



TOWN OF JACKSON TOWN COUNCIL AGENDA DOCUMENTATION

PREPARATION DATE: JULY 12, 2018
MEETING DATE: JULY 16, 2018

SUBMITTING DEPARTMENT: PLANNING
DEPARTMENT DIRECTOR: TYLER SINCLAIR
PRESENTER: TYLER VALENTINE

SUBJECT: **ITEM P18-128:** DEVELOPMENT PLAN FOR A NEW THREE-STORY HOTEL WITH EMPLOYEE HOUSING LOCATED WITHIN THE COMMERCIAL RESIDENTIAL-2 (CR-2) ZONING DISTRICT.

APPLICANT: MICHELLE LINVILLE, LINVILLE ARCHITECTS

OWNER: LASTING LEGACY, LLC

PURPOSE/REQUESTED ACTION

The applicant, representing the Elk Country Inn, is requesting approval of a Development Plan to redevelopment and expand of a portion of their site which consists of a new three-story hotel building with employee housing totaling 16,844 sf and relocation of 7 existing cabins for the located at 480 W. Pearl Avenue.

APPLICABLE REGULATIONS

Section 8.3.2. Development Plan

LOCATION

The property is located at 480 W. Pearl Avenue and legally known as PT NW1/4NE1/4, SEC. 33, TWP. 41, RNG. 116. An aerial photo and zoning map are shown below:



BACKGROUND

This project is located on a 2.72 acre (118,483 sf) lot within the Commercial Residential-2 (CR-2) zoning district and Lodging Overlay. The site is home to the Elk Country Inn and consists of 83 conventional lodging units (cabins and buildings), 1 short-term rental unit and 16 residential units (ARUs and employee units). Development on the site first began in 1978 and gradually continued until today. The total cumulative existing square footage is just under 50,000 sf and the lot allows a total of 94,787 sf based on a 0.8 Floor Area Ratio (FAR). The site fronts three roads: Pearl Avenue to the north, Clissold Street to the east and Flat Creek Drive to the west. Vehicular access can be taken from one entrance on Flat Creek Drive and three entrances on Pearl Avenue.

On March 19, 2018 the Town Council approved a Sketch Plan (Item P17-249) for a new three-story hotel building with employee housing with the following conditions of approval:

1. Prior to Development Plan submittal the applicant shall provide a landscape plan prepared by a Wyoming Landscape Architect which reflects the minimum plant unit requirement with adequate screening along Pearl Avenue.
2. Prior to Building Permit submittal, the applicant shall work with the adjacent property owner to the east to find a resolution that satisfies the concerns from Pathways. Specifically, the existing landscape island that straddles the dividing property line shall either be kept and/or improved, or be removed and replaced with a shared access no wider than 24'.

Project Description

As stated above, the applicant has received Sketch Plan approval and is now pursuing their Development Plan which is the final step prior to submission of a building permit. The applicant is proposing to remove the existing 1,568 sf single-story laundry building located north of the large grassy area and replace it with a new 16,844 sf three-story (approximately 43'tall) hotel with 5,400 sf basement totaling 22,244 sf. The new development will consist of 20 new lodging units, 2 deed restricted employee units, lobby, breakfast room, exercise room, indoor/outdoor pool and new side entry porte cochere. One of the 20 new lodging units is a result of converting the existing lobby at the northwest corner of the lot to a lodging unit. With the conversion of the existing lobby, the existing porte cochere and pedestrian areas fronting Pearl Avenue will be replaced with a new compliant 5' wide attached landscape strip with an 8' wide detached sidewalk. Access will be improved with the removal of one (middle) of the three vehicular access points along Pearl Ave. Vehicular circulation off Pearl Avenue at the western access point will be a one-way entrance which leads to a porte cochere attached to the west side of new hotel. The eastern access point will become a one-way exit and the Flat Creek access point will remain a one-way exit. Furthermore, 7 cabins currently located adjacent to Pearl Avenue will removed and 6 of them will be relocated to the rear of the lot.

The following is a breakdown of each floor by size and use:

LEVEL	SIZE	USES
Basement	5,400 sf	2 deed-restricted employee rental units 4 lodging units
First Floor	7,786 sf	2 lodging units Lobby/breakfast area/office/mechanical/exercise room
Second Floor	5,305 sf	5 lodging units
Third Floor	4,517 sf	8 lodging units
Existing Lobby Conversion	Existing	1 lodging unit
TOTAL	22,244 SF	20 lodging units

Compliance Summary: The applicable dimensional limitations for the project are shown below.

STANDARD	COMMERCIAL RESIDENTIAL-2 (CR-2)	PROPOSED	COMPLIES?
FAR	118,483 sf x 0.8 = 94,787 sf	Existing: 48,917 sf Proposed: 16,844 sf Total: 65,761 sf	Yes
LSR	118,483 sf x 0.1 = 11,848 sf	31,473 sf	Yes
Plant Units	1 per 12 new parking spaces + 1 per 1,000 sf of LSR = 13 plant units	13 plant units	Yes
Maximum Lot Coverage	N/A	N/A	Yes
Minimum Lot Size	7,500 SF	118,483 sf	Yes
Height (Max)	46' if roof pitch \geq 5/12 42' if roof pitch $<$ 5/12	42'-8½" (front pitched) 36'-1" (flat rear)	Yes
Height (Min)	24' or 2 stories	3 stories	Yes
Density	No limit	No Limit	Yes
Parking	78 spaces	79 spaces	Yes (see parking section below)
Bicycle Parking	1 per 10 new parking space required = 2	12	Yes
Max Curb Cut	24'	24'	Yes
Pedestrian Frontage	13.5' • 5' attached landscape • 6' detached clear width	13.5' • 5' attached landscape • 8' detached clear width	Yes
Primary Street Yard Setback	0' – 10'	8'	Yes
Secondary Street Yard Setback	0' – 10'	N/A	Yes
Rear Yard Setback	10'	South: +100'	Yes
Side Interior Yard Setback	5'	East: +30' West: +70'	Yes
Number of Stories	In LO: 3	3	Yes
Street Façade Width	Pearl: 70% of 215' = 150.5'	Existing: 31.5' Proposed: 74' Total: 105.5'	Yes ¹
3rd-story step-back	10'	15'	Yes
Transparency	Ground story: 40% Upper stories: 20%	Ground story: 40% Upper stories: 20%	Yes
Blank Wall Area	Primary Street: 35'	Less than 35'	Yes
Story Height	Ground story: 12' Upper stories: 7'-6"	Ground story: 12' Upper stories: 9'-7"	Yes

¹ The applicant is not scraping the entire lot, but rather redeveloping a portion of the lot fronting Pearl. Staff determined that since the applicant is significantly improving the street façade width and full compliance with the Street Façade Width requirement would cause new issues with access and circulation since some development fronting Pearl will remain.

Staff Analysis

Current LDRs

As shown in the dimensional limitation table above, the project meets all applicable LDR regulations related to physical development, and in some areas exceeds the requirements. In general, the applicant has successfully incorporated a new three-story building within an existing site while significantly improving and simplifying vehicle circulation in addition to improving over 200' of pedestrian frontage with compliant sidewalks and landscaping.

Site Design

As mentioned above, the project site is large (2.72 acres), has existing development that will remain and fronts three streets. The principal design challenge is to redevelop only a portion of the site, with existing development to remain, while reducing significant impacts on access (vehicular and pedestrian), parking and circulation. In general, the applicant has done a credible job at addressing these concerns with the removal of a curb cut, implementation of one-way circulation and pedestrian improvements. In addition, the placement of the building is consistent with the CR-2 zoning district and meets all applicable regulations, such as setbacks, sidewalks, height, etc. Furthermore, parking is mostly hidden from public view on Pearl Avenue except for the two vehicular access points which serve as circulation and parking. Staff finds that the site design is well laid out and functional.

Access/Circulation/Traffic

Traffic Analysis: A traffic impact analysis prepared by Nelson Engineering has been provided as part of this application. In summary, the analysis concludes that the proposed development will add an additional 14 trips per hour during the PM peak period to the adjacent transportation system. The analysis concludes that *“The proposed development is expected to only slightly augment the current trip generation, and is expected to remain similar in nature...The additional 14 trips per hour created by this development will be easily absorbed into a network that currently handles 2,389 trips per hour.”*

Based upon the information provided, staff finds that the use of the existing signalized intersection in the immediate area (5-way) can adequately serve the proposed development and no transportation improvements are necessary.

Vehicular Access/Circulation: As stated above in the project description, the project will remove one vehicular access point on Pearl Ave and continue to allow vehicular access from the remaining two access points. Circulation will be significantly improved because the western entrance on Pearl Ave will be a one-way entrance and the eastern entrance will be a one-way exit. Guests entering the site on Pearl Ave will have the option to continue around the new hotel and exit back onto Pearl Ave or the option of exiting out through the Flat Creek Drive access point. The Town engineer supports this new circulation plan as it reduces curb cuts and consolidates vehicular access. Signage will be crucial to communicating the circulation to the public and the applicant has proposed “One-Way Do Not Enter” signs in all of the correct locations.

Based upon the information provided, staff finds that the proposed access plan is functional and meets the LDR requirements for a Development Plan.

Trash/Snow Storage/Bicycle Parking

This is a large site and benefits from ample land to store snow even though a large portion of the lot is paved for parking and circulation. The applicant has identified seven locations on the site for snow storage which meets the minimum standards found in the LDRs. Trash enclosures have been provided to the south of the new hotel consistent with the requirements of the LDRs. Bicycle parking has been provided on both sides of the new hotel allowing 12 bikes to park which exceeds the 2 space requirement.

Streetscapes/Pedestrian Access

Pedestrian Access: As mentioned above, the applicant will reconstruct and improve the existing sidewalk on Pearl Avenue for the entire linear width of the site. The proposal will eliminate one curb cut and the existing porte cochere and provide an approximate 22' wide pedestrian frontage from the curb to the face of the building that will exceed the new District 2 pedestrian requirements and the Community Streets Plan. This includes a 5' wide attached landscape strip with trees and an 8' wide detached sidewalk. The remaining areas between the sidewalk and the building will include landscaping grasses, trees and shrubs. In regards to on-site pedestrian access, new internal sidewalks will be added on both sides of the hotel providing walking access from the hotel to Pearl Avenue. In addition, this site has existing internal sidewalks connecting to both Flat Creek Drive and Clissold Street which provide additional options for guests to walk to and from the site.

Landscaping Plant Units: The applicant has provided a landscape plan prepared by a Wyoming Landscape Architect to meet a past condition of approval part of the Sketch Plan. The landscape plan currently shows 13 plant units which is the minimum plant unit requirement for the proposed new LSR and parking. Staff finds that 13 plant units is sufficient to adequately screen the site and based on the current plan the trees and shrubs are placed properly. Staff has added a condition of approval that prior to issuance of a Building Permit the applicant provide a bond for 125% of the cost of the proposed landscaping.

Landscape Island: Pathways previously provided comments concerning the existing landscape island which straddles the property line between the subject site and the lot to east. On either side of the landscape island was vehicular entrances for both sites spanning a total width of about 32'. The previous design at Sketch Plan had shown the landscape island removed leaving a wide expanse in which pedestrians would have to cross which was a safety concern. A condition of approval was added that *"the applicant work with the adjacent property owner to find a suitable solution that involves leaving and/or improving the existing landscape island or providing shared driveway access which ultimately will shrink the width of the vehicular access to no more than 24' wide."* As shown on the site plan, the applicant has addressed this condition by deciding to improve the existing landscape strip so that it serves as a break between the two properties entryways.

Staff finds that the pedestrian frontages, as conditioned, meet the LDRs and intent of the Comprehensive Plan.

Parking

The following table shows the parking requirements:

Use	Unit Parking Ratio	# of Units/Rooms	Requirement
Existing Lodging	.75/room	82	61.5
Existing Short-Term Rentals	1/DU if < 2 bedrooms and < 500 sf; otherwise, 1.5/DU	1	1.5
Existing ARUs/Employee Housing	100% Shared	16	100% Shared

Proposed Lodging	.75/room	20	15
Proposed Employee Housing	100% Shared	2	100% Shared
TOTAL REQUIRED			78

Based upon the CR-2 parking standards, only the 20 new lodging units generate parking. The two deed restricted employee units benefit from 100% shared parking according to Section 6.2.2.B Shared Parking. Based on the submitted site plan and above analysis, staff finds that the proposed parking plan meets the intent of the LDR standards based on the provision 79 spaces where 78 are required. Also, the site has five (5) on-street spaces on Pearl Avenue and eight (8) on-street spaces on Clissold Street as additional overflow parking. Although these on-street spaces cannot be used to meet the applicant’s parking requirement, they are helpful from a practical standpoint as they provide some overflow parking. The applicant also has the option to petition the Town Council to reserve some for valet parking.

Affordable/Employee Housing

The applicant is required to provide employee housing for the proposed hotel minus any credits for existing development. The total requirement is as follows:

Use	Square Footage	Requirement	Requirement
Existing Credit (laundry building & cabin to be removed)	1,568 sf	47 / 1,000	73.7 sf
New Lodging (includes lobby, breakfast room, exercise rooms, etc.)	21,302 sf	47 / 1,000	1,001.2 sf
			73.7 sf – 1,001.2 sf
Net Total			927.5 sf

Thus, the total employee housing mitigation requirement is 927.5 square feet. The applicant is providing a total of 942 sf employee housing which slightly exceeds the minimum requirement. All of the housing is proposed on-site and the applicant proposes to provide two deed restricted units in the basement. The two basement studios, 480 sf & 462 sf, meet the mitigation requirement and are consistent with the JTCHA livability standards. A draft deed restriction was provided with this application and prior to Certificate of Occupancy for the hotel, the applicant will be required to work the JTCHA to record the deed restrictions with the County Clerk. Staff finds that the applicant’s employee housing mitigation plan meets the LDR requirements.

DRC Review/Building Design

This item was reviewed by the DRC twice during Sketch Plan in which the DRC added three conditions of approval (shown below) related to the character of the building fitting into the Intermountain West. On the second visit to the DRC the applicant satisfied all conditions and the DRC recommended approval to the Town Council.

1. The applicant shall investigate a design and building character that are in line with the Vision Statement found in the Design Guidelines that states “*Future development should consider the regional vernacular of the Intermountain West while inspiring innovative design and creativity that emphasizes a positive pedestrian experience*”. Specifically, the DRC felt the design was foreign to Jackson, the Intermountain West and the existing site. In addition, the choice of materials increased the perceived mass of the building. The transition of styles from the “Old World European” to the modern back of the building should be reconsidered to create a more compatible transition. The size and types of the windows are out of touch with the existing site.

2. As the applicant considers a design that fits into the Intermountain West and with the existing development on the subject site, the following principles in the Design Guidelines shall be addressed: Location, connection, composition, street wall, massing and public space.
3. Upon revisiting the DRC, the applicant shall provide a materials sample board and it is highly recommended that a massing model be included that includes neighboring buildings for context.

With this Development Plan submittal, the design went back before the DRC on May 9, 2018 to present a consistent design in keeping with the Sketch Plan. No major changes to the architecture, design or materials we presented and the DRC unanimously recommended approval to Town Council as presented

Planning and Zoning Commission

This item went before the Planning Commission on June 20, 2018 and the Commissioners unanimously recommended approval to Town Council. There were no outstanding issues or concerns with the project as proposed.

Staff Findings

Development Plan. All Development Plan proposals may be approved only if all of the following findings are made:

1. ***Comprehensive Plan:*** *The proposed project is consistent with the desired future character described for the site in the Jackson/Teton County Comprehensive Plan.*

The subject property is located within District 2 Town Commercial Core, specifically within Subarea 2.3 Downtown.

Subarea 2.3 Downtown: This large, mixed-use, TRANSITIONAL Subarea currently consists of a variety of retail, restaurant, office and other commercial activities, along with long-term residences and lodging in a variety of building sizes and forms. Downtown is the center of civic, cultural, economic and social activity for our community as well as the center of the visitor experience, as a significant amount of lodging is located here. The existing character and built form is varied and inconsistent.

The goal of this subarea is to create a vibrant mixed use area by accommodating a variety of uses and amenities. The Subarea will be the starting point for the development of a refined Lodging Overlay boundary and future discussion of the type and size of lodging desired. A key challenge will be to provide a balance between lodging and long-term residential housing. Future structures will be predominantly mixed use, while multifamily structures will be allowed if it properly addresses the street. Commercial uses that create an active and engaging pedestrian experience will be predominantly located on the first and second floors of buildings. Example of these units include restaurants, bars, a variety of retail shops and commercial amusement. Furthermore, as portions of the subarea will be located within a future Downtown Retail Shopping District, uses such as office, residential and lodging will be predominantly located on upper floors.

A goal of the subarea will be to create a consistent building size and form. In the future, a variety of two to three story buildings are desired. Buildings should be located to create an attractive street wall and take advantage of good urban design principles including massing, articulation and the provision of public space. The pedestrian realm will be of great importance in this mixed use subarea, and

emphasis should be placed on adding improvements focusing on the pedestrian experience. Parking should continue to be provided predominantly in public lots and on the street to create a vibrant, walkable area that is orientated to the pedestrian. On-site parking should be predominantly underground or screened from view. Future redevelopment should enhance the Flat Creek corridor for recreational and ecological purposes. Buildings should front onto the creek to provide opportunities for interaction and enjoyment of this community resource.

Complies. Staff finds that the project is consistent with the described vision for Subarea 2.3. Both the current and proposed uses fit within the lodging overlay and are consistent with the physical development standards within the CR-s zoning district. From a pedestrian standpoint, the proposed project will benefit the public with new compliant sidewalks and landscaping to encourage walking. Also, the ground level uses facing Pearl Ave consist of lobby and a breakfast area which are the more engaging uses typically found within hotels. In addition to the new sidewalks, the building will be setback approximately 22' from the back of curb and the areas between the building and the sidewalk will be amply landscaped creating a much improved pedestrian experience from what currently exists. Parking will mostly be screened from the street, however since the proposed development is only for a portion of the site, parking will be visible along both vehicular access points. In regards to size and scale, the new project will be larger than surrounding development but consistent with the new CR-1 zoning regulations which allows what is being proposed. However, moving east along Pearl Avenue the development patterns begin to better match the subject project in terms of scale and bulk which is consistent with the vision for this subarea. Furthermore, the project will create a new and attractive street wall with recessed third floor that will provide an improved pedestrian and guest experience.

In addition, Staff finds that the application should be reviewed for consistency specifically with the policy objectives of District 2 Town Commercial Core as follows

Common Value 1: Ecosystem Stewardship

Complies. Not Applicable.

Common Value 2: Growth Management

Policy 4.1.b: Emphasize a variety of housing types, including deed-restricted housing

Complies. Staff finds that although the proposed project is primarily lodging in nature, the applicant has provided two deed restricted employee rental units which meet the minimum requirements of the LDRs, thus the project complies with Policy 4.1.b.

Policy 4.1.d: Maintain Jackson as the economic center of the region

Complies. Staff finds that the proposed project will maintain Jackson as the economic center of the region by improving an undeveloped site and by enhancing Pearl Avenue which serves as an important corridor within Town limits.

Policy 4.2.c: Create vibrant walkable mixed use subareas

Complies. Staff finds that the proposed project provides a significant improvement to this section of Pearl Avenue as it creates compliant pedestrian sidewalks along a busy town corridor. Although the proposed use is mostly lodging, the new development will enhance the activity in the section on Pearl Ave and accommodate foot traffic with the new pedestrian elements. In addition, the reduction of one vehicular entrance will also create a safer experience for pedestrian traffic.

Policy 4.2.d: Create a Downtown Retail Shopping District

Complies. Not applicable.

Policy 4.2.f: Maintain lodging as a key component in the downtown

Complies. Staff finds the proposal directly meets the intent of Policy 4.2.F as it provides a new three-story hotel.

Policy 4.4.b: Enhance Jackson Gateways

Complies. Although not a gateway, Pearl Avenue is often viewed as an important corridor and the proposed project will enhance pedestrian and vehicular experience with improved sidewalks and landscaping.

Policy 4.4.d: Enhance natural features in the building environment

Complies. Not Applicable.

Common Value 3: Quality of Life

Policy 5.2.d: Encourage deed-restricted rental units

Complies. The applicant is meeting their employee housing requirement in the form of two, on-site deed restricted units.

Policy 6.2.b: Support businesses located in the community because of our lifestyle

Complies. Although the development will mostly serve tourists and guests, the proposed pedestrian improvements will benefit all who use them including local business employees and patrons.

Policy 6.2.c: Encourage local entrepreneurial opportunities

Complies. Not applicable.

Policy 6.3.a: Ensure year-round economic viability

Complies. Staff finds that the proposed project ensures year-round economic viability because lodging is needed year-round for tourists and guests.

Policy 7.1.c: Increase the capacity for use of alternative transportation modes

Complies. As conditioned, staff finds that the capacity for alternative transportation modes is slightly increased with the provision of bicycle parking and with improved pedestrian sidewalks and streetscapes. This site is already located within walking distance to the Downtown Core thus foot and bike traffic are already viable options. Furthermore, this site is within close walking distance to the bus stops at the 49'er Inn and Flat Creel/Hoback Sports.

2. ***NRO/SRO: The proposed project achieves the standards and objective of the Natural Resource Overlay (NRO) and Scenic Resources Overlay (SRO).***

Complies. Not applicable. The property is not located within the Natural Resource Overlay (NRO) or Scenic Resources Overlay (SRO).

3. **Impact on Public Facilities:** *The proposed project does not have a have a significant impact on public facilities and services, including transportation, portable water and wastewater facilities, parks, schools, police, fire, and EMS facilities.*

Complies. As conditioned, staff finds that the proposed project will not have significant impacts on public facilities and infrastructure. In addition, the new building will be fire sprinkled which is helps reduce impacts on the Fire Department. Furthermore, the removal of the existing porte cochere and removal of one curb cut significantly improves vehicular circulation and safety on Pearl Avenue.

4. **Design Guidelines:** *The proposed project complies with the Town of Jackson Design Guidelines, if applicable.*

Complies. Staff finds that the application complies with the Town of Jackson Design Guidelines based on the applicant going before the DRC on three occasions and receiving unanimous support for all DRC members.

5. **LDR Compliance:** *The proposed project complies with all relevant standards of these LDRs and other Town Ordinances.*

Complies. Staff finds that the application meets all standards required of the LDRs for development in the CR-2 zoning district. Staff also finds the project to be in compliance will all other Town Ordinances.

6. **Past Approvals:** *The proposed project is in substantial conformance with all standards or conditions of any prior applicable permits or approvals.*

Complies. The applicant has submitted a Development Plan which is in strong conformance with the previously approved Sketch Plan and no major changes have been made. In addition, the applicant met all conditions of approval from the previous Sketch Plan that pertain to this Development Plan such as providing a landscape plan prepared by a Wyoming Landscape Architect.

ATTACHMENTS

Department Reviews
Applicant Submittal

STAKEHOLDER ANALYSIS

The main stakeholders are the adjacent property owners, public and tourists who utilize the sidewalks.

PUBLIC COMMENT

None.

FISCAL IMPACT

There will be no significant fiscal impact to the Town if the proposed project is approved.

STAFF IMPACT

There will be no significant impact to staff resources if the proposed project is approved.

LEGAL REVIEW

Complete.

RECOMMENDATIONS/ CONDITIONS OF APPROVAL

The Planning Director and Planning Commission recommend **approval** of a Development Plan (P18-128) for a three-story hotel building with employee housing on the property located at 480 W Pearl Avenue, subject to the department reviews attached hereto and the following conditions of approval:

1. Prior to issuance of a Building Permit the applicant shall provide a landscape bond in the amount of 125% of the cost of the required plant units.
2. Prior to issuance of a Certificate of Occupancy for the hotel the applicant shall work with the Jackson Teton County Housing Department to record the required deed restrictions against the property.
3. The Development Plan shall expire within 18 months of Town Council approval unless a Building Permit for the project is submitted by January 16, 2020.

SUGGESTED MOTIONS

Based upon the findings as presented in the staff report and as made by the applicant for Item P18-128, I move to make findings 1-6 as set forth in Section 8.3.2. (Development Plan) of the Land Development Regulations related to 1) Consistency with the Comprehensive Plan; 2) Achieves purpose of NRO & SRO overlays; 3) Impact of public facilities & services; 4) Compliance with Town Design Guidelines; 5) Compliance with LDRs & Town Ordinances; 6) Conformance with past permits & approvals and to **approve** a Development Plan for a new three-story hotel building with employee housing for the property located at 480 W Pearl Avenue, subject to the department reviews attached hereto and the following conditions of approval:

1. Prior to issuance of a Building Permit the applicant shall provide a landscape bond in the amount of 125% of the cost of the required plant units.
2. Prior to issuance of a Certificate of Occupancy for the hotel the applicant shall work with the Jackson Teton County Housing Department to record the required deed restrictions against the property.
3. The Development Plan shall expire within 18 months of Town Council approval unless a Building Permit for the project is submitted by January 16, 2020.



