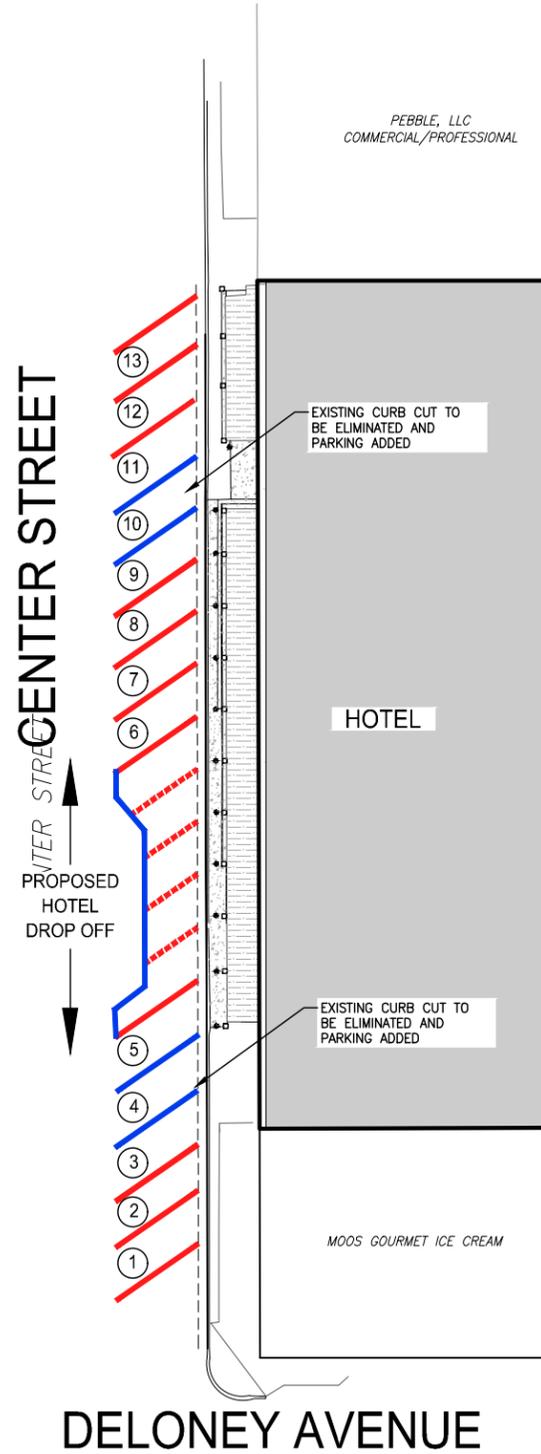
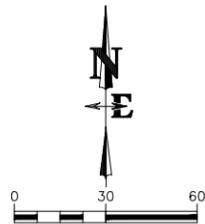
2011 AADT: 3515

FC:

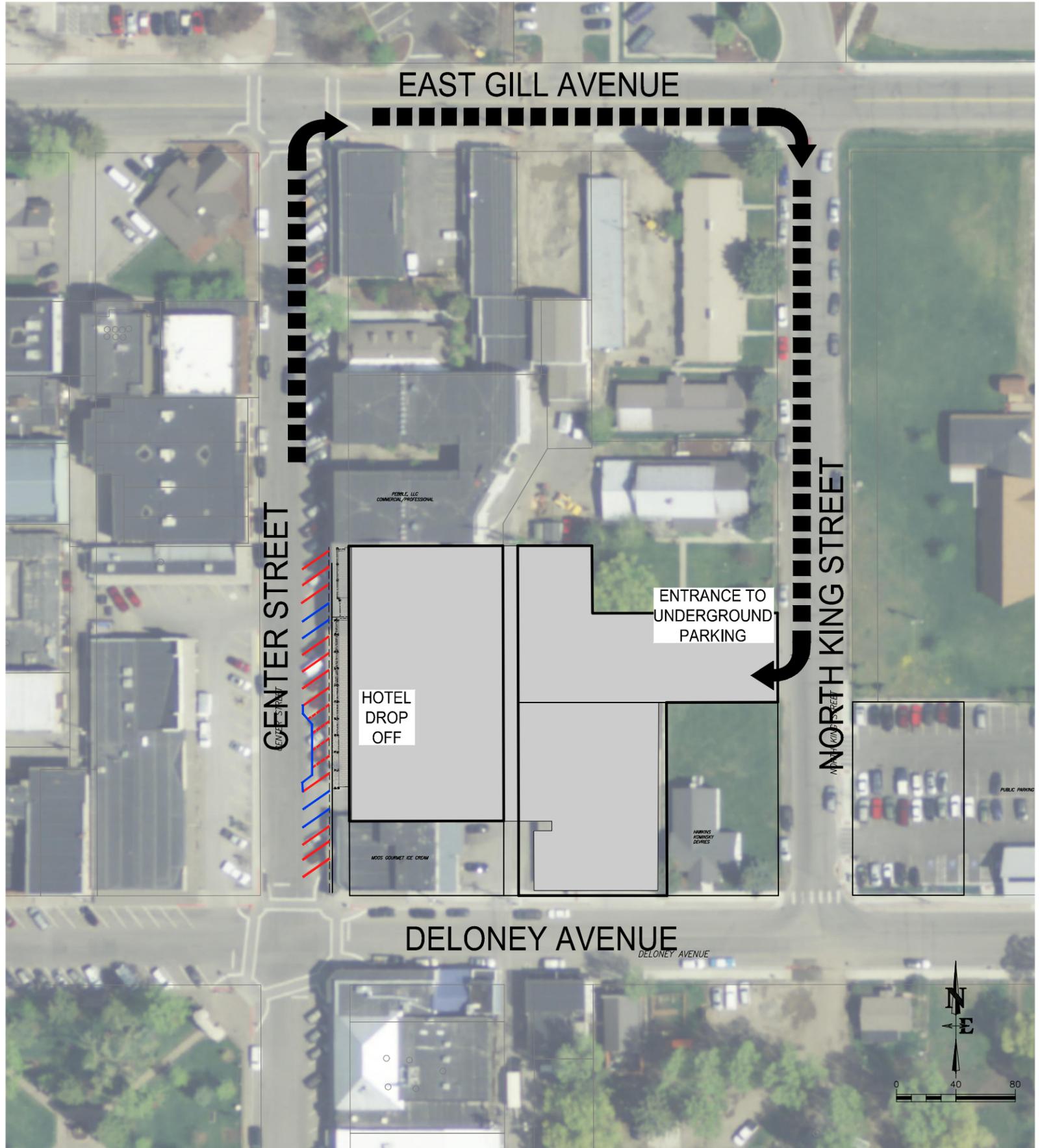
Percent Trucks:

DHV:

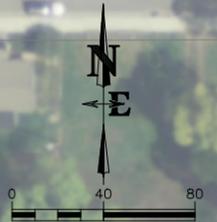
S:\Projects\16-01 Center Street Project - Civil Engineering\Sketch plan submittal\TRAFFIC FLOW PLAN.dwg 02/24/17 - Jan 13 2017 09:47:33 on PLotted by bawms DWG ID: 2110



1
A
PROPOSED DROP-OFF LANE



2
A
PROPOSED TRAFFIC FLOW



DRAWING NO A	JOB TITLE CENTER STREET PROJECT 122 CENTER ST & 165 EAST DELONEY JACKSON, WY	DRAWING TITLE TRAFFIC FLOW	DATE				
			1/11/2017	REVISIONS	DATE	ENGINEERED	REVISIONS
JOB NO 16-306-01	JOB TITLE CENTER STREET PROJECT 122 CENTER ST & 165 EAST DELONEY JACKSON, WY	DRAWING TITLE TRAFFIC FLOW	DATE	ENGINEERED	DRAWN	CHECKED	APPROVED
			1/11/2017				

**NELSON
ENGINEERING**
P.O. BOX 1599, JACKSON WYOMING (307) 733-2087

EXHIBIT C - DESIGN CALCULATIONS FOR ENGINEERING REPORT

PRE-DEVELOPMENT

ROOF CALCULATIONS

ROOF AREA (FT ²)=	17520	
C-VALUE =	0.9	
S =	33%	assume 4/12 pitch
L (ft) =	32	ridge pitch
tc (min) =	0.63	tc = 1.8(1.1 - C)L ^{0.5} /S ^{0.3333} , (Corps of Eng. Eqn.)

DRIVEWAY CALCULATIONS

DRIVEWAY AREA (FT ²)=	29525	
C-VALUE =	0.9	assumed for asphalt surface
S =	3%	based on surface slopes
L (ft) =	265	
tc (min) =	4.06	tc = 1.8(1.1 - C)L ^{0.5} /S ^{0.3333} , (Corps of Eng. Eqn.)

LANDSCAPING CALCULATIONS

LANDSCAPING AREA (FT ²)	0	
C-VALUE =	0.3	
S =	2%	
L (ft) =	0	
tc (min) =	0.00	tc = 1.8(1.1 - C)L ^{0.5} /S ^{0.3333} , (Corps of Eng. Eqn.)

Total Time of Conc., Tc = 4.70 min
Composite Cc = 0.90
Total Area, At = 47045 ft²

TABLE 4920.B
 JACKSON IDF* CURVE DATA - 100-YR STORM EVENT

DURATION, T _d (min)	INTENSITY, I (in/hr)	
0	3.70	assumes this portion of graph is linear
5	3	
10	2.33	
15	1.9	
20	1.65	
30	1.3	
40	1.08	
50	0.95	
60	0.82	
70	0.74	
80	0.65	
90	0.61	
100	0.56	
110	0.52	
120	0.48	

Initial Flow Rate, Q_i (cfs) = 2.98 cfs at tc= 4.7 min

$$Q_i = C_c * I * A_t / (43200)$$

where,

Composite C_c = 0.90
 Intensity, I = 3.04 in/hr at T_d = 4.7 min
 Total Area, A_t = 47045 ft²

POST-DEVELOPMENT

ROOF CALCULATIONS

ROOF AREA (FT ²)	35068	
C-VALUE =	0.9	
S =	2%	
L (ft) =	50	assumed longest run to roof drain
t _c (min) =	2.02	t _c = 1.8(1.1 - C)L ^{0.5} /S ^{0.3333} , (Corps of Eng. Eqn.)

DRIVEWAY CALCULATIONS

DRIVEWAY AREA (FT ²)	9497	
C-VALUE =	0.9	
S =	4%	
L (ft) =	0	
t _c (min) =	0.00	t _c = 1.8(1.1 - C)L ^{0.5} /S ^{0.3333} , (Corps of Eng. Eqn.)

LAWN CALCULATIONS

LAWN AREA (FT ²)	2480	
C-VALUE =	0.3	
S =	2%	
L (ft) =	0	
t _c (min) =	0.00	t _c = 1.8(1.1 - C)L ^{0.5} /S ^{0.3333} , (Corps of Eng. Eqn.)

T_c Pipe flow (min) = 1.31 t_c = L(ft)/V(fps)/60 10" and 4" segments assumed

Total Time of Conc., T_c = 3.33 min
Composite C_c = 0.87
Total Area, A_t = 47045 ft²

TABLE 4920.B
JACKSON IDF* CURVE DATA - 100-YR STORM EVENT

DURATION, T _d (min)	INTENSITY, I (in/hr)	
0	3.70	assumes this portion of graph is linear
5	3	
10	2.33	
15	1.9	
20	1.65	
30	1.3	
40	1.08	
50	0.95	
60	0.82	
70	0.74	
80	0.65	
90	0.61	
100	0.56	
110	0.52	
120	0.48	

Final Flow Rate, Q_f (cfs) = 3.06 cfs at t_c = 3.33 min

$$Q_f = C_c * I * A_t / (43200)$$

where,

Composite C_c = 0.87
 Intensity, I = 3.22 in/hr at T_d = 3.33 min
 Total Area, A_t = 47045 ft²

Post and Pre-Development Diff = **0.08** cfs

TABLE 1

DURATION, T _d (min)	INTENSITY, I (in/hr)	Design Flow, Q _d (ft ³ /s)	Design Storage Volume, V _d (ft ³)
2	3.40	3.217	-15
3	3.27	3.090	-1
4	3.13	2.964	-1
5	3	2.837	-13
6	2.87	2.710	-38
7	2.73	2.584	-75
8	2.60	2.457	-125
9	2.46	2.330	-185
10	2.33	2.203	-257
15	1.9	1.797	-674
20	1.65	1.560	-1163
30	1.3	1.229	-2305
40	1.08	1.021	-3562
50	0.95	0.898	-4869

TABLE 1 EQUATIONS: $Q_d = C_c \cdot I \cdot A_t / (43200)$

$$V_d = (Q_d - Q_i) \cdot ((Q_d - Q_i) / Q_r \cdot T_d) \cdot 60$$

Where,

Composite C_c = 0.87
 Intensity, I = 3.22 in/hr
 Total Area, A_t = 47045 ft²
 Final Flow Rate, Q_d (cfs) = 3.06 cfs at t_c = 3.33 min
 Initial Flow Rate, Q_i (cfs) = 2.98 cfs at t_c = 4.7 min
 Duration, T_d = 3.33 (min)

Storage Volume = -1 ft³, or -6 gallons
Dry Bottom Basins to be Utilized for Stormwater Detention

Base on Fixture Count of 3783 using the upper line in Fig. 4.4 for a public building the estimated Maximum Water Demand is 160 gpm.