ELK COUNTRY INN

480 WEST PEARL AVENUE, JACKSON, WY 83001
Zoned CR-2, TOJ Project P17-249

OWNER:
LASTING LEGACY, LLC
PO BOX 1255
JACKSON, WY 83001

MEP ENGINEER:
ENGINEERING SYSTEM SOLUTIONS
4943 NORTH 29TH EAST, STE A
IDAHO FALLS, ID 83401

CIVIL ENGINEER:
NELSON ENGINEERING
PO BOX 1599
430 SOUTH CACHE
JACKSON, WY 83001

POOL DESIGN:
WATER DESIGN, INC
5047 S. GALLERIA DRIVE
MURRAY, UT 84123

STRUCTURAL ENGINEER:
G&S STRUCTURAL ENGINEERS
505 LINDSAY BLVD
IDAHO FALLS, ID 83402

LANDSCAPE ARCHITECT:
INSIDE OUT LANDSCAPE ARCHITECTURE, LLC
5263 TORRENCE RD
WILSON, WY 83014

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LETTER OF JUSTIFICATION

April 11, 2018

Mr. Tyler Valentine
Senior Planner, Town of Jackson
Planning & Building Department
150 E Pearl Avenue, PO Box 1687
Jackson, Wyoming 83001

Dear Mr. Valentine,

Please accept this Final Development Plan application for the development of a new lodging building at 480 West Pearl Avenue. As a continuation of our Sketch Plan, which was unanimously approved on March 19, 2018 this project is for a high-end hotel with guest lobby, covered drop off, breakfast area, indoor swimming pool, 19 lodging units and 2 employee housing units.

These plans implement the goals that the Comprehensive Plan establishes for the property.

In summary, the development of the property will:

- This project continues to comply with all current LDR's
- There are no requests for variances, waivers or special exceptions to the LDR's
- Contains all the previously approved Sketch Plan elements that implement the Teton County Comprehensive Plan
- Exceeds the employee housing mitigation requirements
- Creates a pedestrian friendly streetscape that replaces a nonconforming streetscape

The details and supporting materials to the application are attached. Thank you for all of your help throughout this process. Please feel free to contact me if you have any questions or need additional information. We look forward to working with you further on this project.

Sincerely,



Wendy Meadows



PLANNING PERMIT APPLICATION
Planning & Building Department
Planning Division

150 E Pearl Ave. | ph: (307) 733-0440
 P.O. Box 1687 | fax: (307) 734-3563
 Jackson, WY 83001 | www.townofjackson.com

For Office Use Only

Fees Paid _____

Check # _____ Credit Card _____ Cash _____

Application #s _____

PROJECT.

Name/Description: Elk Country Inn

Physical Address: 480 W. Pearl Avenue

Lot, Subdivision: Town of Jackson PIDN: 22-41-16-33-1-00-32

OWNER.

Name: Lasting Legacy, LLC Phone: 307-690-6500

Mailing Address: PO Box 1255, Jackson, WY ZIP: 83001

E-mail: 2wmeadows@gmail.com

APPLICANT/AGENT.

Name: owner Phone: _____

Mailing Address: _____ ZIP: _____

E-mail: _____

DESIGNATED PRIMARY CONTACT.

Owner Applicant/Agent

TYPE OF APPLICATION. Please check all that apply, see Fee Schedule for applicable fees.

Use Permit	Physical Development	Interpretations
<input type="checkbox"/> Basic Use	<input type="checkbox"/> Sketch Plan	<input type="checkbox"/> Formal Interpretation
<input type="checkbox"/> Conditional Use	<input checked="" type="checkbox"/> Development Plan	<input type="checkbox"/> Zoning Compliance Verification
<input type="checkbox"/> Special Use		
Relief from the LDRs	Development Option/Subdivision	Amendments to the LDRs
<input type="checkbox"/> Administrative Adjustment	<input type="checkbox"/> Development Option Plan	<input type="checkbox"/> LDR Text Amendment
<input type="checkbox"/> Variance	<input type="checkbox"/> Subdivision Plat	<input type="checkbox"/> Zoning Map Amendment
<input type="checkbox"/> Beneficial Use Determination	<input type="checkbox"/> Boundary Adjustment (replat)	<input type="checkbox"/> Planned Unit Development
<input type="checkbox"/> Appeal of an Admin. Decision	<input type="checkbox"/> Boundary Adjustment (no plat)	

PRE-SUBMITTAL STEPS. Pre-submittal steps, such as a pre-application conference, environmental analysis, or neighborhood meeting, are required before application submittal for some application types. See Section 8.1.5, Summary of Procedures, for requirements applicable to your application package. If a pre-submittal step is required, please provide the information below. If you need assistance locating the project number or other information related to a pre-submittal step, contact the Planning Department. If this application is amending a previous approval, indicate the original permit number.

Pre-application Conference #: P17-154 Environmental Analysis #: NA
Original Permit #: NA Date of Neighborhood Meeting: 11/17/17

SUBMITTAL REQUIREMENTS. Twelve (12) hard copies and one (1) digital copy of the application package (this form, plus all applicable attachments) should be submitted to the Planning Department. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Partial or incomplete applications will be returned to the applicant.

Have you attached the following?

- Application Fee.** Fees are cumulative. Applications for multiple types of permits, or for multiple permits of the same type, require multiple fees. See the currently adopted Fee Schedule in the Administrative Manual for more information.
- Notarized Letter of Authorization.** A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. If the owner is a partnership or corporation, proof that the owner can sign on behalf of the partnership or corporation is also required. Please see the Letter of Authorization template in the Administrative Manual for a sample.
- Response to Submittal Checklist.** All applications require response to applicable review standards. These standards are outlined on the Submittal Checklists for each application type. If a pre-application conference is held, the Submittal Checklists will be provided at the conference. If no pre-application conference is required, please see the Administrative Manual for the applicable Checklists. The checklist is intended as a reference to assist you in submitting a sufficient application; submitting a copy of the checklist itself is not required.

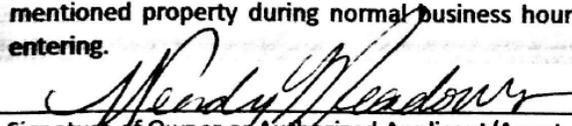
FORMAT.

The main component of any application is demonstration of compliance with all applicable Land Development Regulations (LDRs) and Resolutions. The submittal checklists are intended to identify applicable LDR standards and to outline the information that must be submitted to sufficiently address compliance with those standards.

For some submittal components, minimum standards and formatting requirements have been established. Those are referenced on the checklists where applicable. For all other submittal components, the applicant may choose to make use of narrative statements, maps, drawings, plans and specifications, tables and/or calculations to best demonstrate compliance with a particular standard.

Note: Information provided by the applicant or other review agencies during the planning process may identify other requirements that were not evident at the time of application submittal or a Pre-Application Conference, if held. Staff may request additional materials during review as needed to determine compliance with the LDRs.

Under penalty of perjury, I hereby certify that I have read this application and associated checklists and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.


Signature of Owner or Authorized Applicant/Agent

Wendy Meadows

Name Printed

11 April 2018
Date

owner

Title

PROJECT DESCRIPTION & PROGRAM

Project Description

This project will consist of 3 phases of construction. The first phase will be to move 6 of the 7 existing cabins to the south end of the property. (The seventh cabin will be removed). The second phase is the new building consisting of a 22,244 sf building with basement and 3 floors above grade. There will be 19 new lodging units, 2 employee housing units, porte cochere, lobby, breakfast room, exercise room, indoor outdoor pool along with necessary maintenance and management support rooms. The third phase will be to convert the existing lobby to a lodging unit, removing the existing porte cohere and replacing it with a sidewalk and landscaping.

LDR Compliance

The site is located in the Commercial Residential 2 zone which is within the Complete Neighborhood Character Zone and is subject to the Lodging Overlay. This proposal is designed to comply with the current regulations and received Sketch Plan approval from the DRC, Planning Commission and Town Council. No variances or waivers are sought.

Architectural Design

The architectural character of the new building will be bed and breakfast style on the street front and porte cochere. The exterior of this facade will be a mix of stone veneer and wood with large windows for the required transparency on the facade. It will have mostly steep pitched roofs, timber accents and patinated copper shingles. The layered roof pitches will create an appropriate human scale. The exterior of the back side of the building will have various wood materials to blend with the existing western character on site.

Facade

The facade of the building will be 74' plus a 38' porte cochere along the west side of the building to be set back 30'-0" from the front property line. Windows along the street wall will be large and inviting to the pedestrian. Stone arched openings will be used at pedestrian and vehicle entrances to welcome visitors onto the property.

Pedestrian Walkway

The building setback is 13'-6" from the back of the curb. This allows for a 5'-6" wide buffer area of sandset pavers with trees in grates to separate pedestrians from the street and provide snow storage space. There will be an 8'-0" wide sidewalk in front of the new building as requested by the Pathways Department and another 7'-6" of landscaping in front of the building. This project implements all Town of Jackson streetscape standards.

Parking On Site

All required parking will be provided on site. No street parking will be needed to meet the requirement.

Open Space

There will be a lawn area south of the pool enclosure for guest picnics, children playing and walking dogs.

Site Staging

See attached sheet DP-1.4 for site staging plan on the 3 phases of construction. This plan shows fencing locations, construction parking, stockpile and material storage locations. Crane locations are shown on Phase 1 for the relocation of the existing cabins. The sidewalk will not need to be blocked or closed and will therefore not need a shelter over it. No work will need to be done within the Road Right of Way except during Phase 3 demolition of the existing Portico and construction of the new sidewalk.

CONDITIONS OF APPROVAL

Deed Restricted Employee Housing

The applicant shall provide draft of deed restriction document to meet the employee housing mitigation requirement that is approved by the Housing Department.

Included in this submittal is a draft deed restriction and the applicant will work with Stacy Stoker at the Housing Department to finalize this restriction before obtaining a Certificate of Occupancy. This development contains two basement employee housing units with a total square footage that exceeds the requirement.

Landscaping Plan by Licensed Landscape Architect

See attached Landscape Plan by Inside Out Landscape Architects.

Find Solution to Existing Landscape Island that Straddles the East Property Line

See attached Nelson Engineering sheet C2.0 for resolution to this location. We will obtain permission from the neighbor to perform about 18 sf of sidewalk work on their property to improve the existing pedestrian island. This will result in maintaining the two existing driveway access points (one for each property) at this location.

DRC DEVELOPMENT PLAN 4/11/18

new entry/lodging building for
ELK COUNTRY INN
480 west pearl avenue
jackson, wy

OWNER:
LASTING LEGACY, LLC
PO Box 1255, Jackson, WY
83001
2wmeadows@gmail.com
307-690-6500



Design Guidelines

1. Location/Connection

Stone is a large part of the regional vernacular of the Intermountain West and Jackson Hole. It is a durable material and represents the historic vernacular of the town. There are many different building styles in Jackson and it is this variety that makes this town so special. Over time many of these buildings are being replaced and hopefully they will be replaced with architecture that gives the same eclectic, rustic, charming appeal that speaks to the history of the place that drew us all here to begin with. This design was unanimously approved by the DRC at the Sketch Plan Phase. This will be a high quality project that meets all of the LDR requirements and will vastly improve the curb appeal and pedestrian experience of the site.

2. Composition

The existing site is comprised of two hotel buildings and many small log cabin units scattered around the back of the site. The most prominent of the two larger buildings has frontage along Pearl Ave. The new building will compliment this existing building by incorporating similar siding materials, timber purlins and vertical timber accents. Some stone veneer will be added to the existing facade to further tie the two buildings together. The arch top windows at the gables and the timber purlins at both the gable ends and around the back roof create a rhythm that unifies the design. The gables at the facade give the building a welcoming bed and breakfast feel that provokes interest and indicates the building's use. The proportions of the building give visual interest at the scale of both the automobile and the pedestrian and area result of working within the current LDRs.

4. Street Wall

This project will create a comfortable and inviting pedestrian path between the street, the hotel and the adjacent buildings by upgrading the current nonconforming sidewalk situation. The two remaining vehicle entrances along Pearl Ave represent the minimum required. The third (existing) curb cut along Flat Creek will be maintained for fire access and guest access.

5. Massing

As indicated in Composition above, the building's lower roof areas at the facade and covered entries give the building a human scale and pedestrian orientation. Additive massing is used at the breakfast area bump out, portico and covered front entry. Volume complexity is used through the various roof pitches and step backs. The roofs are designed to keep snow and rain from depositing onto adjacent public walking surfaces. Gutters will be used where needed and custom designed snow clips will be used on steel pitches to avoid any sliding snow.

6. Public Space

The covered entries and covered drop off provide welcoming sheltered points of entry that will draw visitors to the hotel. Per the Pathways review the sidewalk will be 8' wide in front of the new building with a 5'-6' paver strip along the street. This is a major upgrade to the current situation where there is a covered drop off blocking placement of a continuous sidewalk. Two curb cuts will be eliminated along Pearl (one at portico and one at center of frontage). There is an opportunity to eliminate another curb cut along the east if a shared driveway easement is established. The facade is north facing and windows have been used on the east side of the breakfast room to capture the morning sun. The outdoor pool and the adjacent lawn area provide open space for recreation. Landscaping in the form of Swedish Aspens, ornamental grasses and other plantings shall be used to screen automobiles, utilities and parking lots.

Concept Statement

The site is located in the CR-2 zone which is within the Complete Neighborhood Character Zone and is subject to the Lodging Overlay. This proposal is designed to comply with the current regulations. No variances or waivers are sought. There will be 3 phases. The first phase will be to move 6 of the 7 existing cabins to the south end of the property. (The seventh cabin will be removed). The second phase is the new building consisting of a 22,244 sf building with basement and 3 floors above grade. There will be 19 new lodging units, 2 employee housing units, porte cochere, lobby, breakfast room, exercise room, indoor/outdoor pool along with necessary maintenance and management support rooms. The third phase will be to convert the existing lobby to a lodging unit, removing the existing porte cochere and replacing it with a sidewalk and landscaping. The existing porte cochere sits within the required setback and does not allow sidewalk installation. The proposed removal of this structure will improve the overall look and feel of the property. The design will meet the new LDR setback requirements providing an attractive streetscape and pedestrian experience. Guests may enter the lobby through either the front covered entry or the side covered drop off area. All parking will be on site to the sides and rear of the new building as called for in Section 2.2.4 CR-2 section of the LDRs. All parking will conform with the 30'-0" setback requirement and will be screened from view with landscaping. Landscaping will be used to shield the side parking areas from the street. The dumpster at the rear of the property will be shielded from view by an enclosure.

The building design seeks to convey an Ski Lodge/ Bed and Breakfast experience for a striking architectural design that will welcome visitors and enhance the town's character. This will be achieved with steep roof pitches, minimal roof overhangs, stone veneer, and timber accents. The existing 7 log cabins and one unattractive laundry/hot tub building at the front of the property are representative of the existing varied and inconsistent character and built form in the Downtown area. The area where these are removed will be replaced by a new 3 story structure with lodging on the second and third floors and guest services on the ground floor. This new building will upgrade this property to a high quality hotel with high end amenities. The new building will be stone & wood siding on the front 1/3 of the building and will use layered pitched roofs, step backs, and openings for a human scale that is inviting and interesting from various view angles. The rear portion of the building will have a mix of horizontal wood siding and cedar shingle siding to tie the building architecturally to the existing siding materials on site. Step backs & roof lines are also used to help shield the flat roof portion of the building from the street. The large porte cochere with its stone arched openings will create a dramatic entry experience for guests and a sheltered area for pick up and drop off.

The facade of the building will be 74' long plus a 38' porte cochere along the west side of the building to be set back 30'-0" from the front property line. The new frontage total will be 149' which is 69.3 percent of the 215' lot width. This is just shy of the required 70 percent but Tyler Sinclair indicated that it would be accepted because it is bringing the site into closer compliance with the LDRs. Stone arched openings will be used in various locations to welcome pedestrians onto the property. The pedestrian realm will be inviting with trees in grates in the pedestrian frontage area and landscaping in the setback range. The building will be set back about 8'-6" from the pedestrian

frontage area. The building facade will have a large window area at the breakfast lounge area to provide transparency and create an open and inviting atmosphere. The porte cochere will be set back the required 30'-0" and will therefore allow for additional landscape screening. It will also reduce the amount of asphalt visible from the street, eliminate one existing curb cut, and remove a number of nonconformities on the site. The building setback allows for a 5'-6" wide buffer area of sandset pavers and trees in grates to separate pedestrians from the street and provide snow storage space. There will be a 8'-0" wide sidewalk and another 8'-0" of landscaping in front of the building. Exterior wall lighting will be dark bronze finish to meet town regulations. There will be a lawn area south of the pool enclosure for guest picnics, children playing and walking dogs.

Pedestrian Frontage shall be Trees in Grates as per 2.2.1.C.

Building Frontage shall be Lodging as per 2.2.1.D.4.

Parking shall be surface parking per 2.2.1.E.2.

The physical development permit being requested is for Building Permit as per 2.2.4.B.9 over the threshold of 13,800 sf.

Exterior Lighting proposed shall be as per 5.3.1 with Maximum height of 18'.

Signs proposed shall be as per 5.6.

PROGRAM AREAS

Existing Building Area	Lodging Use SF	Empl. Hous'g SF	ARU SF	Total SF	Room Types
Exist 'A' Building	7,227	0	3,475	10,702	16 Lodging, 6 ARUs
Exist Settler Bldg	20,078	3,402	6,637	30,117	42 Lodging, 4 Employee Housing, 6 ARU
Existing Cabins	5,308	0	0	5,308	18 Lodging Units
Relocated Cabins	2,028	0	0	2,028	6 Lodging Units
Exist Short Term Rental	1,100	0	0	1,100	1 short term rental
Total	35,403	3,402	10,112	48,917	99 Units

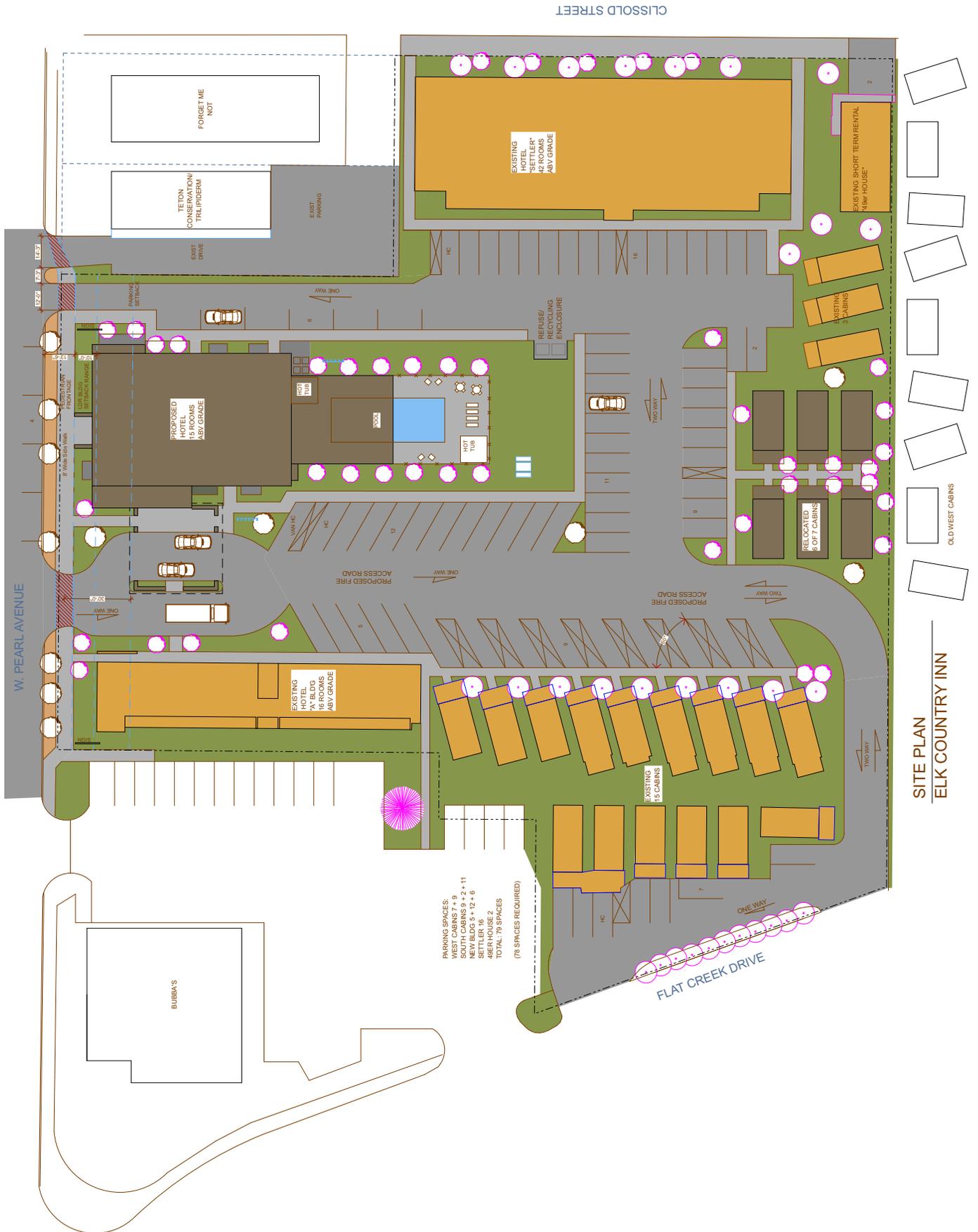
New Building Area	Lodging Use SF	Empl. Hous'g SF	Total SF	Room Types
Basement Total	4,427	973	5,400	4 Lodging, 2 Empl. Hous'g
Ground Floor Total	7,786	0	7,786	2 Lodging Units
Second Floor Total	4,541	0	4,541	5 Lodging Units
Third Floor Total	4,517	0	4,517	8 Lodging Units
Existing Lobby convert to Lodging	0 sf added	0	0 sf added	1 Lodging Unit
Total	21,271	973	22,244	22 Units

Total Lodging on Site	Total Empl. Hous'g on Site	Total ARUs on Site	Total Short Term Rental on Site	Total Units on Site
102	6	12	1	121

LDR COMPLIANCE

Requirements	Proposed	Compliance
FAR CR-2 118,483 sf gross site area x .80 = 94,787 sf max	16,844 sf above grade	complies
LSR CR-2 118,483 sf gross site area x .10 = 11,848 sf min	31,473 sf	complies
Building Height CR-2 max 46' if pitch \geq 5/12 pitch, max 42' if pitch < 5/12	45'-0" height @ 12/12 pitch 36'-6" @ flat roof parapet	complies
Number of Floors Max 3 stories above grade	3 stories	complies
Building Width Primary Street ground & 2nd story bldg width min 70% of lot width 215' wide lot x .70 = 150.5' 150.5'-31.5' existing = 119' req'd	74' width	Not applicable because non conforming site. We are improving nonconformity per Tyler Sinclair.
Pedestrian Frontage 13'-6" min for trees in grates	13'-6"	complies
Setbacks Primary Street 0'-10' range	8'-6"	complies
Side Interior 5' min	72'-6" west, 31'-9" east	complies
Rear 10' min	228'-0"	complies
3rd Floor Stepback 10' min	15'-0"	complies
Parking Setback 30' min	30'-0"	complies
Parking Exist Lodging .75x82 units = 61.5 spaces Exist Short Term Rental 1.5 spaces Exist Basement ARU's & Empl Hsg = no parking req'd New Lodging .75x20 units = 15 spaces New Housing 2 units = no parking req'd 78 spaces required total	79 spaces	complies
Employee Housing Requirement Exist development - exempt New development 22,244 - 942 = 21,302 21,302 x .047 = 1001.2 1001.2 - 73.7 = 927.5 sf required	2 units in new basement 480+462= 942 sf provided (interior dimensions)	complies
Plant Units Landscaping requirement of 11,848 sf/1000 = 11.85 Plant Units Parking spaces 79/12 = 6.58 Plant Units Total Plant Units Required = 19	19 plant units	will be designed to comply

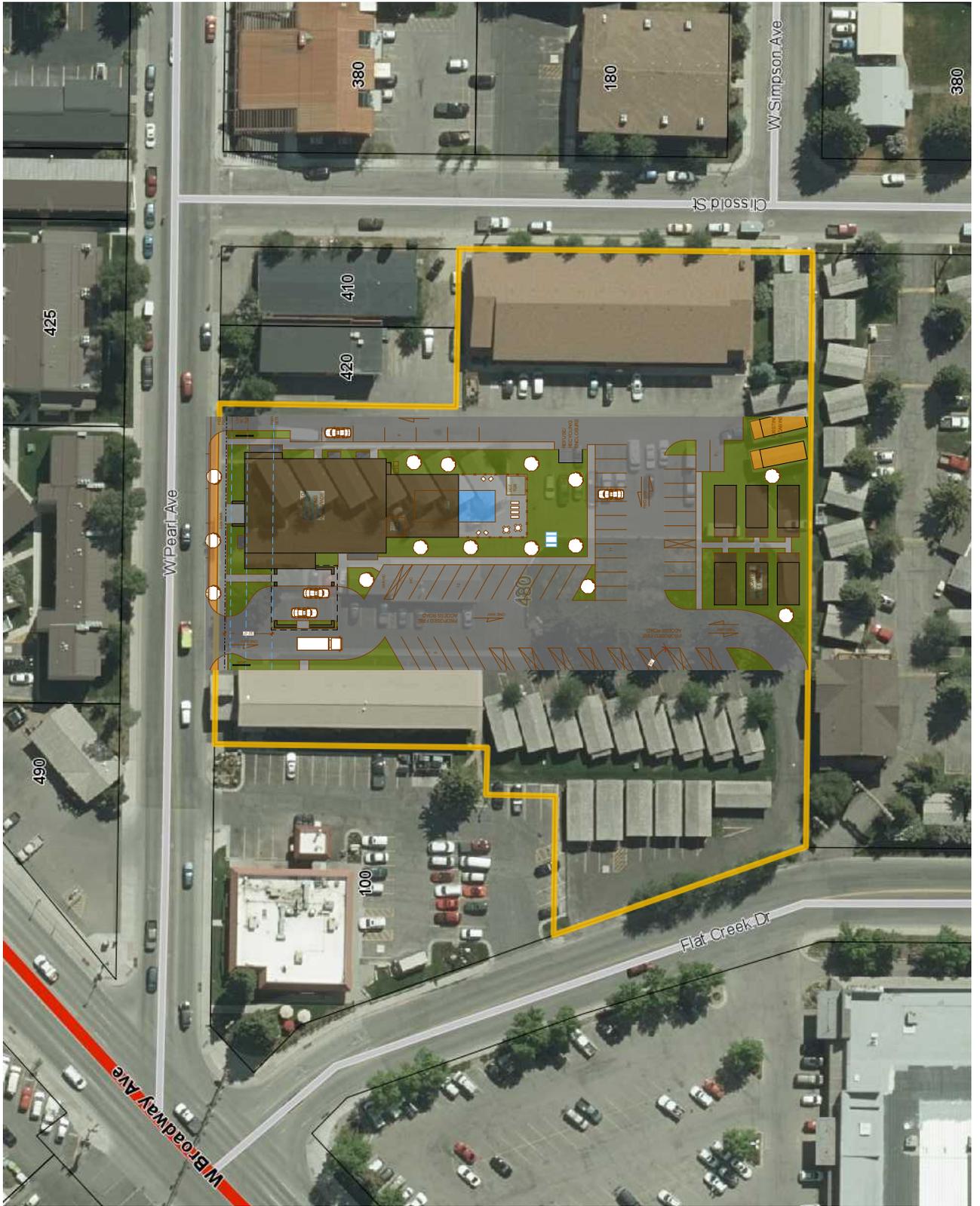
SITE AERIAL VIEW



PARKING SPACES:
 WEST CABINS 7 + 9
 SOUTH CABINS 9 + 2 + 11
 NEW BLDG 5 + 12 + 6
 SETTLER 16
 TOTAL 79 SPACES
 (79 SPACES REQUIRED)

SITE PLAN
 ELK COUNTRY INN

SITE AERIAL VIEW



**COPPER SHINGLES
TREATED FOR BLACK
APPEARANCE**



**STONE VENEER
FARMERS STONE**



**VERTICAL WOOD
SIDING DARK**



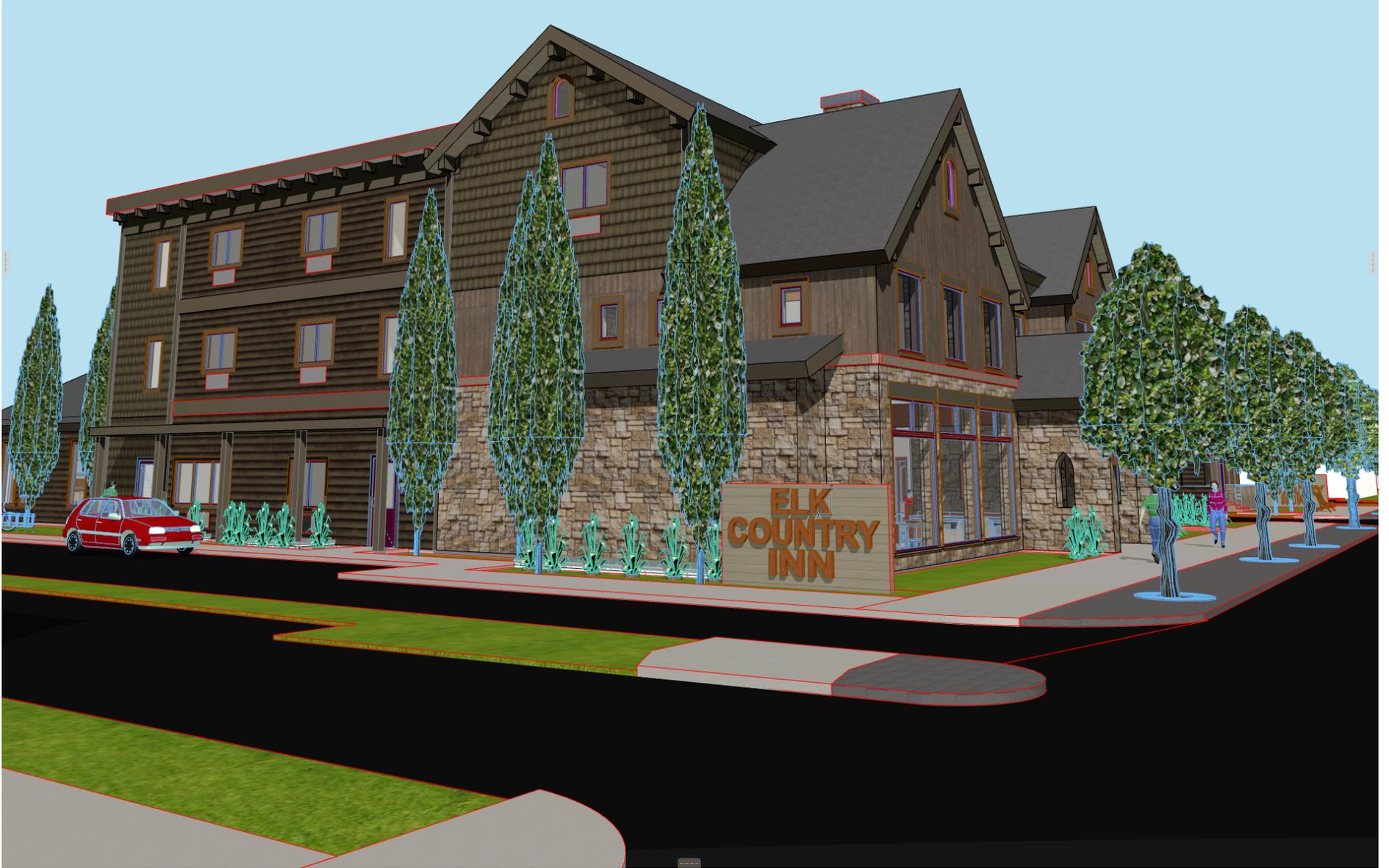
**HORIZONTAL WOOD
SIDING DARK**



**CEDAR SHINGLE SIDING
STAINED DARK TO MATCH
EXISTING BUILDING**



PEARL AVE NORTHWEST VIEW



PEARL AVE NORTHEAST VIEW



PEARL AVE PORTICO VIEW



NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION



WEST ELEVATION

HOUSING MITIGATION PLAN

CALCULATION OF REQUIRED EMPLOYEE HOUSING

Use	Square Footage	Standard	Requirement
New Lodging	22,244-942 = 21,302	0.047	1001.2 sf
Existing Lodging on Site	EXEMPT		

CREDITS ATTRIBUTED TO EXISTING DEVELOPMENT

Use	Square Footage	Standard	Credit
Existing Laundry Bldg to be removed	1230	0.047	57.81 sf
Existing Cabin to be removed	338	0.047	15.88 sf
Total	1568		73.7

Net Employee Housing Requirement $1001.2 - 73.7 = 927.5$ sf

Proposed Method of Meeting Requirement

The requirement will be satisfied by constructing **942 square feet** of employee housing on site. This housing will be under the control of the hotel and managed in compliance with the employee housing restrictions and guidelines.

Unit Type, Floor Plan

Attached is a conceptual floor plan showing the employee housing locations in the basement of the new building. This Housing Mitigation Plan is submitted as part of a Sketch Plan Application.

Proposed Deed Restriction

The applicant will work with the Jackson/Teton County Housing Authority to develop the applicable deed restriction. This Housing Mitigation Plan is being submitted as part of a Sketch Plan application and therefore the detailed deed restriction has not yet been developed. The deed restriction will be finalized and included as part of the final development plan application.

**TOWN OF JACKSON
EMPLOYEE HOUSING CALCULATIONS - (Fee in Lieu)**

Date: 2-18-18

1. Project Name: Elk Country Inn
2. Project Address/Location: 480 W. Pearl Ave
3. Existing Use: Conv. Lodging Proposed Use: Conv. Lodging
4. Calculate Employee Housing Requirements for Existing & Proposed Uses

	Floor Area (Sq. Ft.)	x	Sq. Ft. x Ratio*	.001		= Sq. Ft. of Employee Housing
Existing Use	<u>1568</u>		<u>.047</u>	.001		<u>73.7</u> (Credit)
Proposed Use	<u>22,244 - 942 = 21,302</u>		<u>x .047</u>	.001		<u>1001.2</u> (Requirement)

* Insert Ratio from Table on reverse side.

5. If the employee requirement for the proposed use is more than the credit for the existing use, subtract the credit from the requirement to calculate employee housing requirements for project.

Proposed Use Requirement.	-	Existing Use Credit.	=	Sq. Ft. of Employee Housing Req'd
<u>1001.2</u>		<u>73.7</u>		<u>927.5</u>

6. Submit Housing Mitigation Plan per Section 7.4.2.G or pay Fee-In-Lieu of housing per Section 7.4.2.F.3.

7. Fee in Lieu of Housing NA

Employee Housing Requirement	x	\$147.84	=	Fee-In-Lieu Payment
	x	\$147.84	=	

FINDINGS FOR APPROVAL

DEVELOPMENT PLAN

1. Is consistent with the desired future character described for the site in the Jackson/Teton County Comprehensive Plan.

This property is within Character District 2.3 within District 2: Town Commercial Core. The property is also within the Lodging Overlay. Below are descriptions of how the proposed development will meet each of the desired characteristics of the Comprehensive Plan.

a. Character: The building design seeks to convey an Old World European experience for a striking architectural design that will welcome visitors and enhance the town's character. This will be achieved with steep roof pitches, minimal roof overhangs, stone veneer, and a mix of traditional square, gothic and eyebrow windows. The proposed building location on the site currently houses 7 one story log cabins and one unattractive laundry/hot tub building which are representative of the existing varied and inconsistent character and built form in the Downtown area. These buildings will be replaced by a new 3 story structure with lodging on the second and third floors and guest services on the ground floor. This new building will upgrade this property to a high quality hotel with high end amenities. The new building will be stone exterior on the front 1/3 of the building and will use massing, pitched roofs, openings and step backs for a scale that is inviting and interesting from various view angles. The rear portion of the building will be traditional wood materials and will tie the building architecturally to the existing rustic materials on site.

b. Streetscape and Pedestrian: All parking will be on site to the sides and rear of the new building as called for in Section 2.2.4 CR-2 section of the LDRs. All parking will conform with the 30'-0" setback requirement and will be screened from view with landscaping. The pedestrian realm will be inviting with trees in grates in the pedestrian frontage and landscaping in the setback range. The building will be set back about 8'-6" from the pedestrian frontage area. The building facade will have a large window area at the breakfast lounge area to provide transparency and create an open and inviting atmosphere. The porte cochere will be set back the required 30'-0" and will therefore allow for additional landscape screening. It will also reduce the amount of asphalt visible from the street, eliminate one existing curb cut, and remove a number of nonconformities on the site.

c. Mixed Use: The existing and new development is located within the Lodging Overlay and is dedicated to the lodging use. The proposed building will contain guest services on the main level which will include a covered drop off, lobby, breakfast room, sitting area, exercise room and indoor/outdoor pool area. The basement will have the required employee housing units. The second floor will have a private meeting room for guest and employee use.

2. Achieves the standards and objective of the Natural Resource Overlay (NRO) and Scenic Resources Overlay (SRO), if applicable.

Not Applicable

3. Does not have a significant impact on public facilities and services, including transportation, potable water and wastewater facilities, parks, schools, police, fire and EMS facilities.

See attached Engineering Report which shows that there is no significant impact on transportation, potable water or wastewater. As a lodging use the proposed development will not affect schools and will not measurably affect parks, police, fire and EMS facilities.

4. Complies with the Town of Jackson Design Guidelines.

The Sketch Plan received unanimous approval from the Design Review Committee and the Final Development Plan will be submitted for further review by the Committee. The applicant will endeavor to address any additional comments the Committee may have.

The submitted plan complies with the Jackson form based zoning code and the pedestrian requirements along Pearl Avenue.

5. Complies with all relevant standards of these LDRs and other Town Ordinances as can be determined by the level of detail of a sketch plan.

See attached section on LDR Compliance and Responses to Checklist Items.

5. Is in substantial conformance with all standards or conditions of any prior applicable permits or approvals.

This proposal is in substantial conformance with all standards and conditions of prior applicable permits or approvals.

**APPENDIX A
LANDSCAPE
CALCULATIONS**

LDR's for Elk Country Inn			
LSR:	GSA x .10 118,843x0.10	Required 11,848.3 SF	Proposed 31,473.0 SF
Parking:		78	79
Plant Units:			
		11.848 LSR	(11,843.3/1000)
		6.5 Parking	(78/12)
		19.0 Required Plant Units	

Plant Units - Town of Jackson LDR's						
Plant Unit	Quantity	Description	Cost Ea.	Cost Total		
A	1	3" caliper deciduous tree	\$500	\$500		
	6	6'-8' large shrub	\$450	\$2,700		
	4	5 gallon shrub	\$65	\$260		
						\$3,460
B	2	3" caliper deciduous tree	\$500	\$1,000		
	2	6'-8' large shrub	\$450	\$900		
	2	8' evergreen tree	\$750	\$1,500		
						\$3,400
C	3	6'-8' large shrub	\$450	\$1,350		
	3	8' evergreen tree	\$750	\$2,250		
	2	5 gallon shrub	\$65	\$130		
						\$3,730
Average cost per plant unit:						\$3,530

Required Plant Material	Avg. Plant Unit Cost* 19 Required Plant Units =	\$67,070
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Elk County Inn

Plant Material to Remain on Site:						
Botanical Name	Common Name	Size	Quantity	Estimated Value	Total Value	
Trees:						
Picea pungens	Blue Spruce	8"	1	\$1,500.00	\$1,500.00	
Populus tremula 'Erecta'	Columnar Aspen	4"	1	\$425.00	\$425.00	
Populus tremula 'Erecta'	Columnar Aspen	1"	1	\$150.00	\$150.00	
Populus Tremuloides	Quaking Aspen	2"	1	\$180.00	\$180.00	
Populus Tremuloides	Quaking Aspen	4"	4	\$425.00	\$1,700.00	
Populus Tremuloides	Quaking Aspen	5"	3	\$515.00	\$1,545.00	
Populus Tremuloides	Quaking Aspen	6"	2	\$600.00	\$1,200.00	
Populus Tremuloides	Quaking Aspen	7"	7	\$700.00	\$4,900.00	
Populus Tremuloides	Quaking Aspen	8"	4	\$800.00	\$3,200.00	
Populus Tremuloides	Quaking Aspen	12"	4	\$1,200.00	\$4,800.00	
Shrubs:						
Cornus sericea	Red Twig Dogwood	4'	13	\$130.00	\$1,690.00	
Potentilla fruticosa	Bush Cinquefoil	10 gallon	16	\$115.00	\$1,840.00	
Salix bebbiana	Common willow	4'	10	\$130.00	\$1,300.00	
Ornamental Grasses:						
Calamagrostis	Feather Reed Grass	2 gallon	15	\$50.00	\$750.00	
						Existing Plant Material on Site:
						\$25,180.00

APPENDIX B ENGINEERING REPORT

**ELK COUNTRY INN
PROJECT
DEVELOPMENT PLAN
SUBMITTAL**

ENGINEERING REPORT

Prepared by:



**Project: 17-367-02
April 2018**

ENGINEERING REPORT

Introduction

This engineering report provides the basis for design and addresses the engineering related issues for the proposed construction of a 22,000 plus square foot structure and relocation of 6 existing lodging cabins. The new structure will contain a mix of lodging units, employee housing, lobby, exercise room, indoor/outdoor pool and management support rooms. The location of the proposed structure will be where currently 7 lodging cabins exist. The site is completely developed with little to no existing pervious surfacing or landscaping. There are several existing buried utilities serving several buildings on the property. Water and sanitary sewer facilities are provided to the property through Town of Jackson (TOJ) Systems. The level of detail includes the basic layout and general design elements. Design detail will advance as the plan moves into the construction permitting and construction phases of the project.

Soils and Groundwater Conditions

No geotechnical investigation has been performed on the site. Due to Nelson Engineering's experience in the area, groundwater is not expected to be encountered.

Access and Parking

Access to the site will be provided from Pearl Street. The main entrance will be just west of the proposed structure. The existing porte-cochere entrance on Pearl will be removed and the existing structure remodeled as the main check in location will be in the new structure. At this time there are 4 existing curb cuts along Pearl Avenue. These will be eliminated, there will be the main entrance curb cut and also a one way exiting the site access on the east side of the property. The neighboring property has an access that is close to this proposed one way access. A small landscape island will be maintained between the 2 entrances to separate the drives. In addition to the access off of Pearl Street, there will also be 2 way access off of Flat Creek Drive. This will require a new entrance and curb cut along Flat Creek. Access will be adequately marked throughout the development. Parking for the development will occur within the site as indicated on the site plan.

The street frontage along Pearl Street will comply with the Town of Jackson LDR's in regards to sidewalk requirements. A traffic impact statement is included in the Appendix comparing the existing trip generations from the site to a proposed future amount. As stated in that report it is assumed the project will generate some additional trips to and from the site but this increase percentage is fairly minimal.

Grading, Drainage, and Stormwater Management

Grading of the site will not alter the grades along Pearl Street or Flat Creek Drive. Curb and gutter will be removed in all the locations where the development runs up to the TOJ right of way. This will require curb replacement along with sidewalk installation. Grades of the replaced curb and gutter

will match the existing asphalt paving. Development of the site will leave little to no pervious surface. Storm water will be collected on the roofs and terraces of the development and conveyed to storm water detention on site. All retainage will occur within the development. The limited area which is not to be covered with a structure will be graded with drains installed to convey runoff to the collection system.

All existing stormwater runoff from the site either remains on site or sheet flows onto neighboring parcels and TOJ roadways. Based on TOJ regulations the proposed development is required to detain any additional runoff above and beyond the existing conditions. Preliminary stormwater calculations were performed and are included in the Appendix. Due to the proposed development having a longer time of concentration prior to leaving the site, the estimated runoff from a 100 yr storm event is just slightly higher than the existing 5.52 cfs compared to 5.26 cfs. Storm water will be collected on the roof of the new structure and various locations on the site and conveyed to TOJ right of way. Based on TOJ regulations which require the retention of any additional stormwater generated in the 100-yr storm event, as indicated in the calculations, a total of 6 cubic feet of storage would be required. This can easily be accommodated at various locations on the site. In discussions with the operations manager, the existing site does not have any drainage issues. They adequately remove snow throughout the winter which facilitates drainage though the development. The calculations included in the Appendix along with grading and stormwater management plans will be refined through the Grading and Erosion Control Permit process as the project develops.

Water System

The site is currently supplied water from at least 2 locations connecting to TOJ water mains. At this time there are 4 separate water meters measuring water use to the site and the numerous structures. There is currently a 12-inch water main in Pearl Street and an 8-inch main in Clissold Street which surround the development. Due to the location of the project being near the downtown core of the TOJ, all water main facilities are adequately sized and looped.

To verify the existing water facilities are sized adequately, proposed water flows, both domestic and fire were estimated for the development. Current proposed programming values for the development were utilized for the estimates. Assumptions on use based on the proposed programming of the development are included in the Appendix along with flow projection calculations. Water demands were calculated using the AWWA M22 method and estimated to be 136 gpm based on the estimated fixture unit counts for the development. Based on discussions with the TOJ and water system modeling it is expected that adequate capacity is available from the Town's water system.

Due to the size and proposed use of the development, the structures will require automatic fire sprinkler systems. Fire flow requirements were calculated utilizing NFPA 13, along with the proposed programming of the facility. Fire sprinkler flow requirements for the development sprinkler system are estimated to be 375 gpm. Due to the location of the development being in the core downtown area, it was assumed that additional exterior flow requirements would be needed in the event of a

fire. It is assumed that 2 additional fire flows of 1000 gpm would be required on adjacent fire hydrants. The building fire flow, along with the 2 exterior fire hydrant flows were simulated in the TOJ Water Model. Results of the modeling are included in the Appendix, which indicate that residual pressure within the water system at adjacent fire hydrants never dropped below 20 psi during a fire flow scenario, meeting Wyoming Department of Environmental Quality (WYDEQ) requirements.

Using the projected fire flow demands to the structures, the water service supplying the new large structure will need to be a 4-inch pipe up to the building where it will enter the building as the fire suppression line. Exterior to the structure a 2 ½" potable service line will connect with a shutoff valve exterior to the structure. The 4-inch service line will connect to the existing 4-inch water service which is fed off of Pearl Street and installed to the property line. This service was constructed by the TOJ in the Pearl Street Improvement Project completed within the past 15 years. Connection to this existing water service at the property line will eliminate the need to trench into Pearl Street. The relocated six cabins will be served from the existing service which comes off of Clissold Street. All proposed water system requirements are indicated on the Proposed Utility Plan located in the Appendix.

Sewer System

As can be noted from the existing site drawing located in the Appendix, there are 2 existing TOJ sewer mains which serve the property through various sewer services. There is an existing sewer main along the north side of the property in Pearl Street and another following along the west side of the property.

To size the proposed piping, the same assumed development programming was utilized as with the water system. Because there is little irrigation demand on the subject property, it can be assumed the water and sewer demands will be close to equal. Based on calculations, included in the Appendix for the water demands, the peak hourly sanitary sewer flow was estimated at 136 gpm. Using this flow and assuming minimum pipe slopes, a 6-inch gravity pipe would be adequate to serve the new proposed structure to a location where it is collected with other services as indicated on the plan. Due to the depth of the structure and sewer requirements in the basement of the new large structure, a collection system within the development will be required to convey flow to the TOJ system so that all sewage will flow by gravity. This collection system will consist of new sewer manholes and 8-inch collection mains. This system will collect sewer from the large new structure and also the relocated 6 cabins. From there it will convey flow to the TOJ collection system as indicated on the drawings. It is proposed that an existing 4-inch sewer service serving the 7 existing cabins would be abandoned at the main. Also a series of 4-inch service lines are proposed to collect wastewater from the relocated 6 cabins. The proposed utility plan indicates the changes to the sanitary sewer system.

Wire Utilities and Gas

Power and communication facilities are readily available throughout the area and to this specific location. There are several overhead and buried power and communication facilities surrounding the development. Power to the new proposed building would be supplied from a transformer just to the north of the existing Hotel "Settler". Gas would be supplied to the new building from a gas main

running along the south side of Pearl Street. Power to the 6 relocated cabins will be supplied from an existing vault just to the south of their proposed location. Continued coordination will be required with the project team and utility providers as the design develops.

Refuse, Garbage, Trash, and Recycling

Refuse, garbage, trash, and recycling will be kept in covered containers at all times. All containers will be kept within enclosed structures as indicated on the proposed site plan.

Snow Storage

Total area of parking and access drives as indicated on the site plan is approximately 44,070 sqft. The TOJ requires that area on the site be reserved for snow storage at a rate of 2.5% of the parking area. This results in 1100 square feet of required storage area. As noted on the drawing there are several locations of snow storage provided. Although, due to the nature of the development and the proposed amenities, all snow will be removed from the site in an expedited manner.

APPENDIX C

TRAFFIC ANALYSIS

TRAFFIC IMPACT ANALYSIS

**ELK COUNTRY INN PROJECT
DEVELOPMENT PLAN SUBMITTAL**

PREPARED BY

**NELSON
ENGINEERING** *since 1964*
Professional Engineers & Land Surveyors
WWW.NELSONENGINEERING.NET
PO Box 1599 | 430 South Cache St | Jackson, WY 83001
Jackson 307.733.2087 | Buffalo 307.684.7029

**APRIL 2018
17-367-02**

TRAFFIC IMPACT ANALYSIS

1. Proposed Project

The proposed project includes moving 6 existing cabins to an alternate location on site and the removal of one, also the construction of a 22,000 plus square foot building. The building includes a basement and 3 floors above grade. The facility will include 21 new lodging units, 2 employee housing units, lobby, breakfast room, exercise room, indoor/outdoor pool and the necessary maintenance and manage support rooms. The project will be located along Pearl Avenue within the Commercial Residential and is subject to the Lodging Overlay.