32

SIZING WATER SERVICE LINES AND METERS

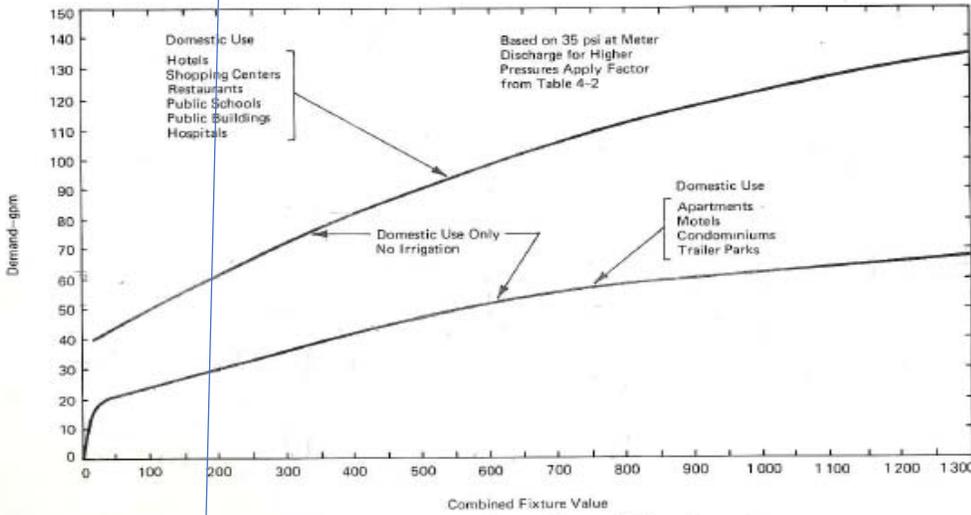


Fig. 4.4. Water-Flow Demand per Fixture Value—Low Range

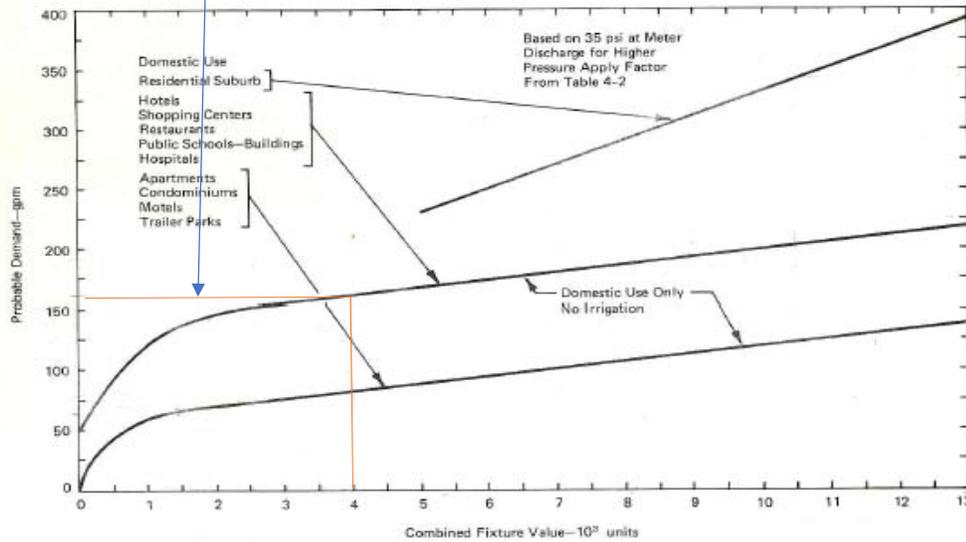


Fig. 4.5. Water-Flow Demand per Fixture Value—High Range

detailed lists of fixtures before estimates can be prepared. If the structure is in the planning stage, the mechanical engineer or architect is the best source of information, and, if construction is underway, the plumbing contractor or the building permits section of the city will have the information. Field trips by the estimator are often necessary to assist the customer as well as to properly assess the project when

Calculate Demands Based on Estimated System Pressure

Est. Max. Demand	160	gpm	
Pressures at Nearest Meter	68	psi	(Estimated)
Elevation at Meter	6230	ft	(Estimated)
F.F. of 3rd Floor Hotel	6264.5	ft	
Pressure at 3rd Floor	53.1	psi	

Table 4.2 (for pressures other than 35 psi)

Design Pressure	Factor
20	0.74
30	0.92
35	1
40	1.07
50	1.22
60	1.34
70	1.46
80	1.57
90	1.68
100	1.78

For Pressures Deviating from 35 psi

Est. Pressure (psi)	53.1	psi	
Demand @ Est Pressure	200.89	gpm	Max Demand/flow

Fire Spinkler Flows

Hazard Classification

Ordinary Hazard (G2) Occupancies per NFPA 13, Section 5.2

Building Area:

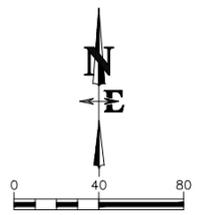
Guest Rooms	44,649	
Food and Beverage	3,252	
Meeting/Banquet	2,775	
Fitness	584	
Retail	1,791	Retail is Ordinary Hazard Group 2
Lobby/Reception	3,984	
Housekeeping, Linens, IT	1,661	
Restrooms	1,668	
Circulation	10,031	
Hotel Total	70,395	sf
Employee Housing Level 1	2,400	
Employee Housing Level 2	2,720	
Employee Housing Level 3	1,220	
Employee Housing Total	6,340	sf

Minimum Flow for Hose Connection 250 gpm per NFPA 13, Table 11.2.3.1.2

Utilize Early Suppression Fast-Response Sprinklers (ESFR) per Section 4-4.6

Minimum Design Area	960 SF per NFPA 13
Actual Design Area	913 Largest Mercantile Zone OH-2
Required Flow	
Required Density	0.2 gpm/sf per NFPA 13, Figure 11.2.3.1.1
Sprinkler Demand	213 gpm (15-20% Overage)
Required Flow (sprinkler and hose)	474 gpm - 11.1.4.2
Static Pressure at Fire Sprinklers	53.1 psi @ design height (Estimated)
Dynamic Pressure at Fire Flow	29.51 psi @ design height - includes 475 gpm fire sprinkler and (2) 1000 gpm fire hydrant demand

S:\proj\2016-24 Center Street Project - FIP Sustainability Design\Water Work Info\Fire Flow Exhibit.dwg - Oct 19 2017 09:35:37 pm PLOTTED BY: bweers INK FORMAT: EPL



DRAWING NO EXHIBIT	JOB TITLE CENTER STREET PROJECT DEVELOPMENT SUBMITTAL JACKSON, WYOMING		DRAWING TITLE WATER MODEL FIRE FLOW EXHIBIT	DATE 10/24/2017	REV.
	JOB NO 16-306-04				ENGINEERED MB

**NELSON
ENGINEERING**
P.O. BOX 1599, JACKSON WYOMING (307) 733-2087

Summary of Hydraulic Model Results			
Center St Development			
WaterCAD V8i - Town of Jackson 2013 model			
Deloney Street Fire Flow			
Location	Total Demand	Residual Pressure	Junction Label
	<u>gpm</u>	<u>psi</u>	
Corner of Center and Deloney	1,002	35.2	J-139
Point of connection	600	34.7	POINT OF CONNECTION
Corner of Willow and Deloney	1,002	33.8	J-141
*See Exhibit for Hydrant Locations			

EXHIBIT E - EMPLOYEE HOUSING MITIGATION PLAN

HOUSING MITIGATION PLAN

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Calculation of Required Employee Housing

Development Program, Requirements

Use	Square Footage	Standard per 1,000	Requirement
Lodging	62,906	47	2,956.6
Meeting Room	3,421	47	160.8
Restaurant / Bar	3,251	378	1,228.9
Retail	1,417	156	221.0
Total			4,567.3

Credits Attributed to Existing Development

Use	Square Footage	Standard	Credit
112 Center Street			
Service (bank)	6,544	56	366.5
Office	6,477	14	90.7
Basement Storage	8,142		0
165 E. Deloney			
Service (bank)	2,288	56	128.1
Basement Storage	2,288		0
Total			585.3

Net Employee Housing Requirement

4,567.3 – 585.3 = 3,982

Proposed Method of Meeting Requirement

The requirement will be satisfied by constructing approximately **4,892 square feet** of employee housing on site. This amount of employee housing exceeds the housing requirement by 910 square feet. This housing will be under the control of the hotel and managed in compliance with the employee housing restrictions and guidelines.

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Unit Type, Floor Plan

Included in the architectural drawings is a floor plan showing layout of the employee housing units and their location in the east building. Two units will be dormitories and two units will be ARU's.

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Proposed Deed Restriction

Included in this submittal is a draft deed restrictions for employee housing and ARU's. The applicant will work with the Jackson/Teton County Affordable Housing Department to finalize these restrictions prior to obtaining a building permit.

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**Special Restrictions
for Employee Housing
Located at Type Address, The Town of Jackson**

These Special Restrictions for Employee Housing (the "Special Restrictions"), are made and entered into this ___ day of _____, 20__, by the undersigned Declarant ("Declarant").

RECITALS:

WHEREAS, the Declarant holds fee ownership interest in that certain real property, located in the Town of Jackson Wyoming, and more specifically described as follows:

Click here to add legal description of property.

PIN: Click here to type PIDN #(the "Land");

WHEREAS, as a condition of its approval for permit #Click here to enter Permit #. (the "FDP Approval"), the Declarant is providing employee housing for Click here to enter SF requirement. square feet or the equivalent of one (1) unit of employee housing, as follows:

Click here to enter description of Approval and Units provided. e.g.: The Final Development Plan application for 115 East Pearl, Jackson, Wyoming was for an 18,855 square foot retail/service, office, and residential building. It generated the requirement to provide (requirement) 450 square feet of Employee Housing (the "Residential Unit"). The declarant wishes to restrict unit 301, a 450 square foot studio apartment.

WHEREAS, in furtherance of the goals, objectives, requirements and conditions of the Click here to enter type of approval e.g. CUP, PUD, FDP or other Approval, and consistent with the Town of Jackson's goal of providing decent, safe and sanitary housing to qualified employees working in Teton County, Wyoming, that is affordable, Declarant agreed to restrict the use and occupancy of the Residential Unit to a "Qualified Household", which meets employment, income and asset ownership qualifications as set forth herein; and

WHEREAS, in accordance with the FDP Approval, the Residential Unit is intended to address the need for rental housing for employees in Teton County, Wyoming and therefore Declarant agrees it will not be owner-occupied.

WHEREAS, Declarant desires to adopt these Special Restrictions and declare that the Land and the Residential Unit (sometimes collectively referred to herein as the "Property") shall be held, sold, and conveyed in perpetuity subject to these Special Restrictions, which Special Restrictions shall be in addition to all other covenants, conditions or restrictions of record affecting the Property, and shall be enforceable by the Jackson/ Teton County Housing Authority, a duly constituted Housing Authority pursuant to W.S. §15-10-116, as amended, and its successors or assigns (collectively, "JTCHA"), the Jackson/Teton County Affordable Housing Department (the "Housing Department"), and the Town of Jackson, Wyoming;

RESTRICTIONS:

NOW, THEREFORE, in satisfaction of the conditions in the FDP Approval, and in consideration of such FDP Approval and the foregoing Recitals, which are incorporated herein by this reference, Declarant hereby declares, covenants and agrees for itself and each and every person acquiring ownership of the Residential Unit, that the Land and Residential Unit shall be held, used, occupied, developed, transferred and conveyed subject to the following Special Restrictions in perpetuity:

SECTION 1. JACKSON/TETON COUNTY HOUSING RULES AND REGULATIONS (GUIDELINES). References made herein to the Housing Rules and Regulations and/or Guidelines or are references to the written Rules and Regulations of JTCHA and/or the Housing Department, as the same may be amended, modified, or updated from time to time and which policies, procedures, and guidelines are on file with the Housing Department or otherwise with the Town of Jackson, Wyoming, or if there are no such written policies, procedures or guidelines (or a written policy, procedure or guideline with respect to a specific matter) then the reference shall be to the current applied policy or policies of JTCHA and/or the Housing Department (the "Guidelines"). Procedural and administrative matters not otherwise addressed in these Special Restrictions shall be as set forth in the Rules and Regulations.

SECTION 2. RESTRICTIONS ON OCCUPANCY AND USE OF RESIDENTIAL UNIT. Occupancy and use of the Residential Unit shall be restricted as follows:

A. Qualified Household. The use and occupancy of the Residential Unit shall be limited to a "Qualified Household", defined as follows:

1. Employment. At least one member of the household must demonstrate on average thirty (30) hours per week of employment or volunteer work in Teton County, Wyoming, for a profit or non-profit employer(s), respectively, physically located in Teton County, Wyoming.

2. Income Restriction. The Qualified Household shall not earn more than one hundred twenty percent (120%) of the median household income in Teton County, Wyoming, as determined by the current year's published Federal Department of Housing & Urban Development median income chart for Teton County, Wyoming (the "Income Cap").
3. No Teton County Residential Real Estate. No member of the Qualified Household may own (whether individually, in trust, or through an entity including without limitation a partnership, limited partnership, limited liability company, corporation, association, or the like) residential real estate in The Town of Jackson, Wyoming.
4. Determination by the Housing Department. The Housing Department shall determine whether a prospective tenant is a Qualified Household. In addition to any requirements set forth in the Rules and Regulations, such determinations shall be based upon written applications, representations, information and verification as are deemed by the Housing Department to be necessary to establish and substantiate eligibility.
5. Continuing Obligation to Remain a Qualified Household. The occupants of the Residential Unit shall satisfy the definition of a Qualified Household at all times during the occupancy of the Residential Unit.

No owner of the Residential Unit, prospective purchaser of the Residential Unit, Tenant, renter or occupant, or other party shall have the right to sue or bring other legal process against the Town of Jackson, Wyoming, JTCHA or the Housing Department, or any person affiliated with the Town of Jackson, Wyoming, JTCHA or the Housing Department arising out of these Special Restrictions, and neither shall the Town of Jackson, Wyoming, JTCHA or the Housing Department have any liability to any person aggrieved by the decision of the Town of Jackson, Wyoming, JTCHA or the Housing Department regarding qualification of a Qualified Household or any other matter relating to these Special Restrictions.

B. No Owner Occupancy. No owner shall reside in or occupy the Residential Unit. For purposes of this paragraph, if an owner is an entity (including without limitation, a partnership, limited partnership, Limited Liability Company, corporation, association, or other) or a trust, this prohibition on owner-occupancy shall extend to any partner, member, shareholder, other principal or owner of the entity, or trustee or beneficiary of the trust.

C. Household Composition. Only members of the Qualified Household may occupy a Residential Unit, except that the owner may restrict who may reside in a Residential Unit,

provided that such owner-restriction does not violate Federal or state fair housing laws. Notwithstanding the foregoing, occupancy of the Residential Unit shall be in compliance with any and all building codes (or other relevant law, code, statute, ordinance or the like) regarding maximum occupancy standards or limitations.