2. Impact Assessment Methodology

In order to perform any traffic impact assessment, the general methodology is to compare the traffic levels in an existing state with those of a projected situation. The Institute of Traffic Engineers has provided data and methodology that can be used to determine the number of trips generated from a property dependent on the usage. The differential in trips generated between the pre- and post-development conditions can be considered to be the impact caused by the development. Traffic counts provided by the Wyoming Department of Transportation (WYDOT) along the Highway 89 corridor will provide context for the volume of trips generated by the development. This preliminary traffic impact analysis will allow a general understanding of the traffic impacts due to the development.

3. Existing Trip Generation

The proposed project site currently contains Elk Country Inn, a lodging facility that includes hotel rooms and detached cabins along with associated housekeeping and employee housing. The P.M. peak hour for this type of land use generates the largest number of trips and will be used for the analysis and comparison. Hotels and motels have a relatively small amount of trip generation associated with them due to many users only contributing one trip as they return from the day's activities. As shown in the summary table below, the existing use of the property generates 61 trips during the P.M. peak hour.

EXISTING P.M. PEAK HOUR TRIP GENERATION

LAND USE	ITE LAND USE DESIGNATION CODE	ROOMS OR UNITS	P.M. PEAK HOUR TRIP GENERATION RATE	TRIP GENERATION
MOTEL (CABINS)	320	25	0.56	14.0
HOTEL	310	58	0.61	35.4
APARTMENTS (ARU AND SHORT TERM)	220	13	0.67	8.7
APARTMENTS (EMP HOUSING)	220	4	0.67	2.7
TOTAL				61

SOURCE: TRIP GENERATION RATES TAKEN FROM INSTITUTE OF TRANSPORTATION ENGINEERS (ITE) *TRIP GENERATION, 9TH EDITION*

4. Existing Traffic and Circulation

The Elk Country Inn street front is located on West Pearl Avenue approximately one block from a road of high traffic density (Broadway Avenue/US 26/89/198/191), as well as street front on West Pearl Street which currently sees a relatively large volume of traffic, particularly during peak summer tourist season. WYDOT provided traffic data for Broadway Avenue, a major north-south arterial one block to the west of the project. This data can be used to contextualize the amount of traffic that this neighborhood currently experiences. As shown in the appendix, the annual average daily traffic (AADT) on Broadway Avenue south of the Pearl Street intersection is 31,985 trips per day and 15,858 trips per day north of the intersection (between Pearl and Cache). Applying the Design Hourly Volume (DHV) to the lesser of the two figures as a conservative example yields a peak hour design volume of roughly 2,380 trips per hour.

The trips generated by the existing uses on the subject property can use either the dedicated enter and exit lanes on Pearl Street, or the shared parking area with the adjacent property to the west. A small number of users will use an existing entrance from Flat Creek Drive to access cabin units in the southwest corner of the property.

5. Proposed Trip Generation

The Development Plan for the subject property indicates a new 21-room hotel building. The hotel will include facilities associated with lodging including a breakfast area and a small amount of retail and meeting space. The trip generation calculations for hotels assume meeting space within and it does not need to be calculated independently. Two additional units of employee housing

will also be provided. For the purposes of this analysis, the breakfast area and small gift shop do not contribute any further trip generation in addition to the hotel use. As shown in the table below, the proposed uses of the property generate 75 trips during the P.M. peak hour.

PROPOSED P.M. PEAK HOUR TRIP GENERATION

LAND USE	ITE LAND USE DESIGNATION CODE	ROOMS OR UNITS	P.M. PEAK HOUR TRIP GENERATION RATE	TRIP GENERATION
MOTEL (CABINS)	320	24	0.56	13.4
HOTEL	310	78	0.61	48.0
APARTMENTS (ARU AND SHORT TERM)	220	13	0.67	8.7
APARTMENTS (EMP HOUSING)	220	6	0.67	4.0
TOTAL				75

SOURCE: TRIP GENERATION RATES TAKEN FROM INSTITUTE OF TRANSPORTATION ENGINEERS (ITE) *TRIP GENERATION, 9TH EDITION*

6. Proposed Traffic and Circulation

A comparison of the existing to the proposed condition shows an anticipated increase of 14 trips during the P.M. peak hour for an increase of roughly 23% over existing conditions. The hotel currently generates once-daily exit/entry of the average hotel guest. The proposed development is expected to only slightly augment the current trip generation, and is expected to remain similar in nature. As with many lodging facilities in the areas near downtown, some hotel guests won't need to use an automobile in order to access typical tourist attractions such as shopping, restaurants, and local parks. The additional 14 trips per hour created by this development will be easily absorbed into a network that currently handles 2,380 trips per hour.

Currently, there are four curb cuts on Pearl Street used for hotel entry and exit. The development proposes to replace these curb cuts with two new curb cuts and create a frontage that conforms to current Town of Jackson Land Development Regulations.

7. Alternative Modes Analysis

Due to the proximity of the project location to the downtown core district, it is anticipated that many hotel guests will utilize existing pedestrian walkways often during their stay at the hotel. The proposed bike share program will add to the ability of a visitor to travel the downtown core district without using an automobile. The project location is also very conducive to the use of public transportation by local employees travelling to work or for the hotel guest on a day trip. There are six START bus stops providing direct or connecting service on all lines in both directions within one-quarter mile of the property, the acceptable distance a pedestrian is expected to walk in order to use public transit. No trip reduction was assumed due to the project's proximity to the downtown core district or public transportation; the discussion is included to further illustrate the minimal impact of the development on neighborhood traffic, particularly during peak summer tourist season.

APPENDIX D
WYDOT TRAFFIC COUNT

WYDOT Traffic Data

November 29, 2017

County: Teton

Location: Jackson Corp Limits

RM: 153.920 – 154.070

2015 AADT: 31,985

FC: 2

Percent Trucks: 5.8%

DHV: 15.0%

County: Teton

Location: JCT Pearl Street

RM: 154.070-154.480

Pear Street to Cache

2015 AADT: 15,858

FC: 2

Percent Trucks: 5.8%

DHV: 15.0%

APPENDIX E

STORMWATER CALCULATIONS

PRE-DEVELOPMENT

ROOF CALCULATIONS

ROOF AREA (FT ²)=	27228	
C-VALUE =	0.9	
S =	33%	assume 4/12 pitch
L (ft) =	428	ridge pitch
tc (min) =	2.32	tc = 1.8(1.1 - C)L ^{0.5} /S ^{0.3333} , (Corps of Eng. Eqn.)

DRIVEWAY CALCULATIONS

DRIVEWAY AREA (FT ²)=	65300	
C-VALUE =	0.9	assumed for asphalt surface
S =	2%	based on surface slopes
L (ft) =	12	
tc (min) =	0.99	tc = 1.8(1.1 - C)L ^{0.5} /S ^{0.3333} , (Corps of Eng. Eqn.)

LANDSCAPING CALCULATIONS

LANDSCAPING AREA (FT ²)	26176	
C-VALUE =	0.3	
S =	2%	
L (ft) =	23	
tc (min) =	5.48	tc = 1.8(1.1 - C)L ^{0.5} /S ^{0.3333} , (Corps of Eng. Eqn.)

Total Time of Conc., Tc =	8.79	min
Composite Cc =	0.77	
Total Area, At =	118704	ft²

TABLE 4920.B
JACKSON IDF* CURVE DATA - 100-YR STORM EVENT

DURATION, T _d (min)	INTENSITY, I (in/hr)	
0	3.70	assumes this portion of graph is linear
5	3	
10	2.33	
15	1.9	
20	1.65	
30	1.3	
40	1.08	
50	0.95	
60	0.82	
70	0.74	
80	0.65	
90	0.61	
100	0.56	
110	0.52	
120	0.48	

Initial Flow Rate, Q_i (cfs) = 5.26 cfs at tc= 8.79 min

$$Q_i = C_c * I * A_t / (43200)$$

where,

Composite C _c =	0.77	
Intensity, I =	2.49	in/hr at T _d = 8.79 min
Total Area, A _t =	118704	ft ²

POST-DEVELOPMENT

ROOF CALCULATIONS

ROOF AREA (FT ²)	34773	
C-VALUE =	0.9	
S =	30%	
L (ft) =	12	assumed longest run to roof drain
tc (min) =	0.40	tc = 1.8(1.1 - C)L ^{0.5} /S ^{0.3333} , (Corps of Eng. Eqn.)

DRIVEWAY CALCULATIONS

DRIVEWAY AREA (FT ²)	58158	
C-VALUE =	0.9	
S =	2%	
L (ft) =	473	
tc (min) =	6.21	tc = 1.8(1.1 - C)L ^{0.5} /S ^{0.3333} , (Corps of Eng. Eqn.)

LAWN CALCULATIONS

LAWN AREA (FT ²)	25772	
C-VALUE =	0.3	
S =	2%	
L (ft) =	0	
tc (min) =	0.00	tc = 1.8(1.1 - C)L ^{0.5} /S ^{0.3333} , (Corps of Eng. Eqn.)

Tc Pipe flow (min) = 1.31 tc = L(ft)/V(fps)/60 10" and 4" segments assumed

Total Time of Conc., Tc = 7.92 min
Composite Cc = 0.77
Total Area, At = 118703 ft²

TABLE 4920.B
JACKSON IDF* CURVE DATA - 100-YR STORM EVENT

DURATION, T _d (min)	INTENSITY, I (in/hr)	
0	3.70	assumes this portion of graph is linear
5	3	
10	2.33	
15	1.9	
20	1.65	
30	1.3	
40	1.08	
50	0.95	
60	0.82	
70	0.74	
80	0.65	
90	0.61	
100	0.56	
110	0.52	
120	0.48	

Final Flow Rate, Q_f (cfs) = 5.52 cfs at tc = 7.92 min

$$Q_f = C_c * I * A_t / (43200)$$

where,

Composite C_c = 0.77
 Intensity, I = 2.61 in/hr at T_d = 7.92 min
 Total Area, A_t = 118703 ft²

Post and Pre-Development Diff = **0.26** cfs

TABLE 1

DURATION, T _d (min)	INTENSITY, I (in/hr)	Design Flow, Q _d (ft ³ /s)	Design Storage Volume, V _d (ft ³)
2	3.40	7.195	-441
3	3.27	6.912	-301
4	3.13	6.629	-188
5	3	6.345	-102
6	2.87	6.062	-42
7	2.73	5.778	-7
8	2.60	5.495	6
9	2.46	5.211	-3
10	2.33	4.928	-30
15	1.9	4.019	-344
20	1.65	3.490	-855
30	1.3	2.750	-2234
40	1.08	2.284	-3881
50	0.95	2.009	-5702

TABLE 1 EQUATIONS: $Q_d = C_c \cdot I \cdot A_t / (43200)$

$$V_d = (Q_d - Q_i) \cdot ((Q_d - Q_i) / Q_r \cdot T_d) \cdot 60$$

Where,

Composite C_c = 0.77
 Intensity, I = 2.61 in/hr
 Total Area, A_t = 118703 ft²
 Final Flow Rate, Q_d (cfs) = 5.52 cfs at t_c = 7.92 min
 Initial Flow Rate, Q_i (cfs) = 5.26 cfs at t_c = 8.79 min
 Duration, T_d = 7.92 (min)

Storage Volume = 6 ft³, or 45 gallons
Dry Bottom Basins to be Utilized for Stormwater Detention

APPENDIX F

WATER AND SEWER DEMANDS

Domestic Water Flows

Wastewater flows assumed to match domestic water demand due to minimal landscape areas

Description of Improvements:

See attached sheet for anticipated fixture counts

Estimating Domestic Max. Demand

*Calculations are based on methods outlined in the AWWA, "Sizing Water Service Lines and Meters" manual.

**Domestic Water Demand for Facility Given Specified Fixtures
 Assume Average Residential Fixture Value (AWWA M2)**

Fixture Type	Fixture Value Based on 35 psi at Meter Outlet	Number of Fixtures	Fixture Value
Bathtub	8	28	224
Combined Sink & Tray	3		0
Drinking Fountain (cooler)	1		0
Drinking Fountain (public)	2	1	2
Kitchen Sink (1/2" connection)	3	1	3
Kitchen Sink (3/4" connection)	7		0
Lavatory (3/8" connection)	2		0
Lavatory (1/2" connection)	4		0
Laundry Tray (1/2" connection)	3		0
Laundry Tray (3/4" connection)	7		0
Shower Head (shower only)	4		0
Service Sink (1/2" connection)	3		0
Service Sink (3/4" connection)	7		0
Urinal (pedestal flush valve)	35		0
Urinal (wall or stall)	12	0	0
Urinal (trough, 2-ft unit)	2		0
Wash Sink (each set of faucets)	4	29	116
Water Closet (flush valve)	35	4	140
Water Closet (tank type)	3	27	81
Dishwasher (1/2" connection)	5	0	0
Dishwasher (3/4" connection)	10		0
Washing Machine (1/2" connection)	5		0
Washing Machine (3/4" connection)	12		0
Washing Machine (1" connection)	25	4	100
Hose Connections 1/2" (wash down)	6		0
Hose Connections 3/4" (wash down)	10		0
Hose 1/2" (50ft length - wash down)	6	0	0
Hose 5/8" (50ft length - wash down)	9		0
Hose 3/4" (50ft length - wash down)	12		0
Irrigation	3		0
		Total Fixture Units	666

Base on Fixture Count of 666 using the upper line in Fig. 4.4 for a public building the estimated Maximum Water Demand is 105 gpm.

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SIZING WATER SERVICE LINES AND METERS

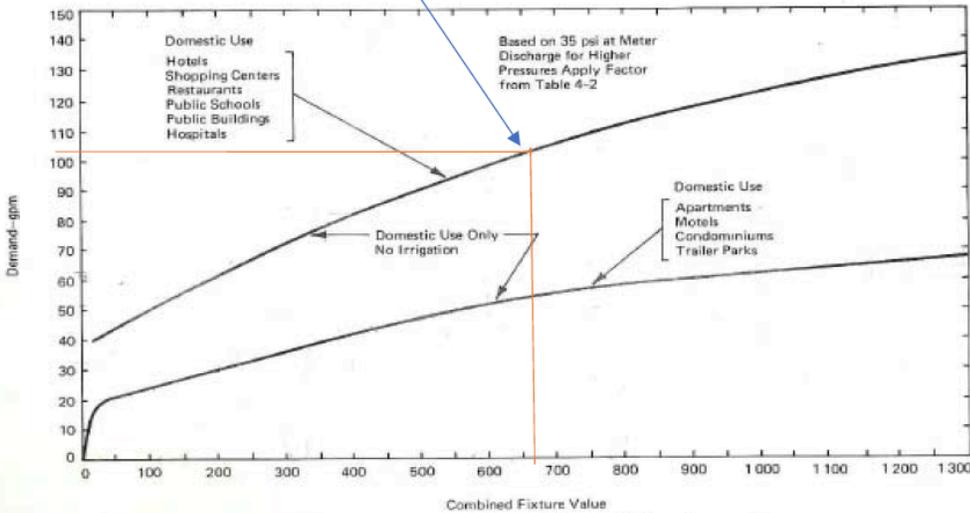


Fig. 4.4. Water-Flow Demand per Fixture Value—Low Range

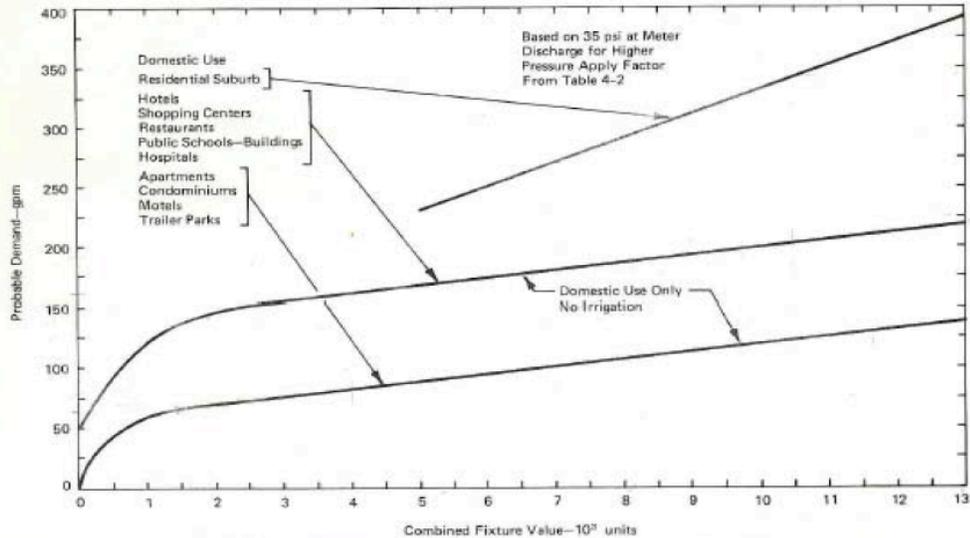


Fig. 4.5. Water-Flow Demand per Fixture Value—High Range

detailed lists of fixtures before estimates can be prepared. If the structure is in the planning stage, the mechanical engineer or architect is the best source of information, and, if construction is underway, the plumbing contractor or the building permits section of the city will have the information. Field trips by the estimator are often necessary to assist the customer as well as to properly assess the project when

Calculate Demands Based on Estimated System Pressure

Est. Max. Demand	105	gpm	
Pressures at Nearest Meter	67.9	psi	(Estimated)
Elevation at Meter	6214	ft	(Estimated)
F.F. of 3rd Floor Hotel	6242	ft	
Pressure at 3rd Floor	55.8	psi	

Table 4.2 (for pressures other than 35 psi)

Design Pressure	Factor
20	0.74
30	0.92
35	1
40	1.07
50	1.22
60	1.34
70	1.46
80	1.57
90	1.68
100	1.78

For Pressures Deviating from 35 psi

Est. Pressure (psi)	55.8	psi	
Demand @ Est Pressure	135.67	gpm	Max Demand/flow

Elk Country Inn
 Fixture Unit Analysis - Fixture Counts

17-367-01
 11-28-17
 MB

Rooms	Number of Each	Bath	Fountain	Kitchen Sink	Urinal	Wash Sink	Water Closet	Water Closet (tank)	Dishwasher	Washing Machine	Hose	Bath	Fountain	Kitchen Sink	Urinal	Wash Sink	Water Closet	Water Closet (tank)	Dishwasher	Washing Machine	Hose		
Lodging Room	22	1				1		1				22		0	0	0	0	22	0	0	0	0	
Laundry	1									4		0		0	0	0	0	0				4	0
Food Prep	1			1								0		0	1	0	0	0	0	0	0	0	0
Bathrooms	3					1		1				0		0	0	0	0	3	0	0	0	0	0
showers	2	1					1					2		0	0	0	0	0	2	0	0	0	0
Vending/Ice	1		1									0	1	0	0	0	0	0	0	0	0	0	0
Spa	2	2					2					4	0	0	0	0	4	0	0	0	0	0	0
TOTALS												28	1	1	1	0	29	4	27	0	4	0	0

APPENDIX G

FIRE FLOW ANALYSIS

Fire Sprinkler Flows

Hazard Classification

Ordinary Hazard (G2) Occupancies per NFPA 13, Section 5.2

Building Area:

Guest Rooms	7,410
Food and Beverage	840
Meeting/Banquet	795 Light Hazard
Fitness	390
Retail	88 Ordinary Hazard Group 2
Lobby/Reception	1,330
Housekeeping/Linens	676 Ordinary Hazard Group 1
Restrooms	256 Light Hazard
Indoor Pool Area	1,840
Hotel Total	21,217 sf

Room areas above does not account for corridors, vending, mechanical, storage, etc. The total area is provided less the employee housing areas

Employee Housing Basement	1,027
Employee Housing Total	1,027 sf

Minimum Flow for Hose Connection 250 gpm per NFPA 13, Table 11.2.3.1.2

Utilize Early Suppression Fast-Response Sprinklers (ESFR) per Section 4-4.6

Actual Design Area	676 Laundry and Linens Storage OH-1
Required Flow	
Required Density	0.15 gpm/sf per NFPA 13, Figure 11.2.3.1.1
Sprinkler Demand	118 gpm (15-20% Overage)
Required Flow (sprinkler and hose)	368 gpm - 11.1.4.2
Static Pressure at Fire Sprinklers	55.8 psi @ design height (Estimated)
Dynamic Pressure at Fire Flow	44.40 psi @ design height - includes 370 gpm fire sprinkler and (2) 1000 gpm fire hydrant demand

Other Notes:

Per Table 11.2.2.1, acceptable flows at base of riser are 850-1500 gpm for 60 to 90 minutes

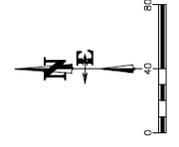
DRAWING NO. 17-967-02
 JOB NO. JACKSON, WY
 JOB TITLE ELK COUNTRY INN
 4490 WEST PEARL AVENUE

DRAWING TITLE WATER MODEL EXHIBIT

DATE 11/28/2017
 SURVEYED
 ENGINEERED
 DRAWN
 CHECKED
 APPROVED
 P.O. BOX 1599, JACKSON WYOMING (307) 733-2087

NELSON ENGINEERING

REV. 11/28/2017



Summary of Hydraulic Model Results			
Elk Country Inn			
WaterCAD V8i - Town of Jackson 2013 model			
Deloney Street Fire Flow			
Location	Total Demand	Residual Pressure	Junction Label
	<u>gpm</u>	<u>psi</u>	
Corner of Clissold and Pearl	1,165	53.7	J-125
Point of connection	370	56.6	POINT OF CONNECTION
North Side of Pearl	1,000	55.0	Hydrant
*See Exhibit for Hydrant Locations			

**APPENDIX H
DRAFT DEED RESTRICTION**

**Special Restrictions
for Employee Housing
Located at Type Address, The Town of Jackson**

These Special Restrictions for Employee Housing (the "Special Restrictions"), are made and entered into this ___ day of _____, 20__, by the undersigned Declarant ("Declarant").

RECITALS:

WHEREAS, the Declarant holds fee ownership interest in that certain real property, located in the Town of Jackson Wyoming, and more specifically described as follows:

Click here to add legal description of property.

PIN: Click here to type PIDN #(the "Land");

WHEREAS, as a condition of its approval for permit #Click here to enter Permit #. (the "FDP Approval"), the Declarant is providing employee housing for Click here to enter SF requirement. square feet or the equivalent of one (1) unit of employee housing, as follows:

Click here to enter description of Approval and Units provided. e.g.: *The Final Development Plan application for 115 East Pearl, Jackson, Wyoming was for an 18,855 square foot retail/service, office, and residential building. It generated the requirement to provide (requirement) 450 square feet of Employee Housing (the "Residential Unit"). The declarant wishes to restrict unit 301, a 450 square foot studio apartment.*

WHEREAS, in furtherance of the goals, objectives, requirements and conditions of the Click here to enter type of approval e.g. CUP, PUD, FDP or other Approval, and consistent with the Town of Jackson's goal of providing decent, safe and sanitary housing to qualified employees working in Teton County, Wyoming, that is affordable, Declarant agreed to restrict the use and occupancy of the Residential Unit to a "Qualified Household", which meets employment, income and asset ownership qualifications as set forth herein; and

WHEREAS, in accordance with the FDP Approval, the Residential Unit is intended to address the need for rental housing for employees in Teton County, Wyoming and therefore Declarant agrees it will not be owner-occupied.

WHEREAS, Declarant desires to adopt these Special Restrictions and declare that the Land and the Residential Unit (sometimes collectively referred to herein as the "Property") shall be held, sold, and conveyed in perpetuity subject to these Special Restrictions, which Special Restrictions shall be in addition to all other covenants, conditions or restrictions of record affecting the Property, and shall be enforceable by the Jackson/ Teton County Housing Authority, a duly constituted Housing Authority pursuant to W.S. §15-10-116, as amended, and its successors or assigns (collectively, "JTCHA"), the Jackson/Teton County Affordable Housing Department (the "Housing Department"), and the Town of Jackson, Wyoming;

RESTRICTIONS:

NOW, THEREFORE, in satisfaction of the conditions in the FDP Approval, and in consideration of such FDP Approval and the foregoing Recitals, which are incorporated herein by this reference, Declarant hereby declares, covenants and agrees for itself and each and every person acquiring ownership of the Residential Unit, that the Land and Residential Unit shall be held, used, occupied, developed, transferred and conveyed subject to the following Special Restrictions in perpetuity:

SECTION 1. JACKSON/TETON COUNTY HOUSING RULES AND REGULATIONS (GUIDELINES). References made herein to the Housing Rules and Regulations and/or Guidelines or are references to the written Rules and Regulations of JTCHA and/or the Housing Department, as the same may be amended, modified, or updated from time to time and which policies, procedures, and guidelines are on file with the Housing Department or otherwise with the Town of Jackson, Wyoming, or if there are no such written policies, procedures or guidelines (or a written policy, procedure or guideline with respect to a specific matter) then the reference shall be to the current applied policy or policies of JTCHA and/or the Housing Department (the "Guidelines"). Procedural and administrative matters not otherwise addressed in these Special Restrictions shall be as set forth in the Rules and Regulations.

SECTION 2. RESTRICTIONS ON OCCUPANCY AND USE OF RESIDENTIAL UNIT. Occupancy and use of the Residential Unit shall be restricted as follows:

- A. Qualified Household. The use and occupancy of the Residential Unit shall be limited to a "Qualified Household", defined as follows:
 - 1. Employment. At least one member of the household must demonstrate on average thirty (30) hours per week of employment or volunteer work in Teton

County, Wyoming, for a profit or non-profit employer(s), respectively, physically located in Teton County, Wyoming.

2. Income Restriction. The Qualified Household shall not earn more than one hundred twenty percent (120%) of the median household income in Teton County, Wyoming, as determined by the current year's published Federal Department of Housing & Urban Development median income chart for Teton County, Wyoming (the "Income Cap").

3. No Teton County Residential Real Estate. No member of the Qualified Household may own (whether individually, in trust, or through an entity including without limitation a partnership, limited partnership, limited liability company, corporation, association, or the like) residential real estate in The Town of Jackson, Wyoming.

4. Determination by the Housing Department. The Housing Department shall determine whether a prospective tenant is a Qualified Household. In addition to any requirements set forth in the Rules and Regulations, such determinations shall be based upon written applications, representations, information and verification as are deemed by the Housing Department to be necessary to establish and substantiate eligibility.

5. Continuing Obligation to Remain a Qualified Household. The occupants of the Residential Unit shall satisfy the definition of a Qualified Household at all times during the occupancy of the Residential Unit.

No owner of the Residential Unit, prospective purchaser of the Residential Unit, Tenant, renter or occupant, or other party shall have the right to sue or bring other legal process against the Town of Jackson, Wyoming, JTCHA or the Housing Department, or any person affiliated with the Town of Jackson, Wyoming, JTCHA or the Housing Department arising out of these Special Restrictions, and neither shall the Town of Jackson, Wyoming, JTCHA or the Housing Department have any liability to any person aggrieved by the decision of the Town of Jackson, Wyoming, JTCHA or the Housing Department regarding qualification of a Qualified Household or any other matter relating to these Special Restrictions.

B. No Owner Occupancy. No owner shall reside in or occupy the Residential Unit. For purposes of this paragraph, if an owner is an entity (including without limitation, a partnership, limited partnership, Limited Liability Company, corporation, association, or other) or a trust, this prohibition on owner-occupancy shall extend to any partner, member, shareholder, other principal or owner of the entity, or trustee or beneficiary of the trust.

C. Household Composition. Only members of the Qualified Household may occupy a Residential Unit, except that the owner may restrict who may reside in a Residential Unit, provided that such owner-restriction does not violate Federal or state fair housing laws. Notwithstanding the foregoing, occupancy of the Residential Unit shall be in compliance with any and all building codes (or other relevant law, code, statute, ordinance or the like) regarding maximum occupancy standards or limitations.

D. Rental. Occupancy of the Residential Unit shall be pursuant to a written lease, the form of which may be approved by Housing Department as it may require. At all times, the Residential Unit shall remain a rental unit for Qualified Households. The owner of the Residential Unit shall obtain written verification of income, asset ownership, and employment in Teton County, Wyoming for each Qualified Household proposing to rent the Residential Unit prior to such Household's occupancy, and upon each extension or renewal of any lease therefore.

E. Rental Term. The Residential Unit shall be offered for rent in periods of not less than one (1) month. No Residential Unit shall be used as a guest house or guest facility.

F. Rental Rates. The rental rates for the Residential Unit shall not be greater than the current Fair Market Rent Assessment numbers for Teton County, Wyoming, as provided by the U.S. Department of Housing and Urban Development (HUD) and maintained by the Housing Department. For purposes of applying the Fair Market Rent Assessment numbers for Teton County, Wyoming published by HUD to the Residential Unit, a dorm-style or studio Residential Unit shall be considered a "studio". The rent charged must include basic utilities (electric, gas, water, sewer) and trash removal. Notwithstanding the foregoing to the contrary, the rental rates charged by the owner may at any time be less than the applicable Fair Market Rent Assessment.

G. Vacancies. The Residential Unit may be vacant intermittently between tenancies to allow for proper verification, advertisement for Qualified Households and reasonable maintenance. However, no Residential Unit shall be vacant for a period greater than sixty (60) days, unless authorized by Housing Department. If any Residential Unit remains vacant for more than sixty (60) days without approval, then the Housing Department shall have the right, but not the obligation to identify a Qualified Household to rent the Residential Unit. Anything herein and above notwithstanding, the owner shall have the right to deny occupancy to any proposed tenant who in its reasonable discretion does not meet owner's standard for occupancy, so long as such denial does not violate Federal or state fair housing laws.

H. Compliance with Laws, Declaration. The Residential Unit shall be occupied in full compliance with all laws, statutes, codes, rules, or regulations, covenants, conditions and restrictions, and all supplements and amendments thereto, and any other rules and regulations of any applicable homeowners association, as the same may be adopted from time to time.

I. Maintenance. The owner shall be responsible for the cost and expense to keep and maintain the interior of the Residential Unit and all other aspects of the Residential Unit not otherwise maintained by a homeowners association in a safe, decent and sanitary condition. In the event the owner fails to maintain the Residential Unit in a safe, decent and sanitary condition and such condition continues for fourteen (14) days after notice from the Housing Department, the Housing Department shall have the right but not the obligation to enter the Residential Unit and repair such condition and owner shall reimburse Housing Department for such reasonable repair costs. Payment to Housing Department from the owner shall be due upon receipt of invoice.

J. Insurance. The owner shall cause the Residential Unit to be continuously insured against "all risks" of physical loss (not otherwise covered by a homeowners association insurance), for the full replacement value of the Residential Unit

K. Periodic Reporting, Inspection. In order to confirm compliance with these Special Restrictions, each owner shall comply, and cause its tenants to comply, with any reporting or inspection requirements as set forth herein and as may be required by the Housing Department from time to time. Upon reasonable notice to owner, the Housing Department shall have the right to inspect the Residential Unit from time to time to determine compliance with these Special Restrictions and to review the written records required to be maintained by Owner. Owner shall maintain such records for a period of two (2) years.

L. Preference. The owner, at such owner's option may give first priority to rent the Residential Unit to Qualified Households of which a member of the Household is an employee of the owner. In the event there are no persons directly employed by the owner to whom the owner desire to rent the Residential Unit, then the owner may rent to any Qualified Household.

Notwithstanding the foregoing, the Housing Department may approve uses inconsistent with this Section in accordance with the Rules and Regulations.

SECTION 3. TERMINATION AND MODIFICATION OF SPECIAL RESTRICTIONS.

A. Termination. These Special Restrictions may be terminated after a determination by the Town of Jackson, Wyoming that these Special Restrictions are no longer consistent with the goal of providing housing affordable to employees in Teton County, Wyoming and that they should therefore be terminated.

B. Amendment. These Special Restrictions may be amended, in whole or in part, as follows:

1. With the written consent of the owner of the Residential Unit, the Housing Manager for the Housing Department, and the Planning Director for the Town of Jackson, Wyoming.
2. The Housing Department may unilaterally modify these Special Restrictions (i) to provide clarification to any provisions hereto which may be unclear or subject to differing interpretations, (ii) to correct any errors identified herein, or (iii) where the Housing Department deems such modification necessary to effectuate the purposes and intent of the Special Restrictions or the goals of the Town of Jackson in providing decent, safe and affordable housing, and where such modification does not, in the Housing Department's reasonable discretion, materially impair the owner rights.

SECTION 4. VIOLATION. In the event of a violation of these Special Restrictions, the Housing Department shall send written notice to the owner of such violation, the required action to cure and the timing for such cure. If the owner disputes the violation, the owner shall proceed in accordance with the Rules and Regulations. JTCHA, the Housing Department and the Town of Jackson shall have the right of specific performance of these Special Restrictions and the right to obtain from any court of competent jurisdiction a temporary restraining order, preliminary injunction and permanent injunction to obtain such performance. Any equitable relief provided for herein may be sought singly or in combination with such other remedies as JTCHA, the Housing Department and the Town of Jackson may be entitled to, either pursuant to these Special Restrictions or under the laws of the State of Wyoming.

SECTION 5. SPECIAL RESTRICTIONS AS COVENANT. These Special Restrictions shall constitute covenants running with the Land and the Residential Unit, as a burden thereon, and shall be binding on all parties having any right, title, or interest in the Land, the Residential Unit, or any part thereof, their heirs, devisees, successors and assigns, and shall inure to the benefit of and shall be enforceable by JTCHA, the Housing Department and the Town of Jackson.

SECTION 6. NOTICES. Any notice, consent or approval which is required to be given hereunder shall be in writing and when to an owner shall be deemed given by mailing the same, certified mail, return receipt requested, properly addressed and with postage fully prepaid to the owner's mailing address as provided to the Housing Department or such address as is on record with the Teton County Assessor. Any notice which is required to be given hereunder to JTCHA or the Housing Department shall be given by mailing the same, certified mail, return receipt requested, properly addressed and with postage fully prepaid to either JTCHA or the Housing Department, P.O. Box 714, Jackson, WY 83001. Alternatively, notice may be hand delivered, but any such hand delivery shall require a signed receipt from the owner or Housing Manager of the Housing Department, respectively, evidencing the same. Failure of either party to pick up and/or sign for a certified mailing does not constitute failure to provide notice provided it was properly addressed and evidence of that mailing is retained. In the event of notice by mailing, notice shall be deemed given when deposited in the U.S. Mail.

SECTION 7. ATTORNEY'S FEES. In the event any party shall be required to retain counsel and file suit for the purpose of enforcing the terms and conditions of these Special Restrictions, the prevailing party shall be entitled to recover, in addition to any other relief recovered, a reasonable sum as determined by the court for attorney's fees and costs of litigation.

SECTION 8. CHOICE OF LAW, FORUM. These Special Restrictions and each and every related document, are to be governed by and construed in accordance with the laws of the State of Wyoming. The parties agree that the appropriate court in Teton County, Wyoming and/or the Ninth Judicial District for the State of Wyoming shall have sole and exclusive jurisdiction over any dispute, claim, or controversy which may arise involving these Special Restrictions or its subject matter

SECTION 9. SEVERABILITY. Each provision of these Special Restrictions and any other related document shall be interpreted in such a manner as to be valid under applicable law; but, if any provision, or any portion thereof, of any of the foregoing shall be found by a court of competent jurisdiction to be invalid or prohibited under said applicable law, such provision shall be deemed modified to the extent necessary and possible to render it valid and enforceable and the rights and restrictions set forth herein shall be construed and enforced accordingly, preserving to the fullest extent the intent of these Special Restrictions as set forth herein; , or if such modification is not possible, such provision shall be ineffective to the extent of such invalidity or prohibition without invalidating the remaining provision(s) of these Special Restrictions.

SECTION 10. SECTION HEADINGS. Paragraph or section headings within these Special Restrictions are inserted solely for convenience or reference, and are not intended to, and

shall not govern, limit or aid in the construction of any terms or provisions contained herein.

SECTION 11. WAIVER. No claim of waiver, consent or acquiescence with respect to any provision of these Special Restrictions shall be valid against any party hereto except on the basis of a written instrument executed by the parties to these Special Restrictions. However, the party for whose benefit a condition is inserted herein shall have the unilateral right to waive such condition.

SECTION 12. INDEMNIFICATION. The owner shall indemnify, defend, and hold the JTCHA, the Housing Department and the Town of Jackson, and its directors, officers, agents and employees harmless against any and all loss, liability, claim, or cost (including reasonable attorneys' fees and expenses) for damage or injury to persons or property from any cause whatsoever on or about the Residential Unit, or for an owner's breach of any provision of these Special Restrictions. The owner waives any and all such claims against JTCHA, the Housing Department and the Town of Jackson.

SECTION 13. SUCCESSORS AND ASSIGNS. These Special Restrictions shall be binding upon, and inure to the benefit of, the parties hereto and their respective successors, heirs, devisees, administrators and assigns.

SECTION 14. SOVEREIGN IMMUNITY. Neither the Town of Jackson, JTCHA, nor the Housing Department waive governmental immunity by executing these Special Restrictions and specifically retain immunity and all defenses available to them as sovereigns pursuant to Wyo. Stat. § 1-39-104(a) and any other applicable law.

IN WITNESS WHEREOF, the Declarant has executed this instrument on the ____ day of _____, 20__ (the "Effective Date").

DECLARANT:

[Click here to enter name of LLC or other entity.](#)

[Click here to enter Name and Title of authorized signer.](#)

STATE OF _____)
) ss.
COUNTY OF _____)

On the _____ day of _____, 20 ____, the foregoing Special Restrictions for Employee Housing was acknowledged before me by [Click here to enter Name of signer.](#) as [Click here to enter title of signer.](#) of [Click here to enter name of entity..](#)

Witness my hand and official seal.

(Seal)

Notary Public

THE TOWN OF JACKSON:

[Click here to enter name of Mayor., Mayor](#)

ATTEST:

[Click here to enter name of Town Clerk., Town Clerk](#)

STATE OF WYOMING)
) ss.
COUNTY OF TETON)

On the _____ day of _____, 20__, the foregoing instrument was acknowledged before me by [Click here to enter name of Chair.](#) as Chair of the The Town of Jackson Board of County Commissioners.

Witness my hand and official seal.

(Seal)

Notary Public
My commission expires:

JACKSON/THE TOWN OF JACKSON AFFORDABLE HOUSING DEPARTMENT:

[Click here to enter name of Housing Manager.](#), Housing Manager

STATE OF WYOMING)
) ss.
COUNTY OF TETON)

On the _____ day of _____, 20__, the foregoing instrument was acknowledged before me by [Click here to enter name of Housing Manager.](#), as Housing Manager of the Jackson/The Town of Jackson Affordable Housing Department.

Witness my hand and official seal.

(Seal)

Notary Public
My commission expires:

SITE & BUILDING PLANS

DRAWING INDEX

ARCHITECTURAL SHEETS 30X42

DP 1.1 SITE PLAN

DP 1.2 EXISTING SITE PLAN

DP 1.3 SITE STAGING PLANS

DP 1.4 3D IMAGES

DP 2.1 BASEMENT FLOOR PLAN

DP 2.2 GROUND FLOOR PLAN

DP 2.3 SECOND FLOOR PLAN

DP 2.4 THIRD FLOOR PLAN

DP 3.1 NORTH & SOUTH ELEVATIONS

DP 3.2 EAST & WEST ELEVATIONS

LANDSCAPING SHEETS 24X36

LP1.0 LANDSCAPE PLAN

LP1.1 LANDSCAPE PLAN ENLARGEMENTS

LP1.2 LANDSCAPE PLAN ENLARGEMENTS

LP1.3 LANDSCAPE PLAN ENLARGEMENTS

LP1.4 LANDSCAPE PLAN ENLARGEMENTS

LP6.0 LANDSCAPE SCHEDULE

LT1.0 TREE REMOVAL PLAN

CIVIL SHEETS 24X36

C1.0 EXISTING SITE PLAN

C2.0 SITE GRADING PLAN

C3.0 SITE UTILITY PLAN

C4.0 ROAD & GRADING DETAILS

C4.1 WATER DETAILS

C4.2 SEWER DETAILS

ARCHITECTURAL DRAWINGS

CHANGE	ISSUE DATE	CHANGE	ISSUE DATE

PROJECT NO.: 215-17
 DRAWN BY: AL

COPYRIGHT:
 The architect retains intellectual property rights over any architectural documents work that he/she prepares unless there is a written stipulation to the contrary. The professional services of the architect are undertaken for and are performed in the state of the named owner for the named site. No contractual obligation is assumed by the architect for the benefit of other persons involved in the project. Conveyance of construction documents does not give the owner the right to copy these instruments of service or to create derivative works from them.

SHEET TITLE:
 BASEMENT
 FLOOR PLAN

DP-2.1

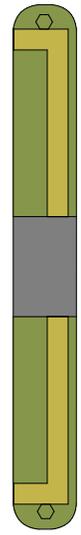
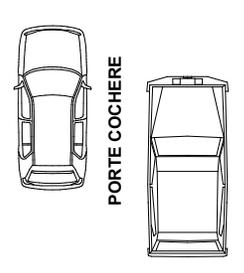


ISSUE DATE	CHANGE	ISSUE DATE	CHANGE



FIRST FLOOR PLAN

1/8" = 1'-0" (1/4" = 1'-0" @ PARTIAL PLAN)



CHANGE	ISSUE DATE	CHANGE	ISSUE DATE

PROJECT NO.: 215-17
 DRAWN BY: ML

COPYRIGHT:
 The Architect retains intellectual property rights over any architectural documents work that he/she prepares unless there is a written stipulation to the contrary. The professional services of the architect are assumed by the architect for the benefit of the named owner for the named site. No contract of any kind is entered into by the architect or the other persons involved in this project. Copying or reproduction of these documents without the written consent of the architect is prohibited. The architect does not give the owner the right to copy these instruments of service or to create derivative works from them.

SHEET TITLE:
SECOND FLOOR PLAN

DP-2.4



SECOND FLOOR PLAN
 1/8" = 1'-0"

CHANGE	ISSUE DATE	ISSUE DATE	CHANGE

PROJECT NO.: 215-17
 DRAWN BY: ML

COPYRIGHT:
 The Architect retains selected proprietary rights over architectural documents work that she prepares and she performed in the interest of the named owner for the named site. No contractual obligation is assumed by the architect for the benefit of other persons involved in the project. Conveyance of right to copy these instruments of service or to create derivative works from them.



THIRD FLOOR PLAN
 1/4" = 1'-0"

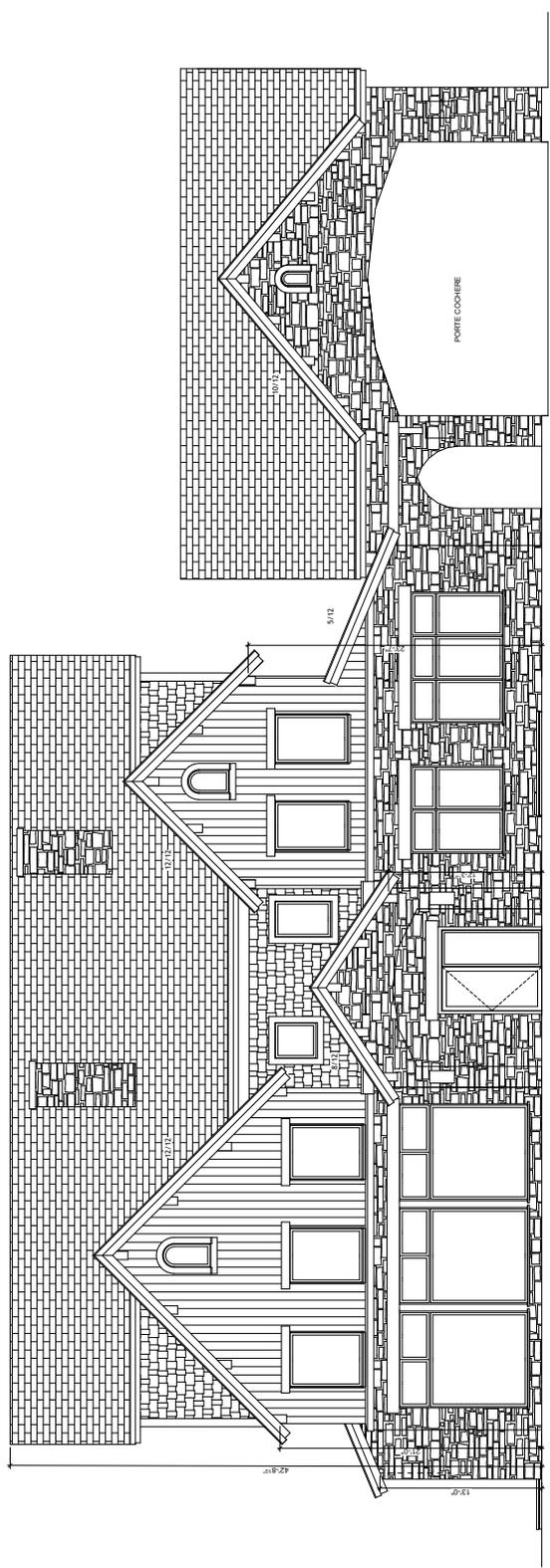
CHANGE	ISSUE DATE	ISSUE DATE	CHANGE

PROJECT NO.: 215-17
 DRAWN BY: AL

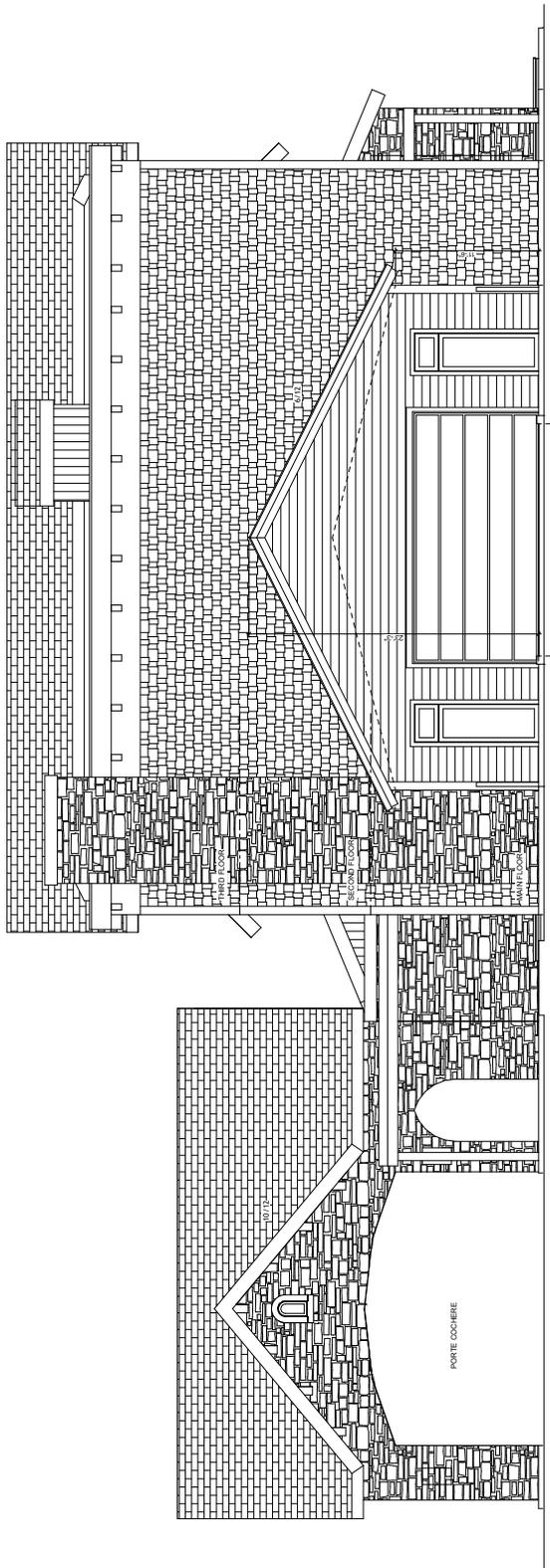
COPYRIGHT:
 The architect retains intellectual property rights over any architectural documents/work that he/she prepares unless there is a written stipulation to the contrary. The professional services of the architect are undertaken for and performed in the interest of the named owner for the named site. No contractual obligation is assumed by the architect for the benefit of other persons involved in a project. Conveyance of construction documents does not give the owner the right to copy these instruments of service or to create derivative works from them.