D. Rental. Occupancy of the Residential Unit shall be pursuant to a written lease, the form of which may be approved by Housing Department as it may require. At all times, the Residential Unit shall remain a rental unit for Qualified Households. The owner of the Residential Unit shall obtain written verification of income, asset ownership, and employment in Teton County, Wyoming for each Qualified Household proposing to rent the Residential Unit prior to such Household's occupancy, and upon each extension or renewal of any lease therefore.

E. Rental Term. The Residential Unit shall be offered for rent in periods of not less than one (1) month. No Residential Unit shall be used as a guest house or guest facility.

F. Rental Rates. The rental rates for the Residential Unit shall not be greater than the current Fair Market Rent Assessment numbers for Teton County, Wyoming, as provided by the U.S. Department of Housing and Urban Development (HUD) and maintained by the Housing Department. For purposes of applying the Fair Market Rent Assessment numbers for Teton County, Wyoming published by HUD to the Residential Unit, a dorm-style or studio Residential Unit shall be considered a "studio". The rent charged must include basic utilities (electric, gas, water, sewer) and trash removal. Notwithstanding the foregoing to the contrary, the rental rates charged by the owner may at any time be less than the applicable Fair Market Rent Assessment.

G. Vacancies. The Residential Unit may be vacant intermittently between tenancies to allow for proper verification, advertisement for Qualified Households and reasonable maintenance. However, no Residential Unit shall be vacant for a period greater than sixty (60) days, unless authorized by Housing Department. If any Residential Unit remains vacant for more than sixty (60) days without approval, then the Housing Department shall have the right, but not the obligation to identify a Qualified Household to rent the Residential Unit. Anything herein and above notwithstanding, the owner shall have the right to deny occupancy to any proposed tenant who in its reasonable discretion does not meet owner's standard for occupancy, so long as such denial does not violate Federal or state fair housing laws.

H. Compliance with Laws, Declaration. The Residential Unit shall be occupied in full compliance with all laws, statutes, codes, rules, or regulations, covenants, conditions and restrictions, and all supplements and amendments thereto, and any other rules and regulations of any applicable homeowners association, as the same may be adopted from time to time.

I. Maintenance. The owner shall be responsible for the cost and expense to keep and maintain the interior of the Residential Unit and all other aspects of the Residential Unit not otherwise maintained by a homeowners association in a safe, decent and sanitary condition. In the event the owner fails to maintain the Residential Unit in a safe, decent and sanitary condition and such condition continues for fourteen (14) days after notice from the Housing Department, the Housing Department shall have the right but not the obligation to enter the Residential Unit and repair such condition and owner shall reimburse Housing Department for such reasonable repair costs. Payment to Housing Department from the owner shall be due upon receipt of invoice.

J. Insurance. The owner shall cause the Residential Unit to be continuously insured against "all risks" of physical loss (not otherwise covered by a homeowners association insurance), for the full replacement value of the Residential Unit

K. Periodic Reporting, Inspection. In order to confirm compliance with these Special Restrictions, each owner shall comply, and cause its tenants to comply, with any reporting or inspection requirements as set forth herein and as may be required by the Housing Department from time to time. Upon reasonable notice to owner, the Housing Department shall have the right to inspect the Residential Unit from time to time to determine compliance with these Special Restrictions and to review the written records required to be maintained by Owner. Owner shall maintain such records for a period of two (2) years.

L. Preference. The owner, at such owner's option may give first priority to rent the Residential Unit to Qualified Households of which a member of the Household is an employee of the owner. In the event there are no persons directly employed by the owner to whom the owner desire to rent the Residential Unit, then the owner may rent to any Qualified Household.

Notwithstanding the foregoing, the Housing Department may approve uses inconsistent with this Section in accordance with the Rules and Regulations.

SECTION 3. TERMINATION AND MODIFICATION OF SPECIAL RESTRICTIONS.

A. Termination. These Special Restrictions may be terminated after a determination by the Town of Jackson, Wyoming that these Special Restrictions are no longer consistent with the goal of providing housing affordable to employees in Teton County, Wyoming and that they should therefore be terminated.

B. Amendment. These Special Restrictions may be amended, in whole or in part, as follows:

1. With the written consent of the owner of the Residential Unit, the Housing Manager for the Housing Department, and the Planning Director for the Town of Jackson, Wyoming.
2. The Housing Department may unilaterally modify these Special Restrictions (i) to provide clarification to any provisions hereto which may be unclear or subject to differing interpretations, (ii) to correct any errors identified herein, or (iii) where the Housing Department deems such modification necessary to effectuate the purposes and intent of the Special Restrictions or the goals of the Town of Jackson in providing decent, safe and affordable housing, and where such modification does not, in the Housing Department's reasonable discretion, materially impair the owner rights.

SECTION 4. VIOLATION. In the event of a violation of these Special Restrictions, the Housing Department shall send written notice to the owner of such violation, the required action to cure and the timing for such cure. If the owner disputes the violation, the owner shall proceed in accordance with the Rules and Regulations. JTCHA, the Housing Department and the Town of Jackson shall have the right of specific performance of these Special Restrictions and the right to obtain from any court of competent jurisdiction a temporary restraining order, preliminary injunction and permanent injunction to obtain such performance. Any equitable relief provided for herein may be sought singly or in combination with such other remedies as JTCHA, the Housing Department and the Town of Jackson may be entitled to, either pursuant to these Special Restrictions or under the laws of the State of Wyoming.

SECTION 5. SPECIAL RESTRICTIONS AS COVENANT. These Special Restrictions shall constitute covenants running with the Land and the Residential Unit, as a burden thereon, and shall be binding on all parties having any right, title, or interest in the Land, the Residential Unit, or any part thereof, their heirs, devisees, successors and assigns, and shall inure to the benefit of and shall be enforceable by JTCHA, the Housing Department and the Town of Jackson.

SECTION 6. NOTICES. Any notice, consent or approval which is required to be given hereunder shall be in writing and when to an owner shall be deemed given by mailing the same, certified mail, return receipt requested, properly addressed and with postage fully prepaid to the owner's mailing address as provided to the Housing Department or such address as is on record with the Teton County Assessor. Any notice which is required to be given hereunder to JTCHA or the Housing Department shall be given by mailing the same, certified mail, return receipt requested, properly addressed and with postage fully

prepaid to either JTCHA or the Housing Department, P.O. Box 714, Jackson, WY 83001. Alternatively, notice may be hand delivered, but any such hand delivery shall require a signed receipt from the owner or Housing Manager of the Housing Department, respectively, evidencing the same. Failure of either party to pick up and/or sign for a certified mailing does not constitute failure to provide notice provided it was properly addressed and evidence of that mailing is retained. In the event of notice by mailing, notice shall be deemed given when deposited in the U.S. Mail.

SECTION 7. ATTORNEY'S FEES. In the event any party shall be required to retain counsel and file suit for the purpose of enforcing the terms and conditions of these Special Restrictions, the prevailing party shall be entitled to recover, in addition to any other relief recovered, a reasonable sum as determined by the court for attorney's fees and costs of litigation.

SECTION 8. CHOICE OF LAW, FORUM. These Special Restrictions and each and every related document, are to be governed by and construed in accordance with the laws of the State of Wyoming. The parties agree that the appropriate court in Teton County, Wyoming and/or the Ninth Judicial District for the State of Wyoming shall have sole and exclusive jurisdiction over any dispute, claim, or controversy which may arise involving these Special Restrictions or its subject matter

SECTION 9. SEVERABILITY. Each provision of these Special Restrictions and any other related document shall be interpreted in such a manner as to be valid under applicable law; but, if any provision, or any portion thereof, of any of the foregoing shall be found by a court of competent jurisdiction to be invalid or prohibited under said applicable law, such provision shall be deemed modified to the extent necessary and possible to render it valid and enforceable and the rights and restrictions set forth herein shall be construed and enforced accordingly, preserving to the fullest extent the intent of these Special Restrictions as set forth herein; , or if such modification is not possible, such provision shall be ineffective to the extent of such invalidity or prohibition without invalidating the remaining provision(s) of these Special Restrictions.

SECTION 10. SECTION HEADINGS. Paragraph or section headings within these Special Restrictions are inserted solely for convenience or reference, and are not intended to, and shall not govern, limit or aid in the construction of any terms or provisions contained herein.

SECTION 11. WAIVER. No claim of waiver, consent or acquiescence with respect to any provision of these Special Restrictions shall be valid against any party hereto except on the basis of a written instrument executed by the parties to these Special Restrictions. However, the party for whose benefit a condition is inserted herein shall have the unilateral right to waive such condition.

THE TOWN OF JACKSON:

Click here to enter name of Mayor., Mayor

ATTEST:

Click here to enter name of Town Clerk., Town Clerk

STATE OF WYOMING)
) ss.
COUNTY OF TETON)

On the _____ day of _____, 20__, the foregoing instrument was acknowledged before me by [Click here to enter name of Chair.](#) as Chair of the The Town of Jackson Board of County Commissioners.

Witness my hand and official seal.

(Seal)

Notary Public
My commission expires:

JACKSON/THE TOWN OF JACKSON AFFORDABLE HOUSING DEPARTMENT:

Click here to enter name of Housing Manager., Housing Manager

STATE OF WYOMING)
) ss.
COUNTY OF TETON)

On the ____ day of _____, 20__, the foregoing instrument was acknowledged before me by [Click here to enter name of Housing Manager.](#), as Housing Manager of the Jackson/The Town of Jackson Affordable Housing Department.

Witness my hand and official seal.

(Seal)

Notary Public
My commission expires:

**Special Restrictions
for Accessory Residential Units
Located at [insert common name of development]**

The undersigned Declarant holds fee ownership interest in that certain real property, located in Teton County Wyoming, and more specifically described as follows:

Lot [insert lot # of land], [insert name of subdivision] Teton County, Wyoming, according to that plat recorded in the Office of the Teton County Clerk on [insert date of plat] as Plat No. [insert plat number].
PIN: [insert property identification number] (the "Land")

Declarant adopts these Special Restrictions ("Special Restrictions") and hereby declares that the Land and each individual lot or unit located on the Land (such lot(s) or unit(s) referred to herein as an "Accessory Residential Unit" or collectively as "Accessory Residential Units," and the Land and the Accessory Residential Units are collectively referred to herein as the "Property") shall be held, sold, and conveyed in perpetuity subject to these Special Restrictions, which shall be in addition to all other covenants, conditions or restrictions of record affecting the Property, and shall be enforceable by the JACKSON/TETON COUNTY AFFORDABLE HOUSING DEPARTMENT, (collectively, "HOUSING DEPARTMENT"), or by the Town of Jackson.

RECITALS:

WHEREAS, in furtherance of the Town of Jackson's goal of providing housing to qualified employees working in Teton County that is affordable and is located so as to meet the Town's transportation goals; and

WHEREAS, pursuant to its approval of <INSERT DETAILS ON APPROVAL> (the "FDP"), the Declarant is providing _____ Accessory Residential Units for ____ employees described as follows:

<INSERT SPECIFICS>

and;

WHEREAS, in furtherance of the goals, objectives, requirements and conditions of the FDP Approval, Declarant agreed to restrict the use and occupancy of each Accessory Residential Unit (the "ARU") located within the Property to a "Qualified Household",

which meets employment and real estate ownership qualifications as set forth herein; and

WHEREAS, in accordance with the Town of Jackson Land Development Regulations, accessory residential units are incidental, subordinate and secondary to the primary use of the Property and consistent with the foregoing, the ARU shall not be severed or divided from the Property; and

WHEREAS, in accordance with the FDP Approval, the ARU is intended to address the need for rental housing for employees in Teton County..

RESTRICTIONS:

NOW, THEREFORE, in satisfaction of the conditions in the FDP Approval, and in consideration of such FDP Approval and the foregoing Recitals, which are incorporated herein by this reference, Declarant hereby declares, covenants and agrees for itself and each and every person acquiring ownership of a Residential Unit, that the Land and each Residential Unit shall be held, used, occupied, developed, transferred and conveyed subject to the following Special Restrictions in perpetuity:

SECTION 1. HOUSING RULES AND REGULATIONS. Procedural and administrative matters not addressed in these Special Restrictions that do not effect substantive rights shall be as set forth in the official Rules and Regulations of THE HOUSING DEPARTMENT formerly the Guidelines, as the same may be amended from time to time and which Rules and Regulations are on file with THE HOUSING DEPARTMENT or otherwise with Teton County.

SECTION 2. RESTRICTIONS ON OCCUPANCY AND USE OF ARUs. Occupancy and use of a Residential Unit shall be restricted as follows:

A. Qualified Household. The use and occupancy of each ARU shall be limited to a "Qualified Household", as defined below:

- 1) **Employment:** At least one member of the household must demonstrate on average 30 hours per week, nine (9) months per year of employment or volunteer work in Teton County, Wyoming, for a profit or non-profit employer, respectively.
- 2) **No Teton County Residential Real Estate:** No member of the Qualified Household may own (whether individually, in trust, or through an entity including without limitation a partnership, limited partnership, limited

liability company, corporation, association, or the like) residential real estate in Teton County, Wyoming.

B. Household Composition. A Qualified Household may be composed of the employee and such employee's spouse, child, significant other, other family member or guest, unless otherwise specifically prohibited by owner, provided that such owner-prohibition does not violate Federal or state fair housing laws which prohibit discrimination on the basis of race, color, religion, national origin, sex, familial status, or disability.

C. Rental. At all times, the ARU within the Property shall remain a rental unit for Qualified Households. The owner of the Property shall obtain written verification of real estate ownership to confirm no other residential real estate is owned in Teton County by any occupant, and employment in Teton County for each Qualified Household proposing to rent an ARU prior to such Household's occupancy, and upon each extension or renewal of any lease therefore. The owner shall maintain such records for a period of two (2) years and make them available for review by THE HOUSING DEPARTMENT at all reasonable times.

D. Rental Term. The Residential Unit shall be offered for rent in periods of not less than ninety (90) days and shall not be used as a guest house or guest facility.

E. Division. The division or *de facto* division of the ARU from the Property, including subdivision, partition, long-term leases (e.g., terms of 99 years or more), or otherwise is prohibited.