SHEET TITLE:
 NORTH & SOUTH ELEVATIONS

DP-3.1



NORTH ELEVATION
 1/4" = 1'-0"



SOUTH ELEVATION
 1/4" = 1'-0"

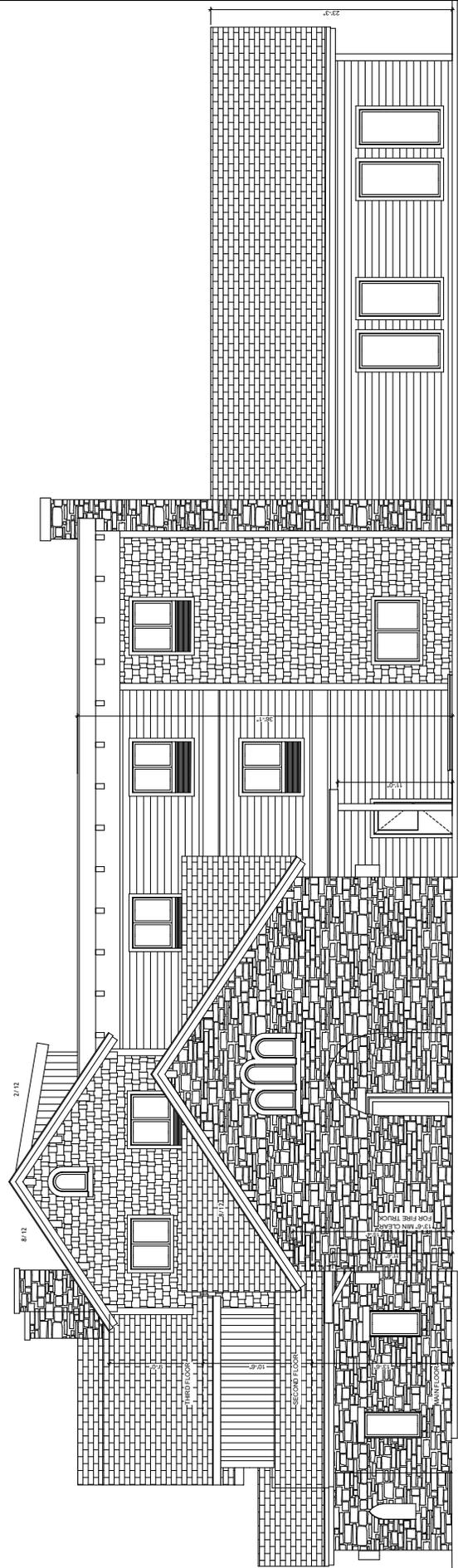
ISSUE DATE	CHANGE

PROJECT NO.: 215117
 DRAWN BY: JEL

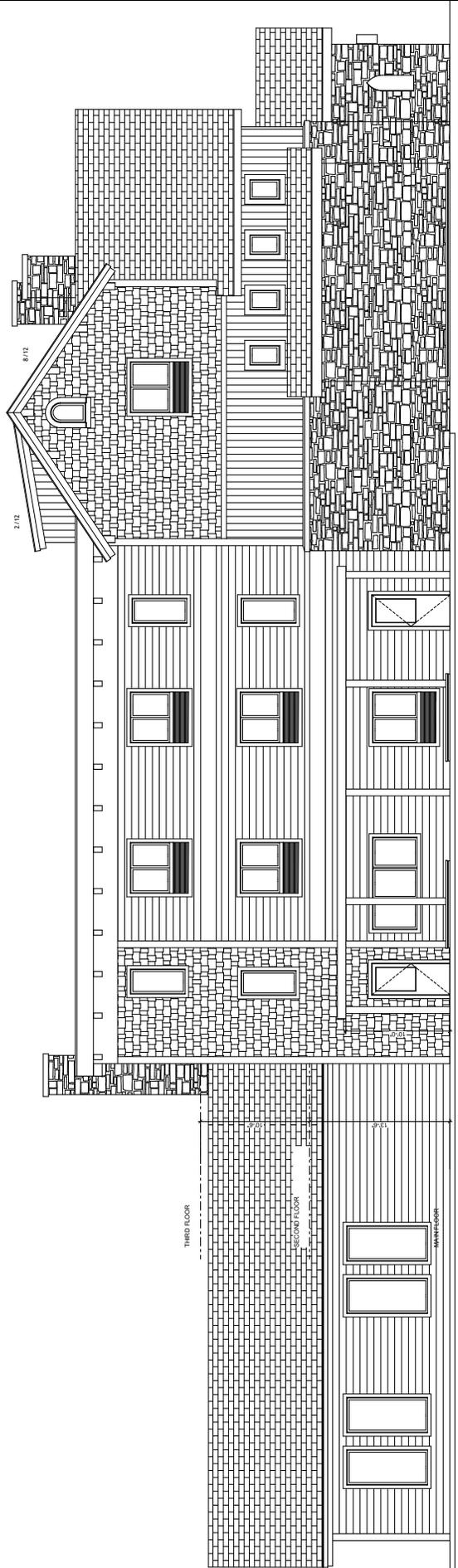
COPYRIGHT:
 The Architect retains intellectual property rights over any architectural documents/work that he/she prepares unless there is a written stipulation to the contrary. The professional services of the architect are provided for and performed in the interest of the named owner for the named site. No contractual obligations are assumed by the architect for the benefit of other parties involved in the project. Consents of construction documents does not give the owner the right to copy these instruments of service or to create derivative works from them.

SHEET TITLE:
 EAST & WEST ELEVATIONS

DP-3.2

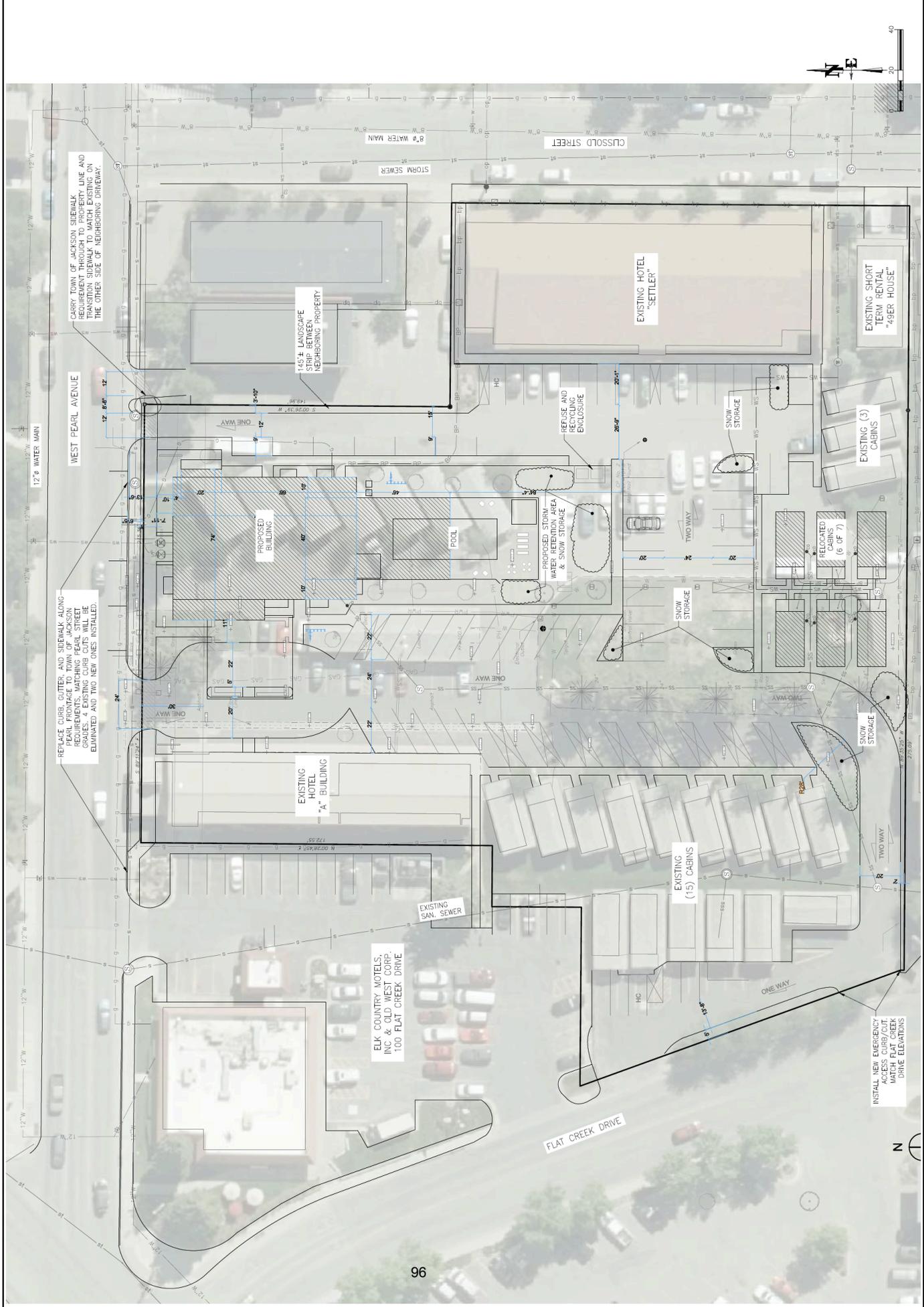


WEST ELEVATION
 1/8" = 1'-0"



EAST ELEVATION
 1/8" = 1'-0"

CIVIL DRAWINGS



CARRY TOWN OF JACKSON SIDEWALK REQUIREMENT THROUGH TO PROPERTY LINE AND SIDEWALK TO BE INSTALLED ON THE OTHER SIDE OF NEIGHBORING DRIVEWAY.

145' ± LANDSCAPE STRIP BETWEEN NEIGHBORING PROPERTY

REPLACE CURB, BUTTER, AND SIDEWALK ALONG WEST PEARL AVENUE TO MEET TOWN OF JACKSON REQUIREMENTS. EXISTING CURB CUTS WILL BE ELIMINATED AND TWO NEW ONES INSTALLED.

PROPOSED BUILDINGS

POOL

REFUSE AND WATER RETENTION AREA & SNOW STORAGE

SNOW STORAGE

EXISTING (3) CABINS

RELOCATED CABINS (6 OF 7)

EXISTING SHORT TERM RENTAL '49ER HOUSE'

EXISTING HOTEL 'A' BUILDING

EXISTING (15) CABINS

ELK COUNTRY MOTELS, INC. & OLD WEST CORP. 100 FLAT CREEK DRIVE

INSTALL NEW EMERGENCY ACCESS CURB/OUT MATCH FLAT CREEK DRIVE ELEVATIONS



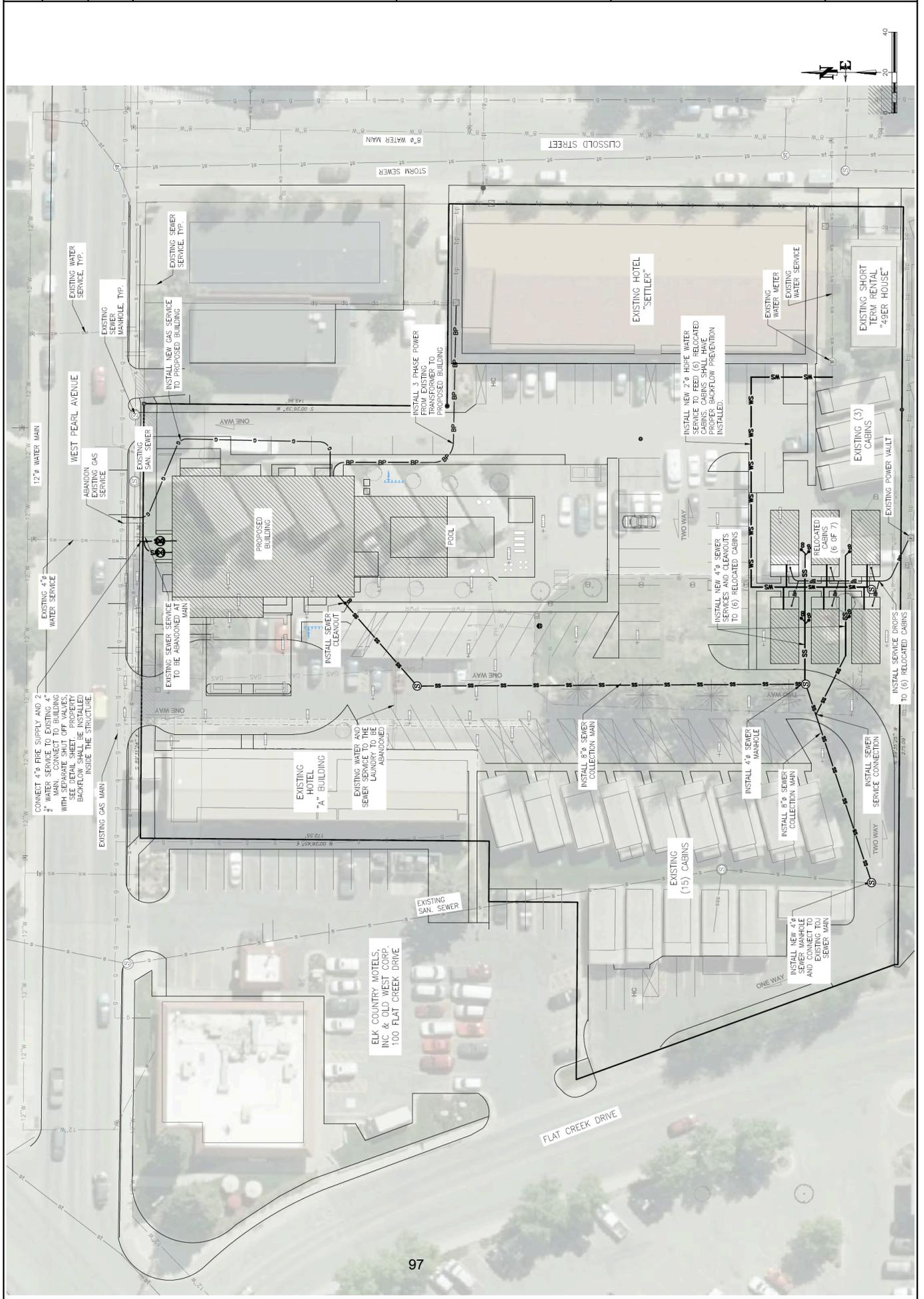
DATE	4/11/2018	REV.
DESIGNED	MB	
ENGINEERED	MB	
INCHARGE	MB	
CHECKED	MB	
APPROVED		

NELSON
ENGINEERING
P.O. BOX 1599, JACKSON WYOMING (307) 733-2087

BRACING TITLE
SITE UTILITY PLAN

JOB TITLE
ELK COUNTRY INN
DEVELOPMENT PLAN SUBMITTAL
JACKSON, WYOMING

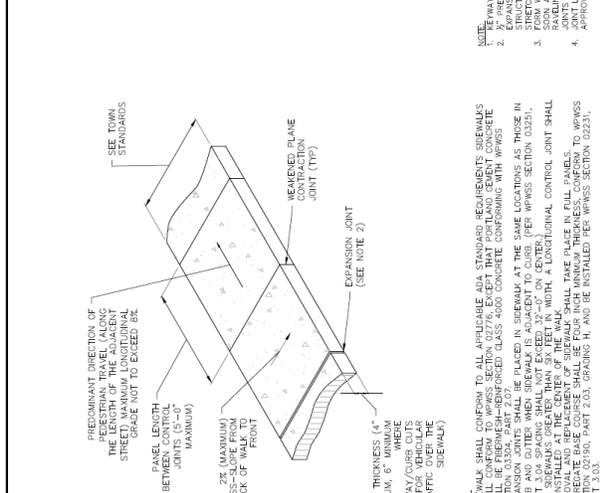
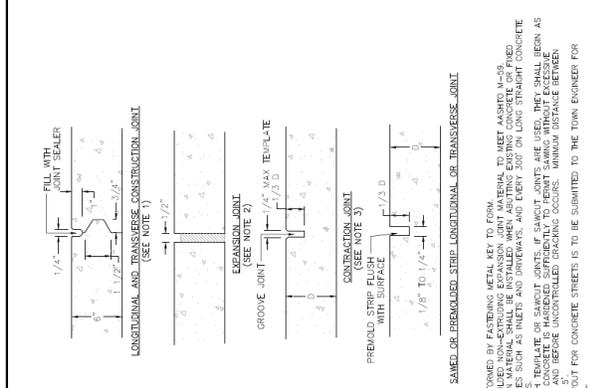
BRACING NO
C3.0
JOB NO
17-387-02



DATE	4/11/2018	REV
DESIGNED		
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APPROVED		
ENGINEERED	MB	
DRAWN	BC	

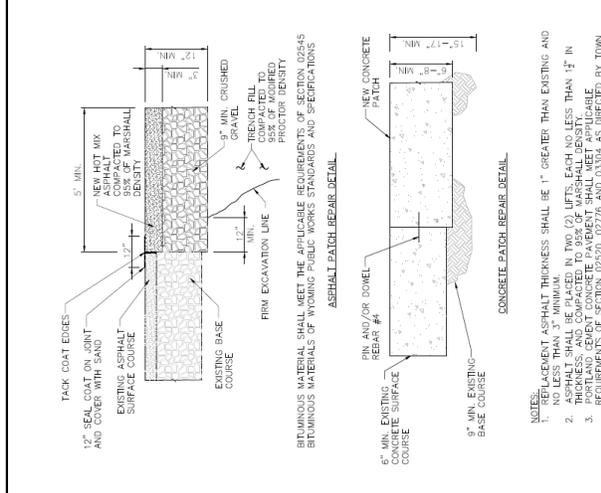
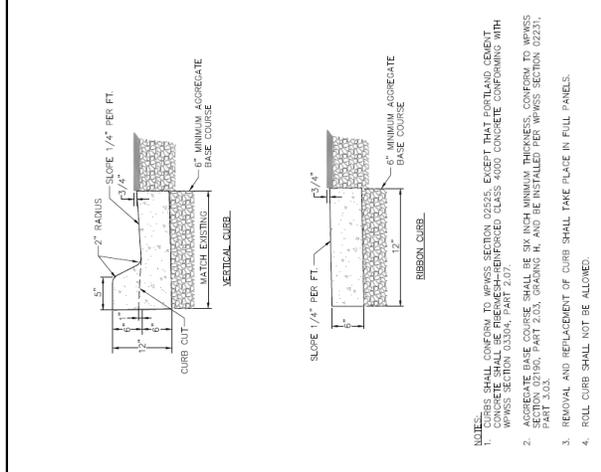
P. O. BOX 1599, JACKSON WYOMING (307) 733-2087
NELSON ENGINEERING

BRACING NO	C4.0	JOB TITLE	BLK COUNTRY INN
JOB NO	17-397-02	DEVELOPMENT PLAN SUBMITTAL	JACKSON, WYOMING



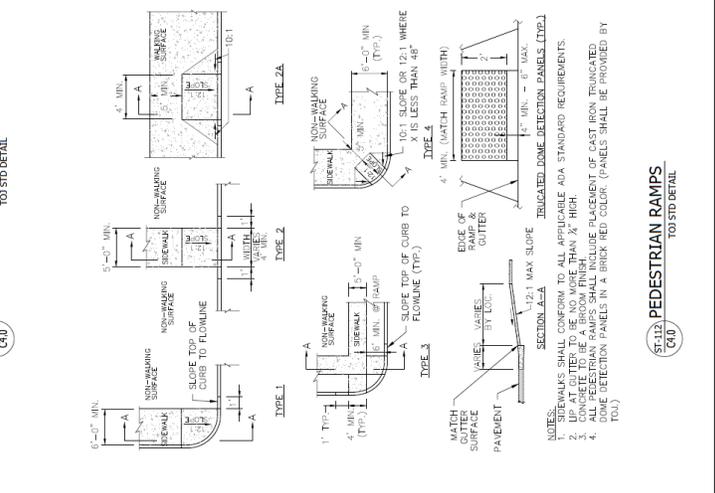
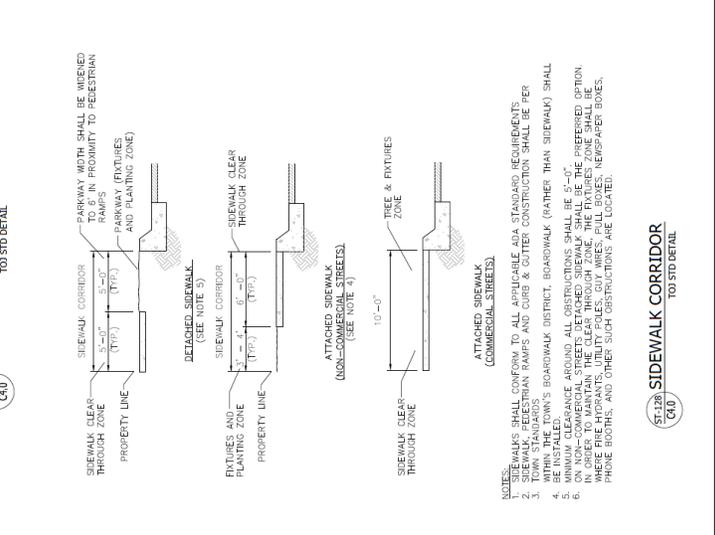
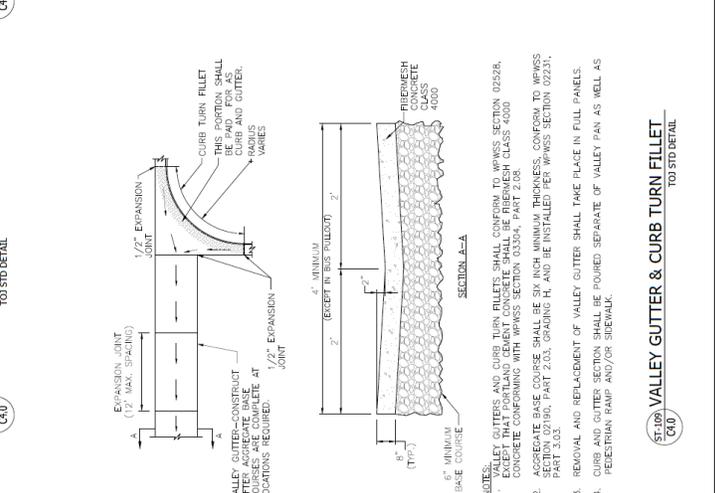
NOTES:

1. SIDEWALK SHALL CONFORM TO ALL APPLICABLE ADA STANDARD REQUIREMENTS. SIDEWALKS SHALL CONFORM TO WPMSS SECTION 02776, EXCEPT THAT PORTLAND CEMENT CONCRETE SHALL BE PORTLAND CEMENT CONCRETE COMPANING WITH WPMSS SECTION 03304, PART 2.07.
2. CURB AND CURBS WHEN SIDEWALKS ARE ADJACENT TO CURBS SHALL CONFORM TO WPMSS SECTION 02254, PART 2.03. SPACING SHALL NOT EXCEED 32'-0" ON CENTER.
3. REMOVAL AND REPLACEMENT OF SIDEWALKS SHALL TAKE PLACE IN FULL PANELS. PORTLAND CEMENT CONCRETE SHALL BE PORTLAND CEMENT CONCRETE COMPANING WITH WPMSS SECTION 03304, PART 2.07. GRADING H, AND BE INSTALLED PER WPMSS SECTION 02231, PART 3.03.
4. ROLL CURB SHALL NOT BE ALLOWED.



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1. SIDEWALKS SHALL CONFORM TO ALL APPLICABLE ADA STANDARD REQUIREMENTS. SIDEWALKS SHALL CONFORM TO WPMSS SECTION 02776, EXCEPT THAT PORTLAND CEMENT CONCRETE SHALL BE PORTLAND CEMENT CONCRETE COMPANING WITH WPMSS SECTION 03304, PART 2.07.
2. CURB AND CURBS WHEN SIDEWALKS ARE ADJACENT TO CURBS SHALL CONFORM TO WPMSS SECTION 02254, PART 2.03. SPACING SHALL NOT EXCEED 32'-0" ON CENTER.
3. REMOVAL AND REPLACEMENT OF SIDEWALKS SHALL TAKE PLACE IN FULL PANELS. PORTLAND CEMENT CONCRETE SHALL BE PORTLAND CEMENT CONCRETE COMPANING WITH WPMSS SECTION 03304, PART 2.07. GRADING H, AND BE INSTALLED PER WPMSS SECTION 02231, PART 3.03.
4. ROLL CURB SHALL NOT BE ALLOWED.