F. Occupancy Limits. The ARU within the Property shall not be occupied by a number of persons in excess of those permitted under the then current building code applicable to the Property

G. Maintenance. The owner shall be responsible for the cost and expense to keep and maintain both the interior and exterior of the Property and the adjacent open space areas. The owner shall keep the Property and the adjacent open space areas (if applicable) insured, in a state of good repair, and in a safe and clean condition, reasonable wear and tear excepted.

K. Periodic Reporting, Inspection. In order to confirm compliance with these Special Restrictions, each owner shall comply with any reporting or inspection requirements as may be requested by THE HOUSING DEPARTMENT from time to time. A signed and executed copy of all leases executed or renewed, and the employment, and real estate

verification documents relating thereto, shall be made available for review by THE HOUSING DEPARTMENT, by the owner upon initial lease of the ARU within the Property to a Qualified Household and for each rental period thereafter. Upon reasonable notice to an owner, THE HOUSING DEPARTMENT shall have the right to inspect the ARU within the Property from time to time to determine compliance with these Special Restrictions.

SECTION 3. SALE OR TRANSFER SUBJECT TO TRANSFER LIMITATIONS. Each Residential Unit may only be sold or transferred subject to the terms of these Special Restrictions.

SECTION 4. TERMINATION AND MODIFICATION OF SPECIAL RESTRICTIONS.

A. Termination. These Special Restrictions may be terminated after a determination by the Town of Jackson that these Special Restrictions are no longer consistent with the goal of providing housing affordable to employees in Teton County and that they should therefore be terminated.

B. Modification. These Special Restrictions may be modified with the written consent of both the owner of a Residential Unit, THE HOUSING DEPARTMENT and the Town of Jackson, Wyoming.

SECTION 5. EQUITABLE RELIEF. THE HOUSING DEPARTMENT shall have the right of specific performance of these Special Restrictions and the right to obtain from any court of competent jurisdiction a temporary restraining order, preliminary injunction and permanent injunction to obtain such performance. Any equitable relief provided for herein may be sought singly or in combination with such legal remedies as THE HOUSING DEPARTMENT may be entitled to, either pursuant to these Special Restrictions or under the laws of the State of Wyoming.

SECTION 6. SPECIAL RESTRICTIONS AS COVENANT. These Special Restrictions shall constitute covenants running with the Property and each Residential Unit, as a burden thereon, and shall be binding on all parties having any right, title, or interest in the Property, a Residential Unit, or any part thereof, their heirs, devisees, successors and assigns, and shall inure to the benefit of and shall be enforceable by THE HOUSING DEPARTMENT.

SECTION 7. NOTICES. Any notice, consent or approval which is required to be given hereunder to an owner shall be deemed given by mailing the same, certified mail, return receipt requested, properly addressed and with postage fully prepaid to the owner's mailing address or such address as is on record with the Teton County Assessor. Any notice which is required to be given hereunder to THE HOUSING DEPARTMENT shall be

given by mailing the same, certified mail, return receipt requested, properly addressed and with postage fully prepaid to THE HOUSING DEPARTMENT, P.O. Box 714, Jackson, WY 83001. Alternatively, notice may be hand delivered, but any such hand delivery shall require a signed receipt evidencing the same. Failure of either party to pick up and/or sign for a certified mailing does not constitute failure to provide notice provided it was properly addressed and evidence of that mailing is retained. In the event of notice by mailing, notice shall be deemed given when deposited in the U.S. Mail.

SECTION 8. ATTORNEY'S FEES. In the event any party shall be required to retain counsel and file suit for the purpose of enforcing the terms and conditions of these Special Restrictions, the prevailing party shall be entitled to recover, in addition to any other relief recovered, a reasonable sum as determined by the court for attorney's fees and costs of litigation.

SECTION 9. CHOICE OF LAW. These Special Restrictions and each and every related document, are to be governed by and construed in accordance with the laws of the State of Wyoming.

SECTION 10. SEVERABILITY. Each provision of these Special Restrictions and any other related document shall be interpreted in such a manner as to be valid under applicable law; but, if any provision of any of the foregoing shall be invalid or prohibited under said applicable law, such provisions shall be ineffective to the extent of such invalidity or prohibition without invalidating the remaining provisions of such document.

SECTION 11. SECTION HEADINGS. Paragraph or section headings within these Special Restrictions are inserted solely for convenience or reference, and are not intended to, and shall not govern, limit or aid in the construction of any terms or provisions contained herein.

SECTION 12. WAIVER. No claim of waiver, consent or acquiescence with respect to any provision of these Special Restrictions shall be valid against any party hereto except on the basis of a written instrument executed by the parties to these Special Restrictions. However, the party for whose benefit a condition is inserted herein shall have the unilateral right to waive such condition.

SECTION 13. INDEMNIFICATION. Each owner shall indemnify, defend, and hold THE HOUSING DEPARTMENT and its directors, officers, agents and employees harmless against any and all loss, liability, claim, or cost (including reasonable attorneys' fees and expenses) for damage or injury to persons or property from any cause whatsoever on or about the Property or a Residential Unit, or for an owner's breach of any provision of these Special Restrictions. Each owner waives any and all such claims against THE

Sandy Birdyshaw, Town Clerk

JACKSON/TETON COUNTY AFFORDABLE HOUSING DEPARTMENT:
(Acknowledgement as to form)

Stacy Stoker, Housing Manager

STATE OF WYOMING)
) ss.
COUNTY OF TETON)

On the _____ day of _____, 20 ____, the foregoing Special Restrictions for Accessory Residential Units was acknowledged before me by Stacy Stoker, as the Housing Manager of the Jackson Teton County Affordable Housing Department.

Witness my hand and official seal.

(Seal)

Notary Public



TOWN OF JACKSON TOWN COUNCIL AGENDA DOCUMENTATION

PREPARATION DATE: February 1, 2018
MEETING DATE: February 5, 2018

SUBMITTING DEPARTMENT: Administration
DEPARTMENT DIRECTOR: Bob McLaurin
PRESENTER: Bob McLaurin

SUBJECT: Karns Meadow – Various Project Components and Environmental Analysis

STATEMENT/PURPOSE

The purpose of this item is for the Town Council to consider initiating a Town of Jackson Environmental Analysis process for Karns Meadow. This EA would evaluate the various allowed components and uses as set for in the buy-sell agreement between the Town of Jackson and in the conservation easements governing each parcel.

BACKGROUND/ALTERNATIVES

Karns Meadow is a 41-acre parcel of largely undeveloped land lying between West Jackson (a mixed-use area), downtown Jackson (a commercial area) and South Jackson (residential areas and at the foot of the Snow King ridge). The Karns family sold the property to the Town of Jackson in eight separate parcels between 2003 and 2009, and partnered with the Jackson Hole Land Trust on conservation easements that define the conservation values and permitted uses for each parcel. The purchase agreement and easements allow for a number of physical improvements including a pathway around the perimeter of the meadow, a natural surface equestrian trail, a fishing access platform, parking area, bathroom facilities and picnic shelters for park users, trail lighting, park/pathway signage, a public bus stop, and a public parking lot and/or parking garage. (The attached Map 1 is a 2011 exhibit that shows the Karns Meadow area, vegetative cover type, and various pathway alignment alternatives, including the alignment initially identified in the easements). Tract 4 also allows for a stormwater treatment plant and artificial wetlands, the development of three residential housing lots, and a public parking area along Flat Creek Drive. The stormwater wetlands and associated riparian habitat enhancements on tracts 3 and 4 were constructed in 2010. There have been additional minor alterations including the construction of designated access points to Flat Creek (gravel paths and stream bank protection), the temporary storage of an historic cabin (still on site), and installation of Town of Jackson solar panels. The Town of Jackson Well Number 5 is also located on this property, but was constructed long before the purchase of the property.

Staff initiated background environmental planning for the pathway and equestrian trail portion of the project in 2011. This work included baseline inventory of wetlands and other environmental resources, and analysis of route alternatives for the purpose of meeting NEPA requirements for two federal grants totaling \$900,000 that were awarded to the Town of Jackson in 2012 and 2014. The route alternatives are shown in Map 1. The NEPA work was not fully completed and both of these grants have since been rescinded due to lack of activity on the project.

More recently, starting in mid-2017, the Jackson Hole Land Trust reached out to Town staff to discuss steps for moving forward with the various components of the Karns Meadow project(s). Coordinating with the Housing Department, Pathways, Parks and Recreation, START, Public Works, and Administration, staff submitted a pre-application request to the Planning Department in November 2017 to initiate the Environmental Analysis (EA) process. Separately, the Parks and Rec Advisory Board was also considering an application from the Land Trust for the natural park component of the project as part of the Parks and Rec 5-Year Capital Improvement Plan outreach process. The Parks board process, which began after the EA pre-application was submitted, is

essentially a long-term budgeting and visioning exercise as the Parks board does not have the authority to approve projects in Karns Meadow, and in no way does it supplant the Town's standard planning and public review process.

If authorized to proceed, the EA process will be managed by the Town Planning Department and will involve hiring a licensed environmental consultant to evaluate the environmental impacts of a selection of proposed improvements and uses derived from the list of "allowable" uses per the conservation easements. This may include any of the elements noted above (and any others mentioned in the easements), such as the park, pathway, and housing, but does not necessarily have to include all, or even any, of them (although if nothing is proposed, there would be no need for an EA). An EA pre-application meeting was held December 20th with staff from Planning, Parks and Rec, START, Pathways, Public Works, Housing, Admin, the Jackson Hole Land Trust, and Wyoming Game and Fish. Discussion included an overview of the EA process, hiring a consultant, and developing the list of project components to be proposed for the EA evaluation.

Staff is requesting approval from Council to move forward with hiring an environmental consultant to prepare an EA for the various Karns Meadow project components. The Jackson Hole Land Trust will provide funding for EA with the Town of Jackson as the project owner and applicant. Staff will assist with developing the list of project components to be evaluated (and would bring this list back to Council for approval as part of an MOU with the Land Trust).

ATTACHMENTS

Karns Meadow Vegetative Cover and Approximate Pathway

FISCAL IMPACT

The Jackson Hole Land Trust has committed to cover the cost to hire the environmental consultant to prepare the Environmental Analysis, so there should be little fiscal impact to the Town. The Town would be the client, and would select and direct the consultant, but the cost would be paid by the JHLT.

STAFF IMPACT

Staff from multiple departments will be involved in the EA to a substantial degree. Planning staff will likely have the largest level of involvement and will coordinate preparation and review of the EA. Staff from the other town agencies mentioned above will be involved with developing the list of proposed project components, project planning/design, and EA review. It is expected that there will be a high level of public involvement in this process and a corresponding level of staff involvement.

LEGAL REVIEW

Not applicable at this time.

RECOMMENDATION

Staff recommends that the Town hire an Environmental Consultant to proceed with the Environmental Analysis process and continue to work with the Jackson Hole Land Trust (as the holder of the conservation easements) to determine the project components to be considered in the EA.

SUGGESTED MOTION

I move to approve moving forward with the environmental analysis and direct the Town Manager to prepare a Memorandum of Understanding with the Jackson Hole Land Trust to cover the funding of this process.

Synopsis for PowerPoint (120 words max):

Background:

The purpose of this item is for the Town Council to consider initiating a Town of Jackson Environmental Analysis process for Karns Meadow. This EA would evaluate the various allowed components and uses as set for in the buy-sell agreement between the Town of Jackson and in the conservation easements governing each parcel.



JH Community Pathways

KARNS MEADOW

**Map 1:
Karns Meadow
Vegetative Cover
& Approximate Pathway**

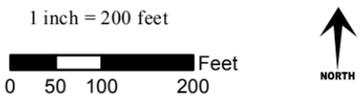
November 3, 2011

References:

- Environmental Laboratory. 1987. "Corps of Engineers Wetlands Delineation Manual," Technical Report Y-871, U.S. Army Engineer Waterways Experiment Station, Vicksburg, Miss.
- Jackson Hole Land Trust. December 2005. Karns Meadow Conservation Easements and Baseline Inventory.
- Intermountain Aquatics Inc. 2007. Wetland Delineation and Vegetation Survey for Karns Meadow Tracts 3 & 4.
- Alder Environmental, 2011. Environmental Analysis for the Proposed START Transity Facility, Karns Meadow, Tract 1,2,5,6.

Legend:

- Property Lines
 - Road Easement
 - Pathway Alignment**
 - JHLT Conservation Easement, Exhibit C
 - Alternative 1
 - Alternative 2
 - Alternative 3
 - Alternative 4
 - Vegetative Cover Types**
 - Scrub- Shrub Wetland
 - Riparian Shrub
 - Cottonwood - medium
 - Agricultural Meadow
 - Open Disturbed Grassland
 - Open Water - Flat Creek
- Highest Value Habitat
 ↓
 Lowest Value Habitat

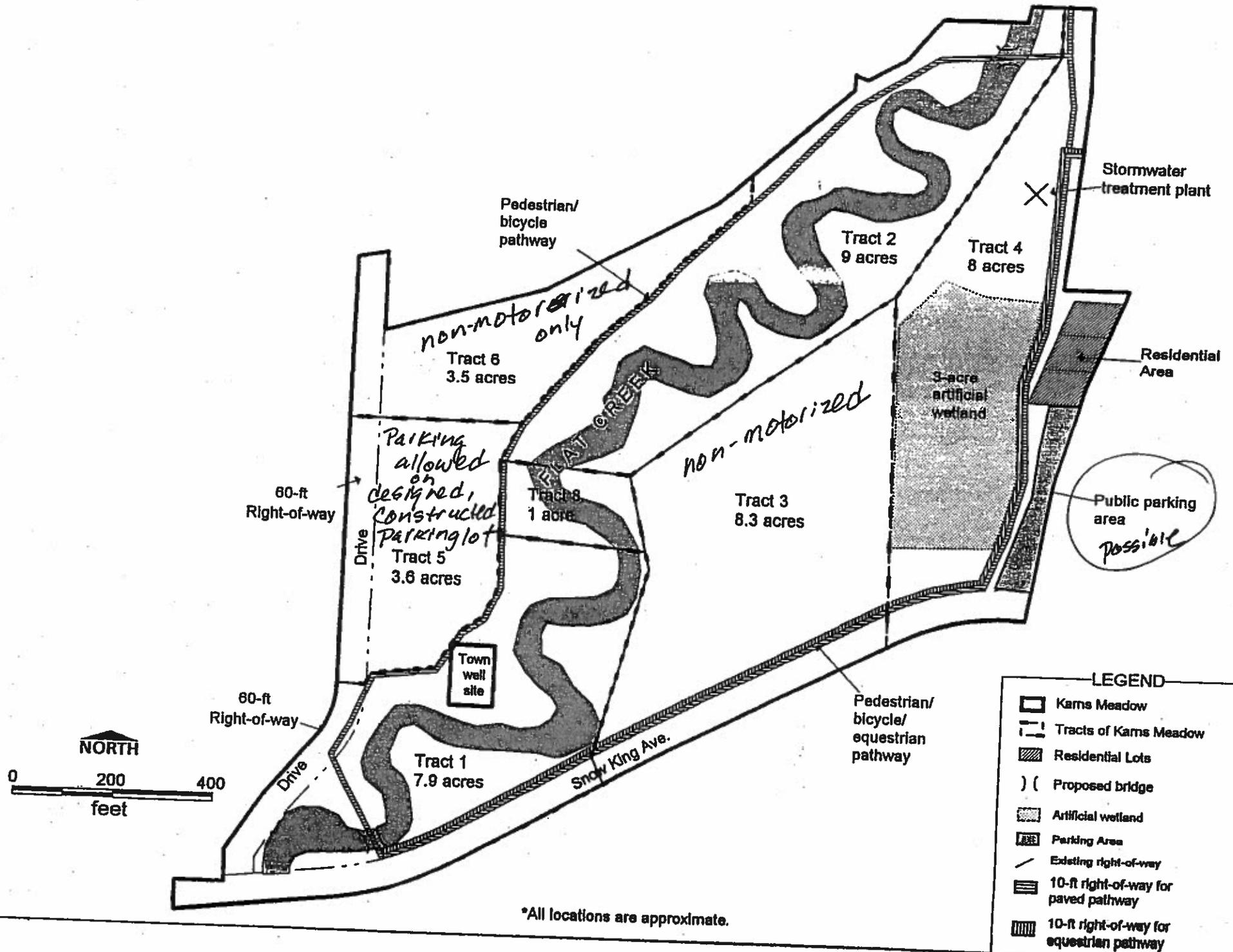


ALDER ENVIRONMENTAL, LLC

Land · Water · Wetlands Consulting

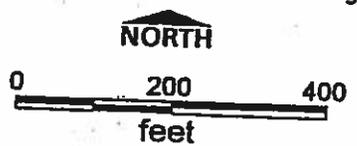
1915 Cinnamon Teal Road, Jackson, Wyoming 83001
(307) 690-3625 · www.alderenvironmental.com

EXHIBIT C*



LEGEND

- Kams Meadow
- Tracts of Kams Meadow
- Residential Lots
- Proposed bridge
- Artificial wetland
- Parking Area
- Existing right-of-way
- 10-ft right-of-way for paved pathway
- 10-ft right-of-way for equestrian pathway



*All locations are approximate.

Rec'd 2-5-18
Hand Delivered

February 4, 2018

SUBJECT: Karns Meadow - Various Project Components and Environmental Analysis

Dear Mayor Muldoon, Council Members, and Mr. McLarin,

My wife and I live at 530 West Hansen Avenue overlooking the open space of Tract 4 of the Karns Meadow. Our "voice" represents over 44 years of observing and appreciating the meadow. We believe though, you should consider the "voices" of the Jackson Hole Community and wildlife professionals to guide you if you proceed with an EA for the development of the Karns Meadow.

Voice of the Jackson Hole Community:

We're sure you will hear the voices of many individuals of the Jackson Hole community representing both sides of this issue. We posit the Vision Chapter of the Jackson, Teton County Comprehensive Plan, as expressed by joint Planning Commission Resolution 12-001, dated 02/09/2012 represents the real "voice of the community". Regarding wildlife on the Karns Meadow, this resolution states **"Ensure that wildlife is the priority over, rather than 'balanced with', recreational amenities"**.

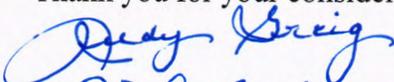
We note this resolution statement differs from that presented in the Jackson | Teton County Comprehensive Plan adopted April 2, 2012, just two months after the resolution. We don't believe the latter statement resulted from the proper process of involving public workshops, open houses, Planning Commissioner/Elected Officials workshops, and receipt of public comment used and resulting with Resolution 12-001.

Voice of Wildlife Professionals:

The Karns Meadow lies in the Natural Resource Overlay. The essence of the NRO is to provide protection to the most important and sensitive natural areas within the Town and County. Because of the dependence of wildlife on the meadow, we urge you to approve a comprehensive EA and also solicit input from professional wildlife organizations: Jackson Hole Wildlife Foundation, Jackson Hole Conservation Alliance, and Wyoming Game and Fish.

We hope the EA includes impacts of any/all of the proposed developments on wildlife based not just on the current buildout around the meadow but also for the expected buildout around the meadow in 10 years or so, including the Sagebursh Apartments, the proposed Town of Jackson residential projects on Tract 5 and at the Bus Barn property, and development in the proposed Karns Meadow Park.

Thank you for your consideration.




Judy and Dick Greig
530 West Hansen Avenue
Jackson, WY 83001
307-733-4183
rgreig@gmail.com

From: Loren Nelson
To: [Bob McLaurin](#); [Roxanne DeVries Robinson](#); [Town Council](#); [Pete Muldoon](#)
Subject: Karns Meadow Development Proposal
Date: Saturday, February 3, 2018 10:46:38 AM

Dear Mr. McLaurin, Mayor Muldoon, and Council Members -

On February 5 a proposal is before the Council to approve an Environmental Assessment for the development of Karns Meadow.

Karns Meadow is an environmentally sensitive parcel of land that is the single, last, natural, (almost) undeveloped land in central Jackson. It is the only remaining prime natural habitat that allows wildlife movement and migration between the national forest and East Gros Ventre Butte and the highway 22 corridor to Teton Pass. The land is essential to wildlife.

A proposal from the Jackson Hole Land Trust was made to the Parks and Rec Advisory Board in January to develop this land with a pathway, picnic grounds, rest rooms, shelters, and bridges over Flat Creek. The Board listened to the citizens of Jackson and **withdrew** from its long-range funding plan, money for architectural and engineering planning and for the proposed pathway until a comprehensive Environmental Assessment is completed and reviewed.

In our opinion, a mandatory, pre-development Environmental Assessment should not be approved because the development of this unique natural park should not be approved. Our concerns about the development proposal are several:

1. There is **no need** for another pathway through this natural park. There are existing pathways on all sides of Karns Meadow (Broadway, Snow King, Karns Road, and Flat Creek) and these pathways are mostly within 200 feet of the proposed pathway within the meadow.
2. There is **no public demand** for another pathway within this part of Jackson. The Parks & Rec planning document from July 2017 confirms public demand for more town pathways is low.
3. There is **no priority** for either a pathway or a picnic ground in Karns Meadow. This was also confirmed by Parks & Rec in the July 2017 planning document.
4. The land is **crucial wildlife habitat** and an increased presence of people in the *heart of the meadow* would be disruptive.
5. Development will cause **irreversible harm** to the habitat - once built, it will never be removed.

In the history of the west, our pioneers "circled their wagons" to keep threats from the center of their camps. The circular pathway proposed around the most sensitive parts of Karns Meadow will essentially keep wildlife from the meadow and irreversibly change the nature of this essential habitat.

We hope that you will reject the EA proposal for Karns Meadow because it is wasteful

and unnecessary - it should be obvious to anyone that this obtrusive pathway should not be built.

If you choose to proceed with an EA, we hope that it will be a true and robust, comprehensive assessment conducted over all seasons (winter, early spring, late spring, summer, early fall, and late fall) because the habitat and species change dramatically throughout the year and over several years because the wildlife needs change with the severity of our winters and the depth of the snow pack.

We believe there are several other development options that could make the Karns Meadow Park a unique visitor experience that, unlike the circular pathway proposal, would protect rather than harm the habitat and wildlife.

Thank you for considering our opinions.

Loren Nelson
Friends of Karns Meadow
445 Flat Creek Drive
Jackson, WY 83001
305-542-9038

From: Sandy Shuptrine
To: [Town Council](#)
Subject: Karns Meadow
Date: Tuesday, January 30, 2018 4:56:14 PM

Dear Mayor Muldoon and Council-

I am just getting tuned into the possibility that you may be addressing the Karns Meadow and a potential EA, this evening.

I am hoping the idea of FIRST doing a sensitive environmental design has reached you...it would go a long way toward a meaningful EA, it seems. I suggest reviewing a letter sent by Frances Clark on this matter I will attempt to copy it below.

With Regard,

Sandy Shuptrine
P.O. Box 1954
Jackson, WY 83001
(307) 733 6371
sandyshuptrine@wyom.net

January 10, 2018

Dear Park and Recreation Board Members,

It is with great concern that I read the article in the JH News & Guide about the plans for Karns Meadow. For much of my career, I developed stewardship and educational plans for similar-sized and situated conservation lands in New England. The current proposed plans are indeed appropriate for such an urban park. However, here in Jackson, such an amenity is unnecessary and destructive of the natural experience it wishes to promote. I urge you deny this project as it is presented.

In the densely populated region of the Northeastern U.S., such parks introduce people who have no other access to nature. A sight of a duck or a song of a bird are for many inner city residents and suburban school children a wonder. However, in Jackson we are surrounded by and have ready access to natural places and experiences that are the envy of the world. Indeed, the intense development of Karns Meadow will present a contrary lesson about nature than the project leaders intend. It will show visitors how we can out-right destroy and fragment wildlife habitat and disrupt their natural behaviors with unneeded recreational development and increased human noise, motion, and activity. This plan presents an urban/suburban amenity for one of the most natural communities in the U.S. It is unnecessary and poorly designed to meet the stated purposes.

Mr. Karns and family were most foresighted and generous with their gift of land with the added layer of protection in a conservation easement. The JH Land Trust is to be commended for their efforts to protect wildlife habitat, corridors, and agricultural lands in our midst. Indeed, I think we all appreciate their accomplishments. And it is important to follow the intent of the conservation easement. However, I suggest that the land trust redo this plan before asking for approval. Having not seen the restriction, I would encourage a de minimus vs. maximum approach to satisfy any easement requirements regarding recreational amenities. Where at all possible, it should recognize the current context of the property in the Town of Jackson and our much greater understanding of wildlife and wetlands values compared to decades ago when the easement was written. This plan can be much better and should not be approved as it is.

The following are my preliminary thoughts:

1. A thorough environmental assessment is necessary throughout the seasons, including wetland delineation, inventory of plants, birds, insects, mammals, and changes in seasonal uses. Ideally, this should be conducted for at least 2 years to obtain sufficient baseline data. For instance last year was a heavy snow year, this year a light snow year so far—wildlife reacts differently. All draft and final plans should wait upon this assessment. There are already some migration and bird banding data to help understand the dynamics of this site. A complete ecological assessment is invaluable not only to determine the best siting for required amenities, but also later to serve educational purposes.
2. A thorough site walk is essential for all staff and officials, as well as concerned citizens, before planning and decisions.
3. I have not walked the site myself; however, by looking at the plan, aerial photos, and newspaper article, a few points stand out:
 - a. Karn's Meadow protects the largest, broadest section of Flat Creek remaining within the confines of Jackson. It also appears to have several man-made wetlands in the southeast corner. Wetlands, even man-made ones, have particularly high ecological value. Karns Meadow serves as a valuable wetland wildlife habitat on its own and is a critical link to the rest of the creek. Creeks are essential wildlife corridors for myriad species from insects, fish, small mammals, and of course our mule deer and moose.
 - b. This property is the only relatively natural and safe area for wildlife to move through Jackson from the buttes on the north and forested slopes and ridge of the BTNF to the south. This linkage will be all the more important as the surrounding areas develop in the future and local mule deer and moose populations are further compromised.
 - c. It is well documented that mule deer come down from their winter habitat to this wetland for essential water, crossing Broadway regularly. The pathway enters right where I understand the mule deer access Karns Meadow at the NE corner. As planned, people will walk, bike, and ski past the houses (happy neighbors!) out into the open space, potentially surprising wildlife. This is not a good or safe coincidence. I recall this location is being considered for a protected wildlife corridor, even wildlife overpass.
 - d. The pathway as shown takes the longest route through the property – maximizing, instead of reducing, impacts. The constructed pathway itself and importantly the noise and motion of walkers, bicycles, and dogs cause both outright habitat destruction, as well as more subtle fragmentation. Wildlife seeking food and rest in the wetlands day or night are easily disturbed and will no longer come. This proposed plan diminishes wildlife habitat and also the opportunities to observe them.
 - e. The pathway runs adjacent to the most natural, sinuous parts of the wetland and crosses Flat Creek twice right where the mule deer are most likely to come through. By most wetland protection standards, the extent, proximity, and type of disturbance would not be allowed—especially when there are other alternatives. This lengthy route disrupts this essential wetland corridor, degrades habitat, and again scares away the wildlife that you wish people to enjoy.
 - f. Bike racks, tables, benches, trash cans, etc. are obstacles for wildlife. WGFD asks people to reduce these hazards in moose habitat elsewhere in the county. Picnic trash attracts everything from skunks and raccoons to bears, disrupting their diets and movement patterns. This is not a desirable nature lesson for visitors or for us residents.
 - g. I strongly question the need for the pathway, picnic, and other amenities given the many other opportunities in town, and indeed the National Forest, Elk Refuge, and National Park. The fairgrounds are to the east, there is no school nearby, and access to trails along the Flat Creek and to Josie's Ridge is within half a mile. Furthermore, the town already has an extensive system of bike routes and pathways, including a bike route flanking two sides of this property. While the town may try to regulate dogs and bicycles, this has proven difficult to impossible in existing

parks and pathways. I doubt these can be regulated here, adding to the degradation of this remaining habitat.

4. Alternatives: Using the information from the maps, I can see opportunities to provide the amenities described in the current plan and to minimize the impact to wildlife. (Again, an assessment is needed to determine the wildlife use of the different areas).