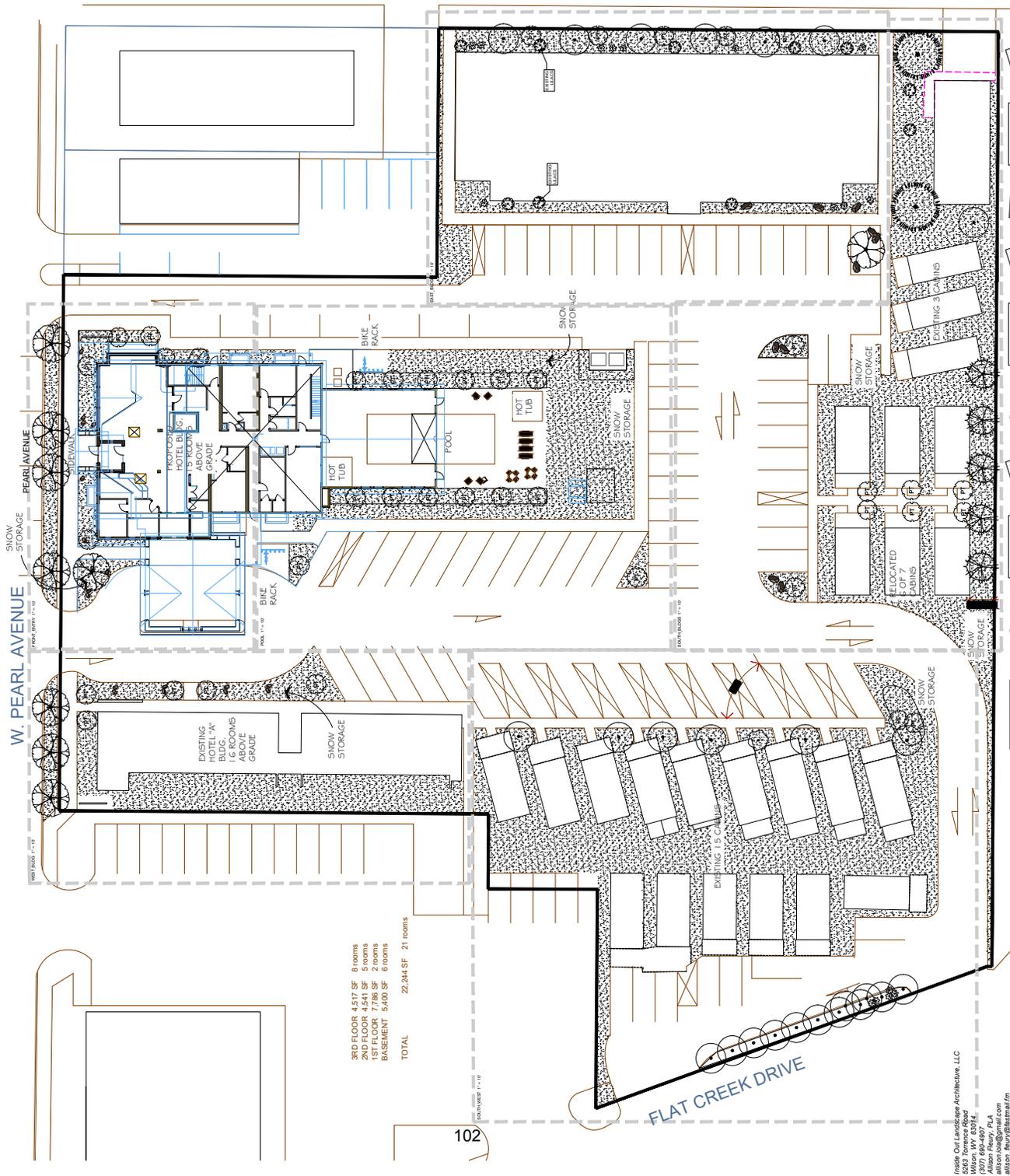
LANDSCAPE DRAWINGS

PLANT SCHEDULE

PROPOSED TREES	BOTANICAL NAME	COMMON NAME
	Acer freemanii 'Autumn Blaze'	Autumn Blaze Maple
	Picea pungens	Colorado Spruce
	Populus tremula 'Erecta'	European Columnar Aspen
EXISTING TREES	BOTANICAL NAME	COMMON NAME
	Picea pungens	Colorado Spruce
	Populus tremula 'Erecta'	European Columnar Aspen
	Populus tremuloides	Quaking Aspen

IRRIGATION NOTES:

- 1) TIE INTO EXISTING IRRIGATION SYSTEM. VERIFY LOCATION OF BACKFLOW PREVENTOR. NEW IRRIGATION CLOCK IS REQUIRED.
- 2) PERENNIAL ORNAMENTAL GRASS AND SHRUB BEDS SHALL RECEIVE DRIP IRRIGATION.
- 3) ALL PERENNIAL ORNAMENTAL GRASS AND SHRUB BEDS SHALL RECEIVE DRIP IRRIGATION.
- 4) ALL INDIVIDUAL TREES AND SHRUBS SHALL RECEIVE DRIP IRRIGATION.
- 5) ALL BLUEGRASS SOD AREAS SHALL RECEIVE SPRAY IRRIGATION.
- 6) WATERING SCHEDULE SHALL BE 1.0" PER WEEK PEAK SEASON.
- 6(1) BLUEGRASS SOD 1.04" PER WEEK PEAK SEASON
- 6(2) ORNAMENTAL PERENNIALS AND GRASSES 0.78" PER WEEK PEAK SEASON
- 7) DRIP IRRIGATION SHALL BE PROVIDED FOR ANY POTS AT THE ENTRANCES.



3RD FLOOR	4,517 SF	8 rooms
2ND FLOOR	4,541 SF	5 rooms
1ST FLOOR	7,786 SF	2 rooms
BASEMENT	5,400 SF	6 rooms
TOTAL	22,244 SF	21 rooms



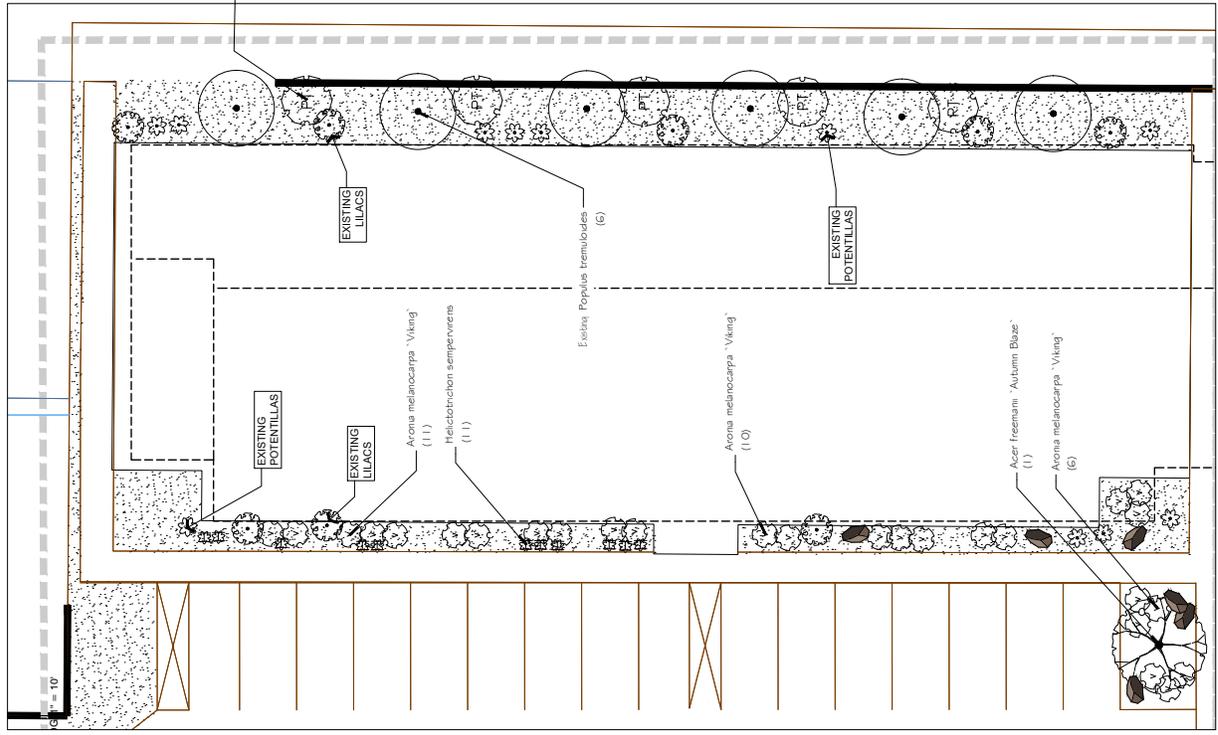
PROJECT TITLE:
 ELK COUNTRY INN
 480 PEARL AVENUE
 NEW ENTRY BUILDING
 DRAWING TITLE:
 LANDSCAPE PLAN

DRAWING NO.: LP 1.0
 Project Number: 2018-03
 Prepared by: Aulf Date: 03/29/18 Rev. Date: 04/10/18



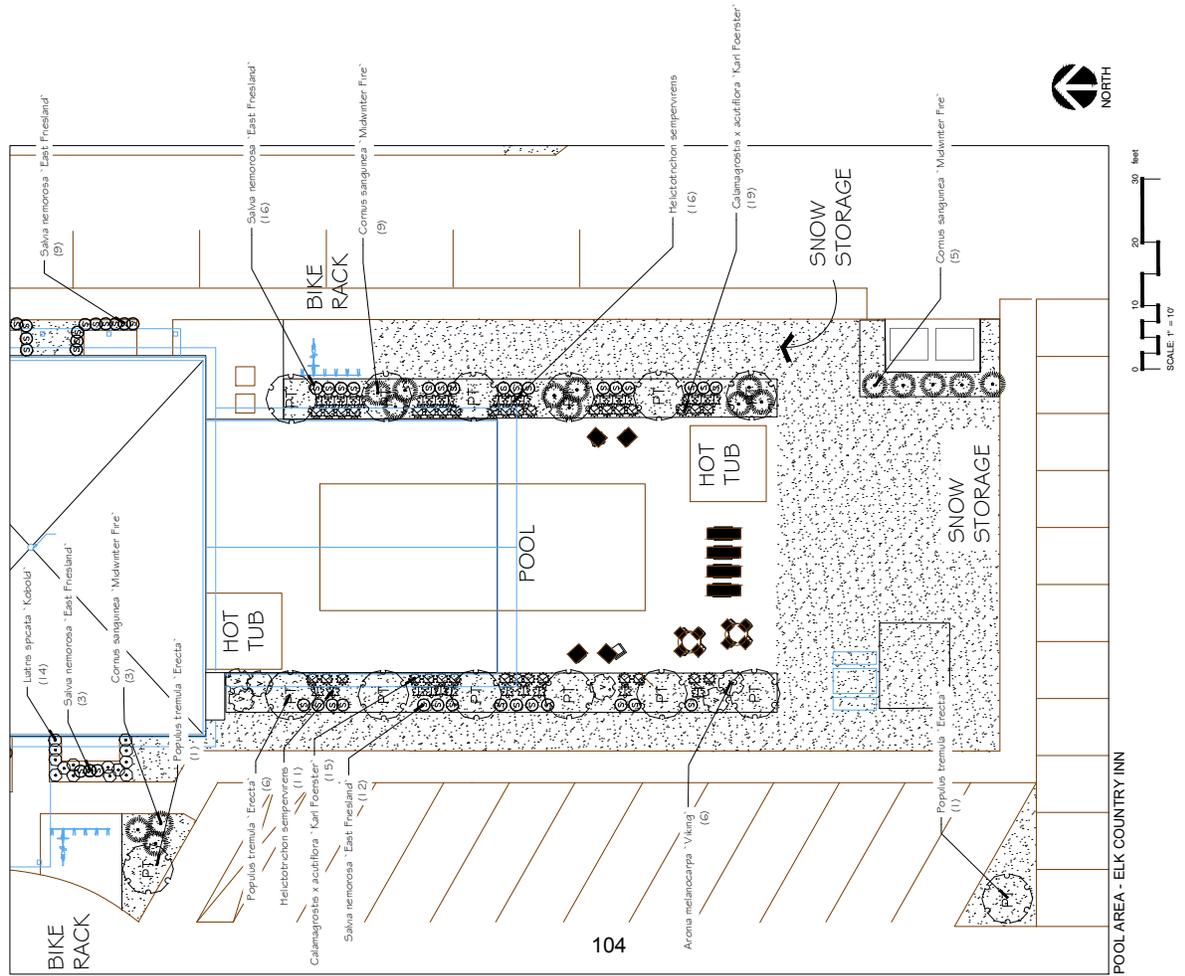
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 ELK COUNTRY INN
 480 PEARLY AVENUE
 NEW ENTRY BUILDING
 DRAWING TITLE:
 LANDSCAPE PLAN
 ENLARGEMENTS

DRAWING NO.: LP 1.2
 Project Number: 2018-03
 Prepared By: AHR Date: 09/25/18 Rev. Date: 04/01/18



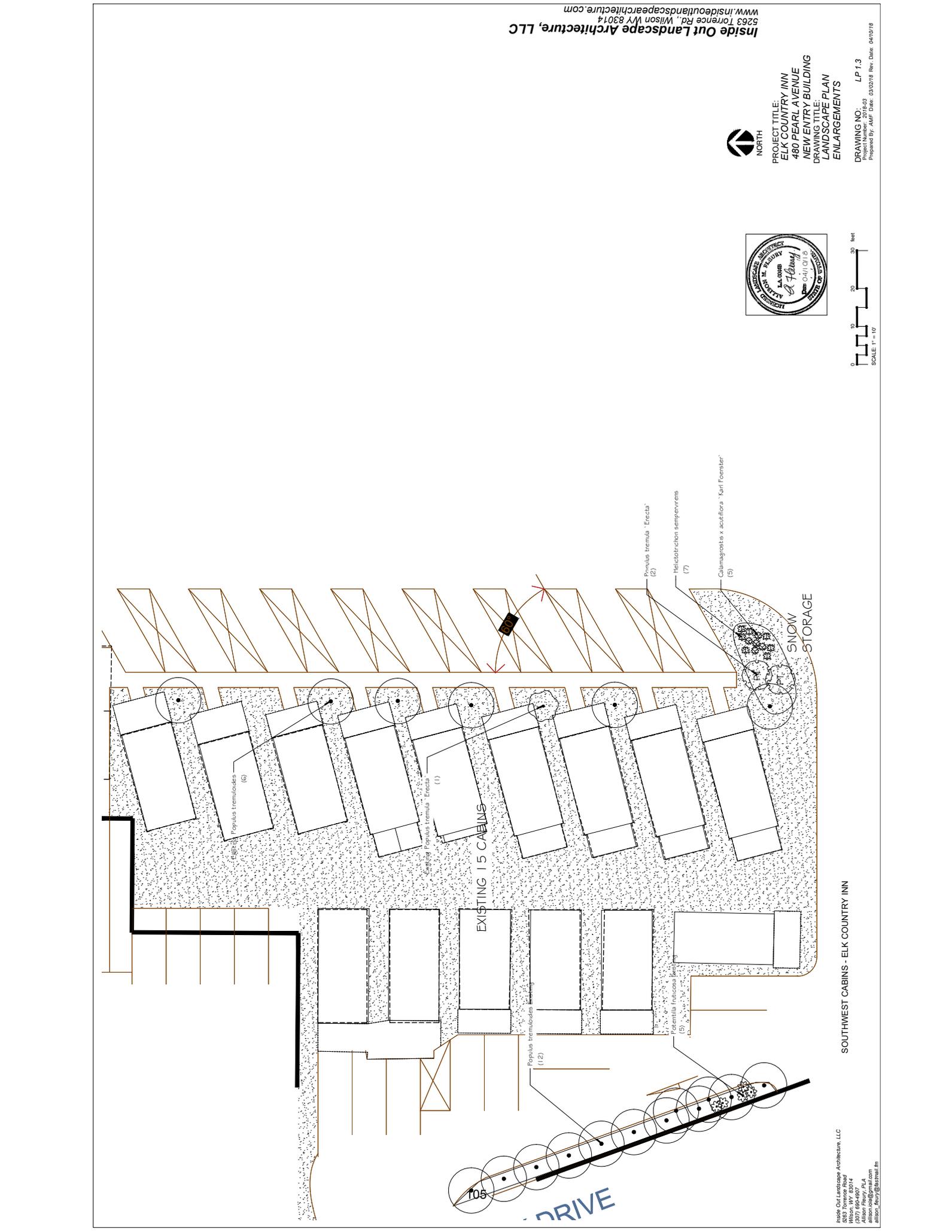
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 SCALE: 1" = 10'

EAST BUILDING - ELK COUNTRY INN

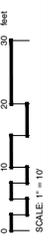


0 10 20 30 feet
 SCALE: 1" = 10'

POOL AREA - ELK COUNTRY INN



NORTH



PROJECT TITLE:
 ELK COUNTRY INN
 480 PEARL AVENUE
 NEW ENTRY BUILDING
 DRAWING TITLE:
 LANDSCAPE PLAN
 ENLARGEMENTS

DRAWING NO.: LP 1.3
 Project Number: 2018-03
 Prepared By: AMF Date: 03/22/18 Rev. Date: 04/10/18

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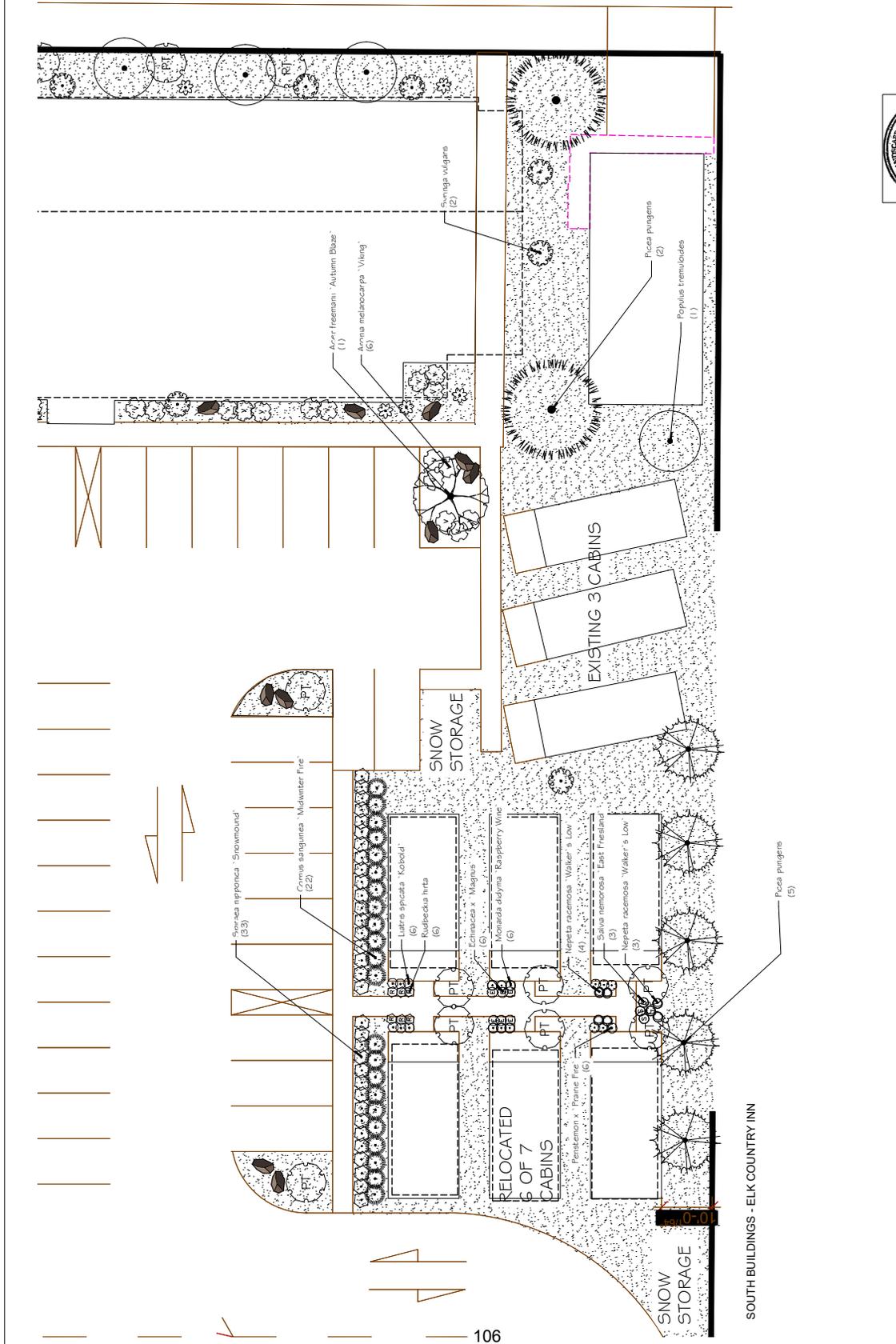
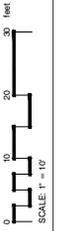
SOUTHWEST CABINS - ELK COUNTRY INN

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 5263 Torrence Road
 Wilson, WY 83014
 Alison Flory, P.L.A.
 alison@iout.com
 alison_flory@outmail.in



PROJECT TITLE:
 ELK COUNTRY INN
 480 PEARL AVENUE
DRAWING TITLE:
 LANDSCAPE PLAN
 ENLARGEMENTS

DRAWING NO.: LP 1.4
 Project By: AMF Date: 03/02/18 Rev. Date: 04/10/18



SOUTH BUILDINGS - ELK COUNTRY INN

PLANT SCHEDULE

COMMON NAME	CONT.	CAL.	SIZE	QTY.	REMARKS
TREES					
BOTANICAL NAME					
Aster Freemanii 'Autumn Blaze'	B & B	9"Gal		4	
Colarado Spruce	B & B	14"-15'		5	
European Columnar Aspen	B & B	25"Gal		40	
EXISTING					
BOTANICAL NAME					
Colarado Spruce	Existing			2	
European Columnar Aspen	Existing			1	
Quaking Aspen	Existing			25	
TO BE REMOVED					
BOTANICAL NAME					
Colarado Spruce	Existing			7	
Quaking Aspen	Existing			4	
SHRUBS					
BOTANICAL NAME					
Viking Chokeberry	5 gal			35	
Blood-Twig Dogwood	5 gal			42	
Summer Wine Ninebark	5 gal			4	
Stoneward Spiraea	5 gal			41	
ANNUALS/PERENNIALS					
BOTANICAL NAME					
Magnus Cornflower	1 gal			45	
Spike Gayfeather	1 gal			26	
Raspberry 'Mrs. Bee Balm'	1 gal			6	
Comint	1 gal			42	
Prairie Fire Beardtongue	1 gal			12	
Black-eyed Susan	1 gal			24	
East Friesland Perennial Sage	1 gal			56	
EXISTING SHRUBS					
BOTANICAL NAME					
Red-Twig Dogwood	Existing			19	
Bush Chokeberry	Existing			16	
Common Willow	Existing			10	
Common Lilac	Existing			11	
GRASSES					
BOTANICAL NAME					
Feather Reed Grass	1 gal			65	
Beyond Blue Fescue	1 gal			60	
Japanese Forest Grass	1 gal			22	
Blue Oat Grass	1 gal			74	
SHADE PLANTS					
BOTANICAL NAME					
Siberian Begonia	1 gal			97	
White Lantana Rose	1 gal			10	
TO BE REMOVED					
BOTANICAL NAME					
Common Lilac	Existing			25	

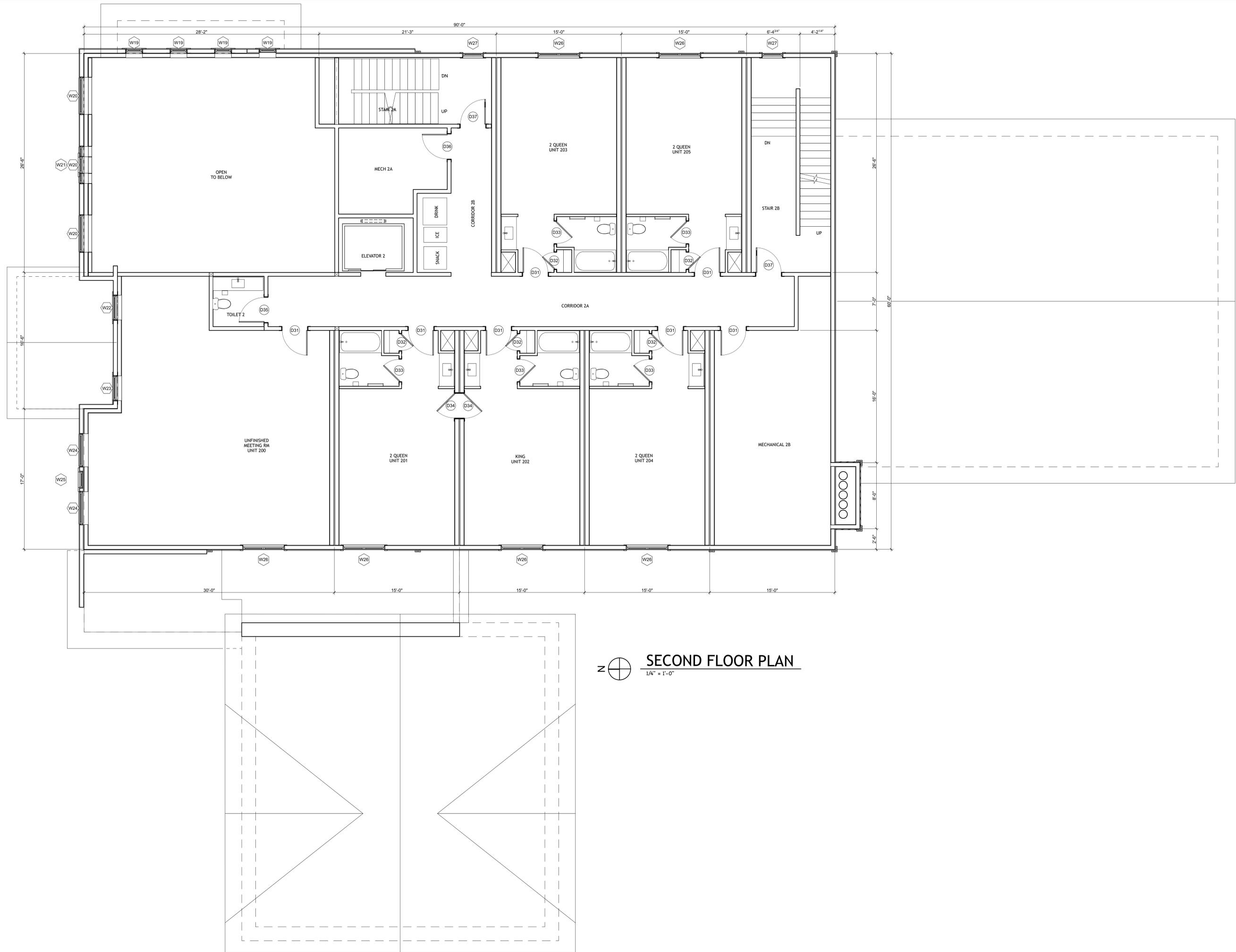
Inside Out Landscape Architecture, LLC
 5263 Torrence Rd., Wilson NY 83014
 www.insideoutlandscape.com
 516.438.1111
 allison.hurst@iraalim.com