- Along the existing bike route on the south side of Karns Meadow e.g. Snow King Avenue, build out 2-3 viewing platforms with interpretation signs.
- If need be, provide a couple of small viewing platforms that overlook the wetland each with a single foot trail in and out. This would reduce the amount of pass-through traffic and provide a more tranquil and productive wildlife viewing opportunity. No bikes or dogs allowed.
- To reduce the impact to wildlife accessing the wetland corridor, if needed to meet the terms of the easement, place a short pathway through the southeast corner and offer an interpretive site and perhaps foot path adjacent to the man-made wetlands. The man-made wetlands could perhaps be enhanced and valuable lessons learned about the intricacies of wetlands and the difficulty of replicating them. This could be a model highway wetlands mitigation project.
- A picnic area and restroom with appropriate landscaping of native plants could also go in this southeast corner, to make full use of pathway and interpretation resource. This arrangement would serve as an amenity to the fairgrounds, could utilize the existing parking area, and perhaps meet the intention of the easement. In fact the restroom could possibly be built on the adjacent corner of the Fairgrounds by the parking lot.
- Whatever the amenity and uses, restrict/prohibit use at night and early morning and evenings, especially in winter when wildlife need the space the most. Prohibit dogs completely (unless there is an existing disturbed area that could be fenced away from the wetland), bicycles, and skiers at all times. No night lights. Design for tranquil viewing with narrow unpaved paths and small platforms if necessary to get closer to the wetland.
- In sum to meet the requirements of the easement, provide a few quality viewing stations, use the most disturbed parts of the property for amenities, and minimize the length of the pathway and its uses.

I understand that the Friends of Pathways has a grant from WYDOT for this project and, therefore, likely wants to complete this project quickly. It is unfortunate that the wider community—particularly the conservation community—was not brought into the conversation for their expertise before proposing such a grant. The funds should not drive the final plan or decision. Any plan should include a thorough environmental assessment and incorporate broader community values of protecting wildlife and wildlife education. Friends of Pathway and the town have provided a significant amenity already with bikeways adjacent to Karns Meadow and pathways throughout Jackson. If absolutely necessary to utilize the funds for pathway, they could construct the pathway along Snow King Avenue to replace the bike-way, instead of intruding into Karns Meadow. We do not need new routes through Karns Meadow.

JHLT and Pathways should come back with a plan that maintains vital wildlife corridors, minimizes wetland habitat disturbance, and provides some educational opportunities and compatible recreation within the heart of Jackson.

Please deny the plan as presented. A complete ecological assessment and redesigned plan are necessary before taking any step forward.

Thank you for your consideration of my comments

Frances Clark

From: Dave Mills
To: info@jhlandtrust.org
Cc: jake.shjh@gmail.com; Pete Muldoon
Subject: Energize Karns Meadow
Date: Monday, January 29, 2018 5:32:22 PM

Hello,

I've lived here just over seven years, and I've always admired and appreciated the work you do. And I've always thought that the folks at Save Historic Jackson Hole were a bit too stodgy, too old-fashioned, too cowboy.

Until now.

If Save Historic Jackson Hole has quoted you correctly, what in the world do you mean by "Energize Karns Meadow into a natural park"? What kind of bureaucratic nonsense is that? SHJH calls it "gobbledegook," and I'd agree completely.

Sorry, you've lost my admiration,

Dave Mills
325 Pine Drive (near Karns Meadow)
Jackson

(For the record, I urge you to leave what's left of Karns Meadow alone. The town's already damaged it enough. It doesn't need you *and* the town to make it worse.)

From: petekarns@bresnan.net
To: [Town Council](#)
Subject: Karns Meadow
Date: Monday, January 29, 2018 12:20:44 PM
Attachments: [Karns Meadow guest shot.docx](#)

Mayor and Council, Since the Karns Meadow master plan has gotten off track, I thought that you needed to hear from the Karns family. This letter may also end up as a Guest Shot in the JH News and Guide. Pete Karns

From: kirk Stone
To: [Town Council](#)
Subject: Karn"s Meadow
Date: Friday, January 26, 2018 11:20:25 AM

Dear Jackson,

I am appalled.

The Karn's meadow is a natural park. The fact that the town of Jackson and the Land Trust don't know about natural wetlands shows how uneducated they are.

My mother-in-law's house is on the dead in of west Kelly Avenue. We have watched the wonders of a natural wet land habitat for years.

The Karns family gave this park not only to this generation but intended it for their grandchildren, my grandchildren, your grandchildren and generations to come. How dare the elected officials take the only natural park that the town has and put pavilions, park benches and pathways there?

I'm a trail person myself, so it pisses me off when my tax dollars go to a pathway. You do not need to ride your bicycle through a natural wetland habitat. Either ride around it or park your bike and walk down there and enjoy it.

If you need park benches, bike racks, and gazebos you need to go back to the city. They even have parking meters. You can enjoy that too.

Sincerely

Cindy Hill Stone

Bx 1865 83001

307-690-6654

From: Joy Watson
To: [Town Council](#)
Subject: Karns Meadow
Date: Sunday, January 7, 2018 10:39:05 AM

Hello fellow Jackson-ites

This letter is to address my concern over development of the Karns Meadow from a natural shielded preserve into a people friendly environment.

We are talking about enticing people at the expense of loosing forever one of the last semi natural areas in the middle of Jackson.

I live right on the meadow and know first hand that we have many of our animal friends who also call that open, well brushed and grassed area "Home."

All of whom live very stably and securely in an area because very few people venture to disrupt them.

Last summer we had a very active dawn and dusk migrate mule deer herd family consisting of 2 adult and 3 adolescent,

along with fox, and in the Winter, moose and others make themselves seen.

I sited two Sand Hill Cranes last early summer stopping by.

Certainly we all know, you do not see Sandy Hill Cranes stopping by in peopled areas, they seek safe and remote locations to set down..

Already we saw the beginnings of several groups and tours from the new small foot bridge that was recently put behind Hoback/Staples/DollarTree complex.

Each group talking loudly and stomping down the grasses, wandering the meadow, picking grasses, all in the name of science and recreation.

The idea of lights in an area as natural as Karns meadow is particularly painful and disruptive.

This small protected area in the heart of Jackson provides the walkway between the mountains on the south of town, connecting from the north of Snow King, through behind Karns Hillside, Hidden Ranches on down past Horse Thief Canyon

to the western lands on the other side of Broadway leading across the Gross Ventres.

Please do not take away yet another small corridor...

We allowed the alternation of a major corridor with the building of the Teton Science School, and now with the urbanization of the Forestry property north of town,

must we loose yet another migration route and habitat to people usage valued over animal life and migration routes?

Please do not add yet another place that values people more than what our Master Plan says we in Jackson value: our wildlife, our connection with the animals..

Don't you think we have done that almost to the point of negating our very own intents?

It feels more and more like the old saying: "cutting off your nose despite your face" syndrome.

Thank you kindly for your consideration of allowing Karns Meadow to remain a habitat for nature, over a pedestrian walkway and people playground.

Sincerely,
Joy Watson

From: Franz Camenzind
To: [Steve Ashworth](#)
Cc: laurie@jhlandtrust.org; [Brian Schilling](#); [County Commissioners](#); [Town Council](#)
Subject: Karns Meadow
Date: Friday, January 5, 2018 12:04:10 PM

Dear Steve,

I am writing in regard to the planning for Karns Meadow. From what I am able to gather, significant decisions regarding the future of Karns Meadow may soon be made by the Parks and Recreation Advisory Board. If this is correct, I would appreciate clarification on a few questions and concerns. First, what are the current recommendations if any, for the future use of the Meadows? Second, how will the public be involved in the final decision making process—will there be a series of workshops or public meetings where concerns and recommendations can be brought to the process and addressed? What is the data set and support materials used for the current recommendations, and are, or how are these materials being made available for public review? And, what is the estimated time-line for this process and final decision?

I apologize for asking so many questions, but I feel that the 41-acre Karns Meadow is one of the most environmentally rich and critical pieces of habitat on the “East Bank” whose future is yet to be determined. And it certainly is, or is even more important than the 20-plus acre hill side and willow bottom property along Flat Creek and the Garaman Pathway (west end of Snow King) which the Town and the Land Trust recently acquired and manages for its wildlife and environmental value- which includes limiting human entry.

I mention this because, depending on the response to the above questions, I strongly recommend that before any final decision is made that a comprehensive environmental analysis be made on the Karns Meadow property. This should include vegetation mapping and a wildlife inventory including waterfowl and aquatic and fisheries analysis. And this analysis should include data collection from all seasons and for more than one year as weather conditions can dictate how this area functions environmentally and specifically for wildlife. We have known for decades that this meadow functions both as destination habitat and as a critical connection corridor between Snow King to the south, and East Gros Ventre Butte to the north. And we know that it is during the most severe winters that wildlife, particularly deer and moose depend most upon this meadow for refuge, seclusion and nutrition. This winter for example, is not typical and data collected now may not be indicative of long-term wildlife use.

In my years of conducting environmental analysis and wildlife inventories in the valley and the region, I have come to conclude that more data collected over a greater time supports better decisions.

And, how Karns Meadow functioned environmentally and specifically for wildlife ten or twenty years ago may be very different today simply because the use of the surrounding properties has changed dramatically. Before any irrevocable decisions are made, we must have the best information at hand, we need to respect the first-hand knowledge and the desires of the citizens of this community, and we must have an open, thorough and transparent process. Doing so should yield the best decision and the most defensible decision.

The very first sentence in the first page of the Comprehensive Plan begins with this visionary sentence: “***Preserve and protect the area’s ecosystem in order to ensure a healthy environment, community and economy for current and future generations.***” Will we as a

community apply this vision, this value statement to the future condition of one of the most environmentally diverse and important habitats remaining in the area– the Karns Meadow? I hope we do.

Steve, thank you for your commitment and dedication to making Teton County the best of what is left of the west.

Sincerely,
Franz Camenzind Ph.D
Jackson
733 6806
fcamenzi@wyoming.com

CC: B. Schilling Pathways Coordinator
L. Andrews President, JH Land Trust
Teton County Commissioners
Town of Jackson Council

From: Loren Nelson
To: [Town Council](#)
Subject: 2018 Karns Meadow development project
Date: Wednesday, December 27, 2017 10:12:45 AM
Attachments: [Muldoon-Council letter 1.docx](#)

Dear Mayor Muldoon and Council members -

Attached is a letter sent today via post regarding the plan of the Jackson Hole Land Trust and the Jackson/Teton County Parks and Recreation to start development in Karns Meadow in 2018.

We believe that creation of a pathway that will certainly bring many people into the heart of the meadow will disrupt crucial wildlife habitat and the major migration pathway through central Jackson. We believe the pathway is no longer necessary and there are several good alternatives to respect the wishes of the Karns family to allow many people to enjoy this pristine and (almost) undeveloped treasure in the town's center.

Thank you for looking into this development plan and considering other alternative that will protect our wildlife.

Loren Nelson & Nancy St. Clair
445 Flat Creek Drive
PO Box 3999
Jackson, WY 83001
305-542-9038

Feb 2, 2018

Town Council,

Short and sweet - Once the property is developed it will never be returned to nature. The wild life will never return to this area.

Park and Rec said they do not need another developed park in Jackson. I hope the town Council feels the same.

Nancy StClow

Rec'd 2-5-18
1:34 PM

From: Vance Carruth
To: [Roxanne DeVries Robinson](#); [Pete Muldoon](#); [Town Council](#)
Subject: Karns meadow development
Date: Monday, February 5, 2018 11:54:37 AM

February 5, 2018

Dear Mayor Muldoon and Members of the Jackson Town Council ,

I am writing you on behalf of my wife, Ann Carruth, and myself regarding future development within the Karns Meadow. My wife and I have been year round Teton County residents since 1972, and I have been here seasonally since the summer of 1963. One, or both of us, has lived in Jackson, Moose, Kelly, Wilson and in Park Housing within Grand Teton National Park in a number of different locations throughout the Park. We both worked many years in Teton County School District #1 as teachers at Jackson Hole High School, Middle School, and Jr. High School. I worked as a seasonal Park Naturalist for 7 summers in GTNP during the 1970's and we are both avid wildlife and environmental advocates.

For these reasons and my recent interest and involvement in the development of Wildlife Crossings for Jackson Hole, my wife and I would like to urge you to postpone any decisions regarding approving the development of any kind of recreational or physical changes to the public space that currently is undeveloped in Karns Meadow. The meadow has served as a refuge of safety for wildlife, birds and many plant species that make up this one last vestige of wild lands in the heart of the Town of Jackson. Installing yet another bike path or equestrian trail that would serve to disrupt and disturb the wildlife that currently lives in, or visits this wetlands habitat, would unavoidably force many of our wild neighbors to vacate this peaceful and little disturbed environment. Once human activities intrude on the wild character and values we judge as being top priorities that are pointed out in our Teton County Comprehensive Plan and Vision Statement, the future for wildlife would be irrevocably lost. As my dear departed friend and mentor, Mardy Murie, stated to me many times, "Once it's gone, it's gone forever".

Within the developed boundaries of the Town of Jackson we already have many parks and pathways, two of which parallel in close proximity on both the north and the south sides of the meadow. We have already developed and provided an extensive pathways system for public use, both within and outside the larger community as well as within the town. There are even more spaces that are open to public use by any number of outdoor enthusiasts.

Can we not save this one wild space within the town, leave it in its natural state, and keep our domestic pets and other domesticated animals confined to other spaces where they do no harm? We implore you to urge a thorough environmental assessment be done on this property prior to considering any developmental plans that would encircle and disturb, or disrupt, the wildlife or wetlands character of this remarkable wild place that currently is used by so many wild creatures. Those who wish to observe them at a distance that doesn't threaten or disturb them will

continue to be possible without disturbance of this wild space in the midst of the town of Jackson .

Finally, need we remind you that the economy of this town was built upon the desire of visitors to come here BECAUSE of the beauty of the landscapes that surround us and the wildlife that resides here? Keep it wild and they will continue to come, and we will teach them, by our own example, how to live in harmony with the natural world around them when they go home! Being good stewards of our environment has long lasting rewards for future generations who are depending on us to pass those values onto them.

You can ride a horse in any number of places outside this small jewel of a meadow; you can ride a bike on any of the miles of pathways that exist in Jackson Hole; likewise, you can cross country ski in many areas both in and outside the town of Jackson, but there is only ONE Karns Meadow where wildlife now lives relatively undisturbed and it is a beautiful thing to observe from a relatively close distance! In the longview history of our community, we believe, even the Karns family will one day come to recognize the value of keeping this space wild for future generations that, even 15 years ago, they may not have recognized just how far we would have come in providing the kinds of facilities and activities they envisioned for this area. We will be forever grateful for their generosity in preserving this wildlife habitat for wildlife. Today, the value of wild lands in the heart of Jackson are priceless. Please help us keep Karns Meadow wild!

Sincerely,

Vance Carruth

P.O. Box 7036

Jackson, Wyoming 83002

Founder of the original Safe Wildlife Crossings For Jackson Hole

Founder of Inspired Citizen Advocates For The Murie Legacy



TOWN OF JACKSON

TOWN COUNCIL

AGENDA DOCUMENTATION

PREPARATION DATE: February 1, 2018
MEETING DATE: February 6, 2018

SUBMITTING DEPARTMENT: Finance
DEPARTMENT DIRECTOR: Kelly Thompson
PRESENTER: Kelly Thompson, Finance Director

SUBJECT: Amendment #2 to Fiscal Year 2018 Budget

STATEMENT/PURPOSE

A resolution adopting amendments to the Town of Jackson's fiscal year 2018 budget.

BACKGROUND/ALTERNATIVES

The attached resolution proposes modifications to the Town's current FY 2018 budget. The resolution represents the 2018 adopted budget divided into budget divisions (Mayor & Council, Municipal Judge, Town Attorney, etc.). Budget carryovers from FY2017 include \$214,668 for CNG Facility and \$155,276 for Highway 22 sidewalk, water and sewer improvements.

ATTACHMENTS

- Resolution 18-03 adopting amendments to the Fiscal Year 2018 Budget.
- Exhibit A – Schedule of Increases/Decreases.

ALIGNMENT WITH COUNCIL'S STRATEGIC INTENT

The annual adoption of the fiscal year budget, and subsequent amendments, are critical to the Town's ability to accomplish its purpose and mission. The budget is a vehicle for the Council to address each Strategic Intent.

FISCAL IMPACT

The proposed budget adjustments in the attached resolution include only the updates where current division estimates vary *significantly* from current budget. The proposed budget adjustments do not address small and relatively immaterial variances between expectations and budget.

STAFF IMPACT

The staff impact of the Council's adoption of this amendment is positive, in that it will allow staff to continue with the work programs requested by Council during the formulation of the budget.

LEGAL REVIEW

N/A

RECOMMENDATION

Staff recommends that the Mayor & Council approve the attached resolution.

SUGGESTED MOTION

I move to approve the resolution adopting amendments to the fiscal year 2018 budget.

RESOLUTION 18-03

**A RESOLUTION ADOPTING AMENDMENTS TO THE FISCAL YEAR 2018 BUDGET
OF THE TOWN OF JACKSON.**

WHEREAS, pursuant to Wyoming Statutes, the governing body of the Town of Jackson is empowered to control the finances of the Town including adopting and amending the annual budget; and

WHEREAS, the specific statutory requirements for budgeting procedures are stipulated in the Uniform Municipal Fiscal Procedures Act (W.S. 16-4-101 through 16-4-124); and

NOW THEREFORE BE IT RESOLVED by the Town Council of the Town of Jackson that the fiscal year 2018 budget is hereby amended as follows:

EXPENDITURES AND OTHER USES	Approved Budget	Increase (Decrease)	Amended Budget
Mayor & Town Council	303,908	-	303,908
Town Attorney	421,796	-	421,796
Municipal Judge	262,218	-	262,218
Administration	324,654	-	324,654
Town Clerk & Personnel	577,807	-	577,807
Finance	547,520	1,312	548,832
Planning	914,712	6,090	920,802
Information Technology	508,781	-	508,781
Town-Wide Services	218,347	-	218,347
Town Hall Building	178,049	-	178,049
PD Administration	519,835	-	519,835
PD Investigation	396,665	-	396,665
PD Patrol	2,895,322	-	2,895,322
PD Community Service	518,074	-	518,074
PD Special Operations	21,706	-	21,706
Building Inspections	366,635	-	366,635
Victim Services	239,960	-	239,960
Animal Shelter/Control	258,378	-	258,378
Public Works Administration	257,645	-	257,645
Streets	1,691,453	-	1,691,453
Town Engineer	473,667	-	473,667
Public Works Yard Operations	180,734	-	180,734
Public garage Operations	88,410	-	88,410
Cemetery	41,570	-	41,570
Social Services	675,838	-	675,838
Sports and Events Center	114,763	-	114,763
Public Amenities	101,080	-	101,080
Community Promotions	246,825	-	246,825
County-Budgeted Joint Programs	2,884,218	-	2,884,218
Transfers Out	4,633,415	-	4,633,415
Total General Fund	<u><u>20,863,985</u></u>	<u><u>7,402</u></u>	<u><u>20,871,387</u></u>
Affordable Housing	<u>1,207,409</u>	<u>-</u>	<u>1,207,409</u>
Total Affordable Housing Fund	<u><u>1,207,409</u></u>	<u><u>-</u></u>	<u><u>1,207,409</u></u>
Parking Exactions Fund	<u>-</u>	<u>-</u>	<u>-</u>
Total Parking Exactions Fund	<u><u>-</u></u>	<u><u>-</u></u>	<u><u>-</u></u>
Parks Exactions	<u>-</u>	<u>9,706</u>	<u>9,706</u>
Total Park Exactions	<u><u>-</u></u>	<u><u>9,706</u></u>	<u><u>9,706</u></u>
Employee Housing Fund	<u>901,197</u>	<u>-</u>	<u>901,197</u>
Total Employee Housing Fund	<u><u>901,197</u></u>	<u><u>-</u></u>	<u><u>901,197</u></u>
Animal Care Fund	<u>35,500</u>	<u>-</u>	<u>35,500</u>
Transfers Out	<u>60,000</u>	<u>-</u>	<u>60,000</u>
Total Animal Care Fund	<u><u>95,500</u></u>	<u><u>-</u></u>	<u><u>95,500</u></u>
Lodging Tax Fund	<u>354,002</u>	<u>-</u>	<u>354,002</u>
Transfers Out	<u>377,801</u>	<u>-</u>	<u>377,801</u>
Total Lodging Tax Fund	<u><u>731,803</u></u>	<u><u>-</u></u>	<u><u>731,803</u></u>

Expenditures and Other Uses	Approved Budget	Increase (Decrease)	Amended Budget
Vertical Harvest Fund	15,000		15,000
Total Vertical Harvest Fund	<u>15,000</u>	<u>-</u>	<u>15,000</u>
Snow King-Snow Making Fund	52,552		52,552
Total Snow King-Snow Making Fund	<u>52,552</u>	<u>-</u>	<u>52,552</u>
START Administration	598,556	-	598,556
START Operations	3,458,493	-	3,458,493
START Capital	2,401,250	-	2,401,250
START Indirect Cost Allocations	52,617	-	52,617
Total START Fund Expenditures	<u>6,510,916</u>	<u>-</u>	<u>6,510,916</u>
Capital Outlay	5,706,348	105,939	5,812,287
Total Capital Projects Fund	<u>5,706,348</u>	<u>105,939</u>	<u>5,812,287</u>
Capital Outlay	35,000	-	35,000
Total 2006 SPET	<u>35,000</u>	<u>-</u>	<u>35,000</u>
Capital Outlay	1,310,933	214,668	1,525,601
Total 2010 SPET	<u>1,310,933</u>	<u>214,668</u>	<u>1,525,601</u>
Capital Outlay	1,365,000	-	1,365,000
Total 2014 SPET	<u>1,365,000</u>	<u>-</u>	<u>1,365,000</u>
Capital Outlay	7,478,268	-	7,478,268
Total 2016 SPET	<u>7,478,268</u>	<u>-</u>	<u>7,478,268</u>
Capital Outlay	2,901,000	-	2,901,000
Total 2017 SPET	<u>2,901,000</u>	<u>-</u>	<u>2,901,000</u>
Water Maintenance & Operation	743,642	-	743,642
Water Wells	249,135	-	249,135
Water Billing & Accounting	165,148	-	165,148
Water Capital Outlay & Improvements	1,035,000	-	1,035,000
Water Loan Expenditures	108,220	8,977	117,197
Water Transfers Out	488,734	-	488,734
Sewage Plant Operations	835,875	-	835,875
Sewage Maint. & Operations	348,791	-	348,791
Sewage Billing & Accounting	164,640	-	164,640
Sewage Capital Outlay & Improvements	3,470,792	48,064	3,518,856
Sewage Transfers Out	488,734	-	488,734
Total Enterprise Funds	<u>8,098,711</u>	<u>57,041</u>	<u>8,155,752</u>
Employee Insurance	2,308,300	-	2,308,300
Total Insurance Fund	<u>2,308,300</u>	<u>-</u>	<u>2,308,300</u>
Fleet Expenditures	1,928,955	4,167	1,933,122
Total Fleet Management Fund	<u>1,928,955</u>	<u>4,167</u>	<u>1,933,122</u>
Central Equipment Expenses	958,500		958,500
Transfers Out	-	13,129	
Total Central Equipment Fund	<u>958,500</u>	<u>13,129</u>	<u>958,500</u>
IT Services	824,677	-	824,677
Total IT Service Fund	<u>824,677</u>	<u>-</u>	<u>824,677</u>

REVENUES AND OTHER SOURCES	Approved Budget	Increase (Decrease)	Amended Budget
Taxes	7,121,392	-	7,121,392
Licenses & Permits	888,600	-	888,600
Intergovernmental Revenue	9,751,432	-	9,751,432
Charges for Services	641,273	-	641,273
Fines & Forfeitures	403,194	-	403,194
Miscellaneous Revenue	145,757	-	145,757
Transfers In	1,090,085	-	1,090,085
Total General Fund	20,041,733	-	20,041,733
Licenses & Permits	30,000	-	30,000
Miscellaneous Revenue	10,000	-	
Transfers In	1,182,409	-	1,182,409
Total Affordable Housing Fund	1,222,409	-	1,222,409
Licenses & Permits	1,000	-	1,000
Miscellaneous Revenue	200	-	200
Total Parking Exactions	1,200	-	1,200
Licenses & Permits	10,000	-	10,000
Miscellaneous Revenue	100	-	100
Total Park Exactions	10,100	-	10,100
Miscellaneous Revenue	200,860	-	200,860
Transfers In	300,000	-	300,000
Total Employee Housing Fund	500,860	-	500,860
Miscellaneous Revenue	70,600	-	70,600
Total Animal Care Fund	70,600	-	70,600
Taxes	731,603	-	731,603
Miscellaneous Revenue	200	-	200
Total Lodging Tax Fund	731,803	-	731,803
Contributions & Donations	27,200	-	27,200
Total Vertical Harvest Fund	27,200	-	27,200
Contributions & Donations	52,752	-	52,752
Total Snow King Snow Making Fund	52,752	-	52,752
Intergovernmental Revenue	4,385,326	-	4,385,326
Charges for Services	1,278,376	-	1,278,376
Miscellaneous Revenue	4,500	-	4,500
Transfers In	377,801	-	377,801
Total START Fund Revenues	6,046,003	-	6,046,003
Intergovernmental	1,928,424	-	1,928,424
Miscellaneous Revenue	27,200	-	27,200
Transfers In	3,151,006	-	3,151,006
Total Capital Projects Fund	5,106,630	-	5,106,630
Miscellaneous Revenue	1,100	-	1,100
Total 2006 SPET	1,100	-	1,100
Miscellaneous Revenue	5,200	-	5,200
Total 2010 SPET	5,200	-	5,200
Taxes	-	-	-
Miscellaneous	13,800	-	13,800
Total 2014 SPET	13,800	-	13,800
Taxes	2,154,000	-	2,154,000
Miscellaneous	30,000	-	30,000
Total 2016 SPET	2,184,000	-	2,184,000
Taxes	2,900,000	-	2,900,000
Miscellaneous	1,000	-	1,000
Total 2017 SPET	2,901,000	-	2,901,000

REVENUES AND OTHER SOURCES	Approved Budget	Increase (Decrease)	Amended Budget
Water Charges for Services	2,425,759	-	2,425,759
Water Miscellaneous	21,000	-	21,000
Sewage Charges for Services	3,632,069	-	3,632,069
Sewage Miscellaneous	20,000	-	20,000
Total Enterprise Funds	6,098,828	-	6,098,828
Charges for Services	2,507,117	-	2,507,117
Miscellaneous Revenue	2,500	-	2,500
Total Employee Insurance Fund	2,509,617	-	2,509,617
Charges for Services	1,981,120	-	1,981,120
Miscellaneous Revenue	500	-	500
Transfers In	-	-	-
Total Fleet Management Fund	1,981,620	-	1,981,620
Charges for Services	433,700	-	433,700
Miscellaneous Revenue	129,500	-	129,500
Total Central Equipment Fund	563,200	-	563,200
Charges for Services	680,757	-	680,757
Miscellaneous Revenue	200	-	200
Transfers In	-	-	-
Total IT Service Fund	680,957	-	680,957

CHANGE OF FUND BALANCE	Approved Budget	Increase (Decrease)	Amended Budget
General Fund	(822,252)	(7,402)	(829,654)
Affordable Housing	15,000	-	15,000
Parking Exactions Fund	1,200	-	1,200
Park Exactions Fund	10,100	(9,706)	394
Employee Housing Fund	(400,337)	-	(400,337)
Vertical Harvest Fund	12,200	-	12,200
Snow Making Fund	200	-	200
Animal Care Fund	(24,900)	-	(24,900)
Lodging Tax Fund	-	-	-
Start Fund	(464,913)	-	(464,913)
Capital Projects	(599,718)	(105,939)	(705,657)
2006 SPET	(33,900)	-	(33,900)
2010 SPET	(1,305,733)	(214,668)	(1,520,401)
2014 SPET	(1,351,200)	-	(1,351,200)
2016 SPET	(5,294,268)	-	(5,294,268)
Enterprise Funds	(1,999,883)	(57,041)	(2,056,924)
Employee Insurance Fund	201,317	-	201,317
Fleet Management Fund	52,665	(4,167)	48,498
Central Equipment Fund	(395,300)	(13,129)	(408,429)
IT Services Fund	(143,720)	-	(143,720)

PASSED, APPROVED, & ADOPTED this 6th day of February, 2018

Town of Jackson

**By: _____
Pete Muldoon
Mayor**

ATTEST:

**By: _____
Sandy Birdyshaw
Town Clerk**

Exhibit A -Schedule of Increases\Decreases

General Fund Expenditures and Other Uses		
Finance		
Liability Insurance	1,312	Adjust for Insurance Premiums
Planning		
Salaries & Wages - Part-Time	6,090	Approved 30 hours Part-Time Staff at 8/7/17 Council Meeting
Total General Fund	<u><u>7,402</u></u>	
Special Revenue Fund Expenditures and Other Uses		
Parks Exactions Fund		
May Park - Phase II	9,706	Park Signage
Total Special Revenue Fund	<u><u>9,706</u></u>	
Capital Project Fund Expenditures and Other Uses		
Capital Projects Fund		
Highway 22 - Sidewalk Improvement	105,939	Capital Project Budget Rollover from FY2017, reclass to proper accounts
2010 SPET Fund		
Airport Lighting	20,515	Reallocation
Energy Efficiency Projects	(20,515)	Reallocation
CNG Station	214,668	Capital Project Budget Rollover from FY2017
Total Capital Projects Fund	<u><u>320,607</u></u>	
Water Fund Expenditures and Other Uses		
Water Capital Outlay		
Highway 22 (Westview Townhomes)	8,977	Capital Project Budget Rollover from FY2017, reclass to proper accounts
Total Water Fund	<u><u>8,977</u></u>	
Sewer Fund Expenditures and Other Uses		
Sewer Capital Outlay		
Hwy 22 (Westview & JH Air)	40,360	Capital Project Budget Rollover from FY2017, reclass to proper accounts
Teton Meadow Sewer Improvement	7,704	Exceeded budget
Total Sewage Fund	<u><u>48,064</u></u>	
Internal Service Fund Expenditures and Other Uses		
Fleet Management Fund		
Overtime	4,167	Eclipse Staffing
Central Equipment Fund		
Snow Plow with Sander	13,129	Exceeded budget
Total Internal Service Fund	<u><u>17,296</u></u>	
Total Expenditures and Other Uses	<u><u>412,052</u></u>	
Total Revenues and Other Sources	<u><u>-</u></u>	



TOWN OF JACKSON TOWN COUNCIL AGENDA DOCUMENTATION

PREPARATION DATE: February 1, 2018
MEETING DATE: February 5, 2018

SUBMITTING DEPARTMENT: Mayor and Council
PRESENTER: Roxanne Robinson, Assistant Town Manager

SUBJECT: Bike Conference Sponsorship

STATEMENT/PURPOSE

Jim Stanford requested this item be placed on the agenda to determine whether the Town Council was interested in providing a one-time funding contribution for Wyoming's Bike Walk Trails Summit being held in Jackson.

BACKGROUND/ALTERNATIVES

Tim Young is requesting funding support to host Wyoming's Bike Walk Trails Summit in Jackson from May 21 – 23 at Snow King Resort. Jim Stanford has more information regarding the specifics of the request. The flier for the conference is attached to this staff report. The Town budgeted \$500 in the Local Promotion line item for items that may come up during the year not already specifically identified. If the Council wanted to provide additional funding over the \$500, they could direct staff to include the additional funds in the next budget amendment for FY18.

Staff recommends the Council hear information from Jim Stanford about the request and determine whether they would like to provide funding support.

The Town Council has many options, several are listed below:

1. Direct staff to provide funding for the conference from the Community Promotion/Local Promotion line item in the amount of \$_____ upon receipt of a voucher for this purpose and direct staff to include the additional funds in the next budget amendment for FY18.
2. Consider the request, make a motion in favor, and vote against the motion.
3. Take no action at this time.
4. Other.

STAKEHOLDER ANALYSIS

Stakeholders include local and visitor attendees of the conference.

ATTACHMENTS

Conference Flier.

FISCAL IMPACT

The fiscal impact would depend on the amount funded by the Town Council.

STAFF IMPACT

There would be minimal staff impact and it would involve processing a voucher for payment.

LEGAL REVIEW

The Town Attorney verbally indicated this item would not require a contract for services.

RECOMMENDATION

Staff makes no recommendation.

SUGGESTED MOTION

Should the Town Council wish to provide one time funding, a possible motion would be:

I move to direct staff to provide funding for the conference from the Community Promotion/Local Promotion line item in the amount of \$_____ upon receipt of a voucher for this purpose and direct staff to include the additional funds in the next budget amendment for FY18.

Synopsis for PowerPoint (120 words max):

Background:

Jim Stanford requested this item be placed on the agenda to determine whether the Town Council was interested in providing a one-time funding contribution for Wyoming's Bike Walk Trails Summit being held in Jackson.

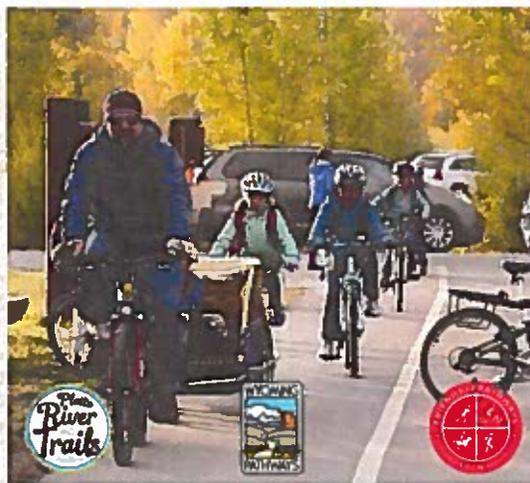
**WYOMING PATHWAYS, PLATTE RIVER
TRAILS & FRIENDS OF PATHWAYS**

present the 2018



**BIKE | WALK | TRAILS
SUMMIT**

Pathways to Prosperous Communities



SAVE THE DATE

May 21 - 23, 2018
Snow King Resort, Jackson, WY

JOIN US IN JACKSON HOLE THIS SPRING FOR WYOMING'S STATE SUMMIT ON BICYCLING AND WALKING

WHO SHOULD ATTEND

Elected Leaders, Transportation & Recreation Leaders, Public Health Practitioners, Tourism Professionals, Engineers, and Biking, Walking, & Trail Advocates around Wyoming.

BRING HOME A PLAN

Community "learning teams" encouraged - Bring your team of elected, transportation, recreation, business, and public health members, and kick start your community.

LEARN FROM OTHERS

Expert panel discussions focused on developing active & healthy communities. Wyoming community success stories in our "PechaKucha" (12 slides in 6 minutes) - fast-paced, fun, and engaging presentations delivering powerful lessons.

EARN CE CREDITS

16 hours of Continuing Education Credits available to summit attendees.

KEYNOTE SPEAKERS AND PRESENTERS

Dan Burden, Director of Innovation and Inspiration at Blue Zones, Joe Gilpin, Vice President, Alta Planning+Design, Community Builders and MobyCon

View event details, learn about scholarship and sponsorship opportunities and register early for special savings:

www.wyopath.org/summit

Reserve rooms now for special rates at the Snow King Resort:

www.wyopath.org/summit-reservations



SCHOLARSHIP OPPORTUNITIES AVAILABLE

Apply at: **www.wyopath.org/summit-scholarships**

Questions? Contact us at summit@wyopath.org or 307-316-2532



TOWN OF JACKSON TOWN COUNCIL AGENDA DOCUMENTATION

PREPARATION DATE: February 1, 2018

MEETING DATE: February 5, 2018

SUBMITTING DEPARTMENT: Mayor and Council

PRESENTER: Roxanne Robinson, Assistant Town Manager

SUBJECT: Lodging Tax Educational Campaign

STATEMENT/PURPOSE

Hailey Morton Levinson requested this item be placed on the agenda to determine whether the Town Council would support matching Teton County's investment in an educational campaign for the Lodging Tax.

BACKGROUND/ALTERNATIVES

Local government is able to expend funds to educate the public about issues before them on the ballot. Advocacy by local government is not appropriate or allowed, but it is prudent to make an effort to educate our voters so that they can make an informed decision about issues before them. Pursuant to Wyoming Statute, the Lodging Tax will be before the voters for renewal at the November 6 general election. In previous years when the Lodging Tax was up for consideration on the ballot, both the Town and County put funds towards an educational campaign in an effort to ensure the voters had the information necessary to make an informed decision. This year, Teton County has budgeted and authorized \$10,000 towards this educational campaign and the Town is proposing to match those funds with \$10,000 from our Public Education line item. With the election occurring in November, the majority of the funds would be spent in FY19, however staff is proposing to spend no more than \$3000 out of FY18 to begin our educational efforts. This line item currently has approximately \$10,000 remaining in it for FY18. If Council is supportive, staff would spend approximately \$3000 out of FY18 and \$7000 out of FY19 to cover expenses associated with educating the public on this important ballot initiative.

Staff recommends the Council consider the request and authorize the expenditure of \$10,000 over FY18 and FY19 on an educational campaign for the Lodging Tax.

The Town Council has many options, several are listed below:

1. Authorize the expenditure of \$10,000 over FY18 and FY19 on an educational campaign for the Lodging Tax.
2. Discuss the request and continue a decision to the February 20 Town Council meeting to allow further discussion at the Council retreat.
3. Consider the request, make a motion in favor, and vote against the motion.
4. Take no action at this time.
5. Other.

STAKEHOLDER ANALYSIS

Stakeholders include the residents of the Town of Jackson and Teton County as well as all of the guests to the community. The public relies on local government to present issues fairly and equitably. Without an educational campaign providing unbiased information, it is likely that special interest groups in the community will be advocating on the Lodging Tax leaving the public without a source to rely on for factual information.

ATTACHMENTS

None.

FISCAL IMPACT

The fiscal impact of the educational campaign would be \$10,000. The direct fiscal impact to the Town of Jackson for the lodging tax is approximately \$850,000 and encompasses funds used for START Bus, public restroom maintenance, pathways maintenance.

STAFF IMPACT

Town staff would work very closely with Teton County staff to create a combined educational message to the public. As public servants, part of our role is to ensure we have an informed electorate and staff would devote the necessary resources to the educational campaign to reflect this important role. Much of the educational information is already created and ready for use as it was developed 4 years ago during that general election. It would be a matter of updating any information and updating our method of outreach based on technological advances, current trends in disseminating information, and a stronger effort to educate our Latino electorate.

LEGAL REVIEW

The Town Attorney would be involved in any review of educational materials to ensure compliance with Wyoming Statutes.

RECOMMENDATION

Staff recommends the Council consider the request and authorize the expenditure of \$10,000 over FY18 and FY19 on an educational campaign for the Lodging Tax.

SUGGESTED MOTION

Should the Town Council wish to take action, one possible motion would be:

I move to authorize the expenditure of \$10,000 over FY18 and FY19 on an educational campaign for the Lodging Tax.

Synopsis for PowerPoint (120 words max):

Background:

Hailey Morton Levinson requested this item be placed on the agenda to determine whether the Town Council would support matching Teton County's investment in an educational campaign for the Lodging Tax.

MEMORANDUM

TO: Mayor and Town Council
FR: Bob McLaurin, Town Manager
DT: February 5, 2018
RE: Town Manager's Report

Records Management Software for JPD

In July 2017, the Jackson Police Department transitioned to a new records management system (RMS) when the Sheriff's Office acquired the new system to replace an antiquated and outdated RMS system. This system had been in place since 1999 and had been very problematic within the computer aided dispatch (CAD) portion of the system.

After using the RMS piece of the new system for the past six months the police department has found some compatibility issues with its functionality versus actual day-to-day work flow needs of the agency. (I.e. traffic collision report duplication, usability of Uniform Crime reports to the State of WY, redundant data entry for basic crime reports, inferior digital citation/ parking citation module over previous system, necessity to purchase additional hardware to use citation modules, challenging search functionality to extract data from the system for investigations and public records requests etc.) To improve upon this situation for the end user and to maintain maximum efficiency of work flow, we need to acquire a separate RMS that will better meet the operational needs of the police department.

The new RMS system (E-Force) is a browser based system with simplified basic operations and streamlined to avoid duplication of data entry at all points within the system. It is a very cost-effective product that should effectively be usable for the next 15-20 years. An additional benefit is Lincoln County Wyoming to the south and Teton County Idaho to the west use the same system that will allow for data sharing to occur between agencies, which enhances the effectiveness of the system further. We need to move forward to acquire this software this winter in order to have it fully operational prior to the summer season.

The estimated cost of this system is \$75,000. These funds have not been budgeted and will need to be included in the next supplemental appropriation. These funds will need to come from the Capital Projects Fund Balance.

Master Lease in Cottonwood Park

The Town of Jackson was approached by a homeowner in Cottonwood Park wishing to master lease their 3BR/2BA to the Town of Jackson at a very low rate (\$2000/mo) for a minimum of 2 years to ensure that the home would be taken care of while the owner is

living out of the area. The Town of Jackson would then rent the home to either an employee and their family or three separate employees or some combination meeting Town code. The in Town location is ideal and the home would be ours to use year round. The home has been inspected by our Building Official, Facilities Manager and Town administrative staff and is in excellent condition and has been well kept. Our intent is to give up the 4BR/2BA unit located 10 miles south of Town at the Weed & Pest location after this winter and instead use this in Town location for employees. The Weed & Pest unit is \$2400/month and we have had no more than 3 employees in the unit at one time. We would still hope to continue to rent the two 1BR/1BA apartments at the Weed and Pest for a bunkhouse and an employee rental until other in-town locations can be secured.

Spanish Language Outreach

Upon urging from Mayor Muldoon, Department Directors will immediately begin working to better inform and engage the Latino members of our community that may not be as fluent in English as other community members. Directors have been asked to review all areas of their operation to determine how to improve the provision of translated documents, improve and expand outreach to Spanish speaking community members, and to provide a concerted effort to more fully engage this sector of our community in the business of local government. The effort will be more than simply translating documents and will include serious discussions on how to meet these community members where they are and in methods that work for them, similar to the Engage 2017 efforts. The Council may see some additional expenditures in budget requests for the FY2019 budget to provide the necessary resources for this important effort.