PROJECT TITLE:
 ELK COUNTRY INN
 480 PEARL AVENUE
 NEW ENTRY BUILDING
 DRAWING TITLE:
 LANDSCAPE SCHEDULE

DRAWING NO.: LP 60
 Prepared By: AMF Date: 03/29/18 Rev. Date: 04/10/18

Inside Out Landscape Architecture, LLC
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SECOND FLOOR PLAN
 1/4" = 1'-0"

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 760 Wind River Ln., Jackson, WY 83001
 Residential & Commercial Architecture

**ELK COUNTRY INN
 NEW ENTRY BUILDING
 480 W. PEARL AVENUE
 JACKSON, WYOMING**

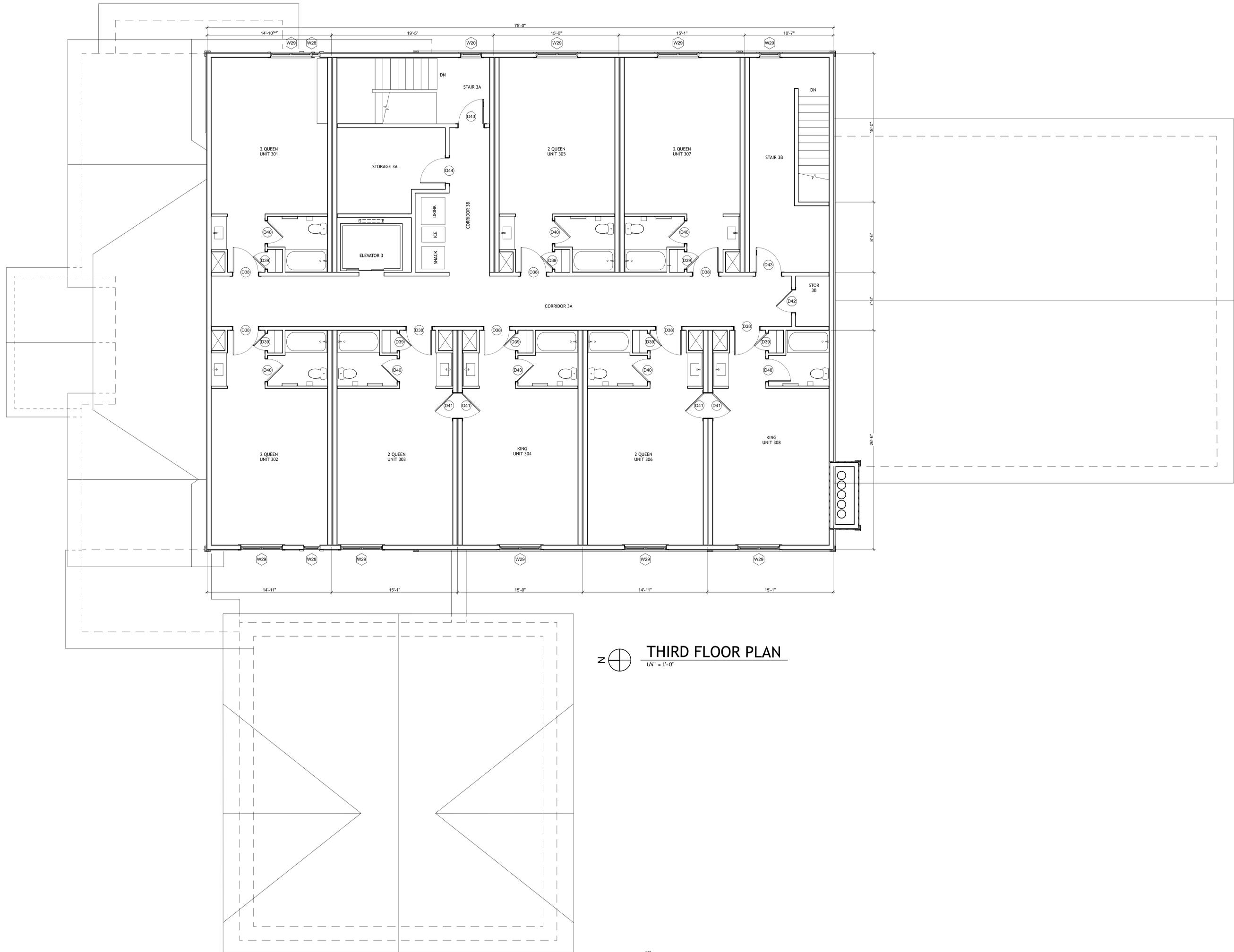
ISSUE DATE	CHANGE	ISSUE DATE	CHANGE

PROJECT NO: 215-17
DRAWN BY: ML

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SHEET TITLE:
SECOND FLOOR PLAN

DP-2.3




THIRD FLOOR PLAN
 1/4" = 1'-0"

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ELK COUNTRY INN
NEW ENTRY BUILDING
480 W. PEARL AVENUE
JACKSON, WYOMING

ISSUE DATE	CHANGE	ISSUE DATE	CHANGE

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 DRAWN BY: ML

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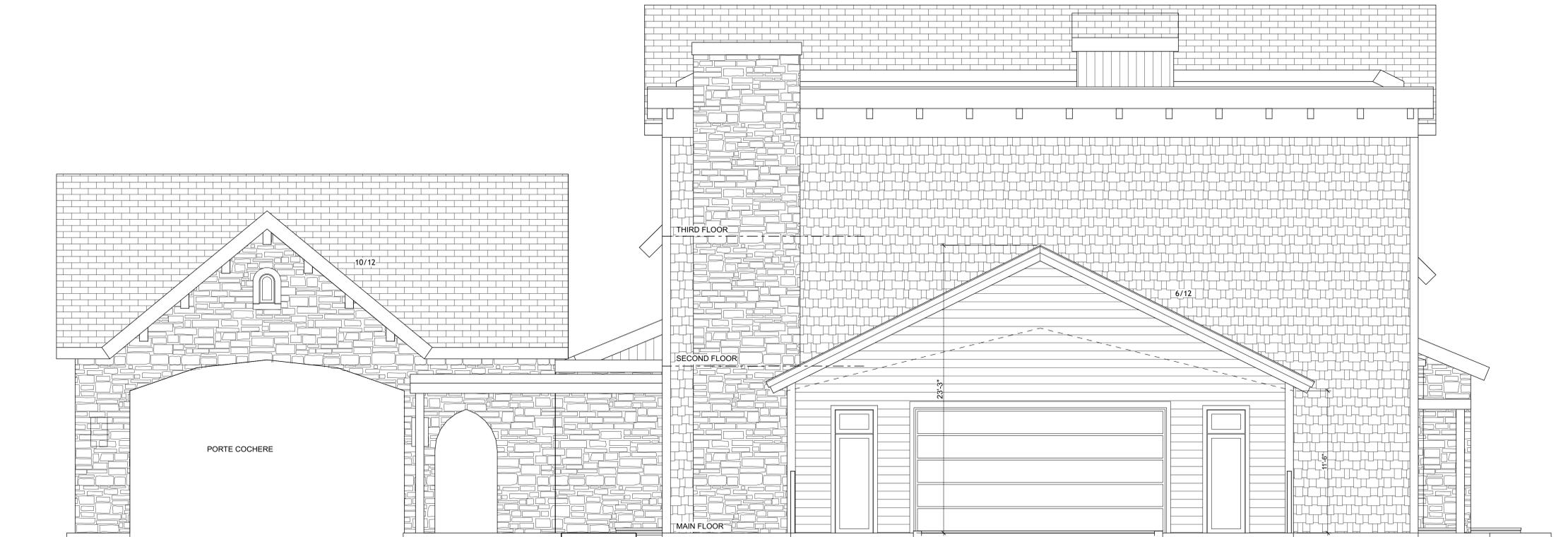
SHEET TITLE:
THIRD FLOOR PLAN

DP-2.4



NORTH ELEVATION

1/4" = 1'-0"



SOUTH ELEVATION

1/4" = 1'-0"

ISSUE DATE	CHANGE

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SHEET TITLE:
NORTH & SOUTH ELEVATIONS

DP-3.1



WEST ELEVATION

1/4" = 1'-0"



EAST ELEVATION

1/4" = 1'-0"

ISSUE DATE	CHANGE

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SHEET TITLE:
EAST & WEST ELEVATIONS

DP-3.2

Elk Country Inn
Plant Units and Proposed Plant Material

Elk Country Inn
380 W. Pearl Ave
Landscape Requirement Calculations

revised 06/13/2018

Prepared by: Inside Out Landscape Architecture LLC

LDR's for Elk Country Inn			
LSR:	10,884 SF	Required	Proposed
		10,884.0 SF	10,885.0 SF
Parking:		15	15
Plant Units:			
	10.8 LSR		(10,884/1000)
	1.25 Parking		(15/12)
	12.1 Required Plant Units		

Plant Units - Town of Jackson LDR's						
Plant Unit	Quantity	Description	Cost Ea.	Cost Total		
A	1	3" caliper deciduous tree	\$500	\$500		
	6	6'-8' large shrub	\$450	\$2,700		
	4	5 gallon shrub	\$65	\$260		
						\$3,460
B	2	3" caliper deciduous tree	\$500	\$1,000		
	2	6'-8' large shrub	\$450	\$900		
	2	8' evergreen tree	\$750	\$1,500		
						\$3,400
C	3	6'-8' large shrub	\$450	\$1,350		
	3	8' evergreen tree	\$750	\$2,250		
	2	5 gallon shrub	\$65	\$130		
						\$3,730
Average cost per plant unit:						\$3,530

Required Plant Material	Avg. Plant Unit Cost* 12 Required Plant Units =	\$42,360
--------------------------------	--	-----------------

Elk County Inn

Plant Material to Remain on Site:					
Botanical Name	Common Name	Size	Quantity	Estimated Value	Total Value
Trees:					
Picea pungens	Blue Spruce	8"	1	\$1,500.00	\$1,500.00
Populus tremula 'Erecta'	Columnar Aspen	4"	1	\$425.00	\$425.00
Populus tremula 'Erecta'	Columnar Aspen	1"	1	\$150.00	\$150.00
Populus Tremuloides	Quaking Aspen	2"	1	\$180.00	\$180.00
Populus Tremuloides	Quaking Aspen	4"	4	\$425.00	\$1,700.00
Populus Tremuloides	Quaking Aspen	5"	3	\$515.00	\$1,545.00
Populus Tremuloides	Quaking Aspen	6"	2	\$600.00	\$1,200.00
Populus Tremuloides	Quaking Aspen	7"	7	\$700.00	\$4,900.00
Populus Tremuloides	Quaking Aspen	8"	4	\$800.00	\$3,200.00
Populus Tremuloides	Quaking Aspen	12"	4	\$1,200.00	\$4,800.00
Shrubs:					
Cornus sericea	Red Twig Dogwood	4'	13	\$130.00	\$1,690.00
Potentilla fruticosa	Bush Cinquefoil	10 gallon	16	\$115.00	\$1,840.00
Salix bebbiana	Common willow	4'	10	\$130.00	\$1,300.00
Ornamental Grasses:					
Calamagrostis	Feather Reed Grass	2 gallon	15	\$50.00	\$750.00
Existing Plant Material on Site:					\$25,180.00

Elk Country Inn

Proposed Plant Material:

	Botanical	Common	Cont	Cal	Size	Quantity	Unit Cost	Total	
TREES	Acer freemanii `Autumn Blaze`	Autumn Blaze Maple	B & B	3"Cal		5	\$500	\$2,500	
	Picea pungens	Colorado Spruce	B & B		14`-15`	2	\$450	\$900	
	Populus tremula `Erecta`	European Columnar Aspen	B & B	2.5"Cal		10	\$500	\$5,000	
SHRUBS	Botanical	Common	Size			Quantity	Unit Cost		
	Aronia melanocarpa `Viking`	Viking Chokeberry	5 gal			20	\$65	\$1,300	
	Cornus sanguinea `Midwinter Fire`	Blood-Twig Dogwood	5 gal			33	\$65	\$2,145	
	Physocarpus opulifolius `Summer Wine`	Summer Wine Ninebark	5 gal			7	\$65	\$455	
	Spiraea nipponica `Snowmound`	Snowmound Spirea	5 gal			41	\$65	\$2,665	
ANNUALS/PERENNIALS	Botanical	Common	Size			Quantity	Unit Cost		
	Echinacea x `Magnus`	Magnus Coneflower	1 gal			17	\$18	\$306	
	Liatris spicata `Kobold`	Spike Gayfeather	1 gal			26	\$18	\$468	
	Monarda didyma `Raspberry Wine`	Raspberry Wine Bee Balm	1 gal			6	\$10	\$60	
	Nepeta racemosa `Walker's Low`	Catmint	1 gal			31	\$18	\$558	
	Penstemon x `Prairie Fire`	Prairie Fire Beardtongue	1 gal			6	\$10	\$60	
	Rudbeckia hirta	Black-eyed Susan	1 gal			16	\$10	\$160	
	Salvia nemorosa `East Friesland`	East Friesland Perennial Sage	1 gal			57	\$18	\$1,026	
	GRASSES	Botanical	Common	Size			Quantity	Unit Cost	
		Calamagrostis x acutiflora `Karl Foerster`	Feather Reed Grass	1 gal			17	\$18	\$306
Festuca glauca `Beyond Blue`		Beyond Blue Fescue	1 gal			49	\$18	\$882	
Hakonechloa macra		Japanese Forest Grass	1 gal			13	\$18	\$234	
Helictotrichon sempervirens		Blue Oat Grass	1 gal			18	\$18	\$324	
SHADE PLANTS	Botanical	Common	Size			Quantity	Unit Cost		
	Brunnera macrophylla `Hadspen Cream`	Siberian Bugloss	1 gal			37	\$10	\$370	
	Helleborus orientalis `White Lady`	White Lenten Rose	1 gal			10	\$18	\$180	
								\$19,899	
Total Plant Material:				\$45,079.00					
Total Plant Units:				12.77					

Required new plant material = \$17,180

W. PEARL AVENUE

PEARL AVENUE

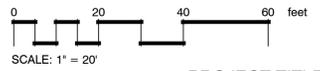
REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	QTY
[Hatched Box]	Landscape Surface Area	29,146
[Circle with X]	TREES TO BE REMOVED, TYPICAL	

3RD FLOOR 4,517 SF 8 rooms
 2ND FLOOR 4,541 SF 5 rooms
 1ST FLOOR 7,786 SF 2 rooms
 BASEMENT 5,400 SF 6 rooms
 TOTAL 22,244 SF 21 rooms

FLAT CREEK DRIVE

CLISSOLD STREET

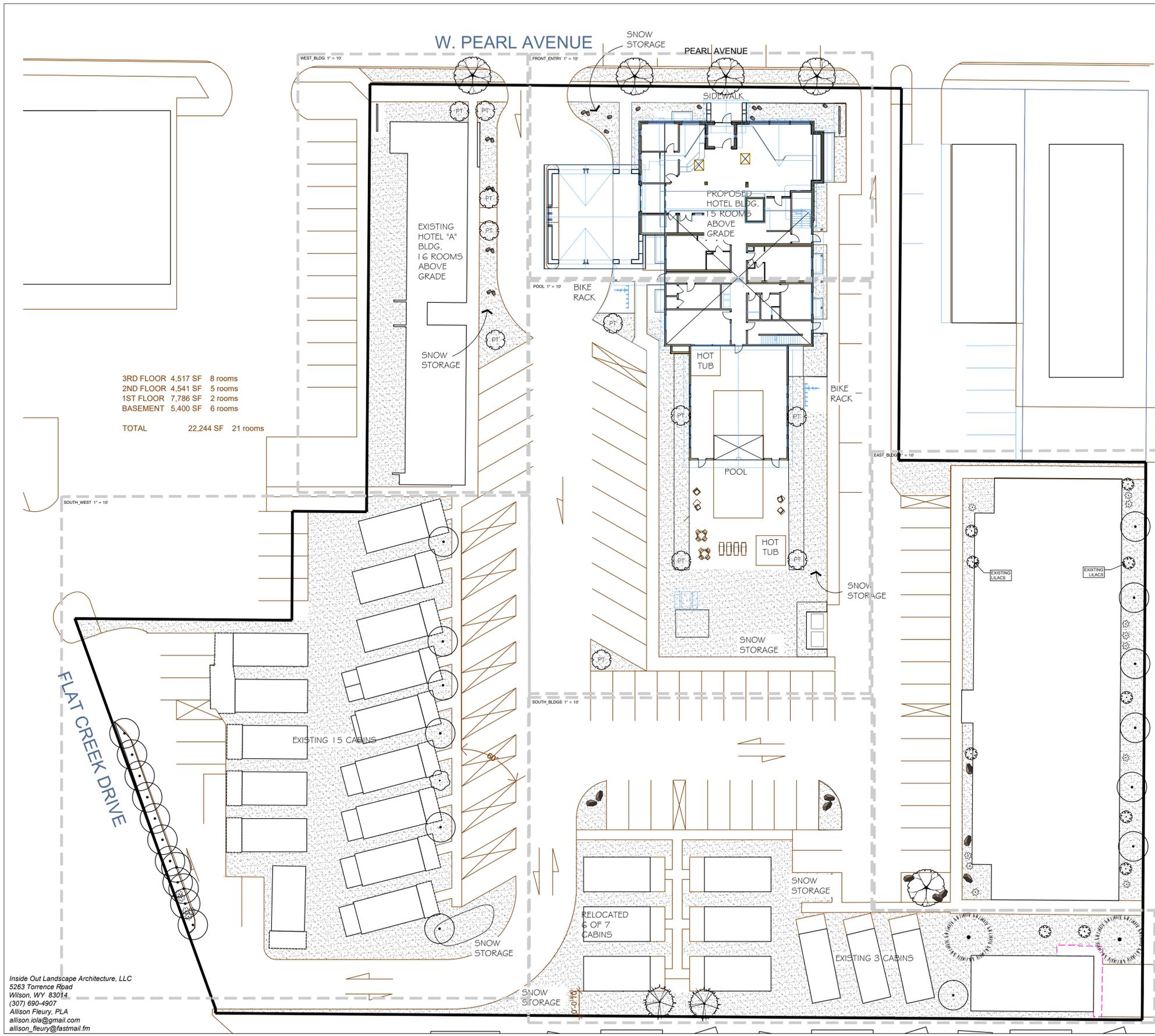


PROJECT TITLE:
 ELK COUNTRY INN
 480 PEARL AVENUE
 NEW ENTRY BUILDING
 DRAWING TITLE:
 TREE REMOVAL PLAN

DRAWING NO: LT 1.0
 Project Number: 2018-03
 Prepared By: AMF Date: 03/02/18 Rev. Date: 04/10/18

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3RD FLOOR	4,517 SF	8 rooms
2ND FLOOR	4,541 SF	5 rooms
1ST FLOOR	7,786 SF	2 rooms
BASEMENT	5,400 SF	6 rooms
TOTAL	22,244 SF	21 rooms

IRRIGATION NOTES:

- 1) TIE INTO EXISTING IRRIGATION SYSTEM. VERIFY LOCATION OF BACKFLOW PREVENTOR.
- 2) DETERMINE IF NEW IRRIGATION CLOCK IS REQUIRED.
- 3) ALL PERENNIAL, ORNAMENTAL GRASS AND SHRUB BEDS SHALL RECEIVE DRIP IRRIGATION.
- 4) ALL INDIVIDUAL TREES AND SHRUBS SHALL RECEIVE DRIP IRRIGATION.
- 5) ALL BLUEGRASS SOD AREAS SHALL RECEIVE SPRAY IRRIGATION.
- 6) WATERING RATES AS FOLLOWS:
 - 6)1) BLUEGRASS SOD 1.94" PER WEEK PEAK SEASON
 - 6)2) ORNAMENTAL PERENNIALS AND GRASSES 0.78" PER WEEK PEAK SEASON
- 7) DRIP IRRIGATION SHALL BE PROVIDED FOR ANY POTS AT THE ENTRANCES.

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PROJECT TITLE:
 ELK COUNTRY INN
 480 PEARL AVENUE
 NEW ENTRY BUILDING
 DRAWING TITLE:
 LANDSCAPE PLAN

DRAWING NO: LP 1.0
 Project Number: 2018-03
 Prepared By: AMF Date: 03/02/18 Rev. Date: 06/13/18

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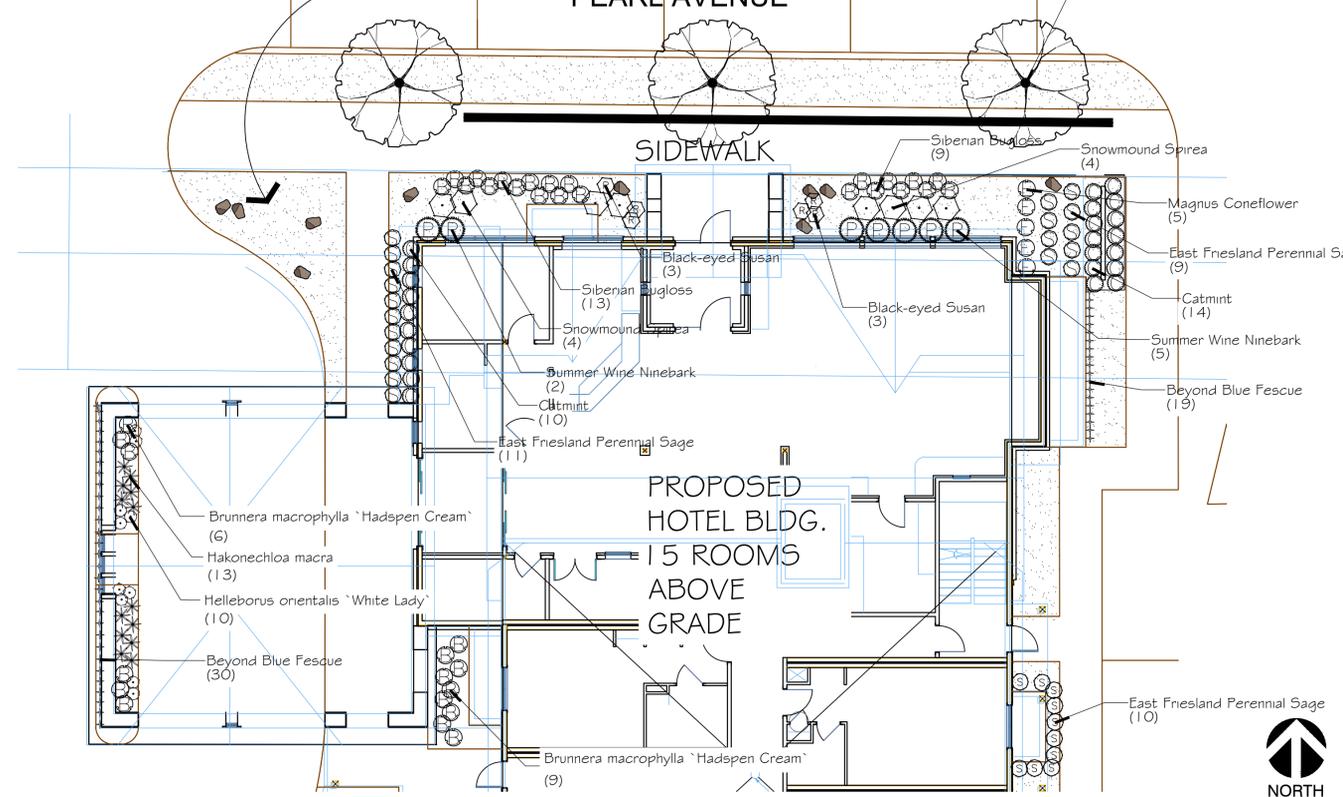
AVENUE

SNOW STORAGE

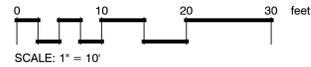
PEARL AVENUE

SIDEWALK

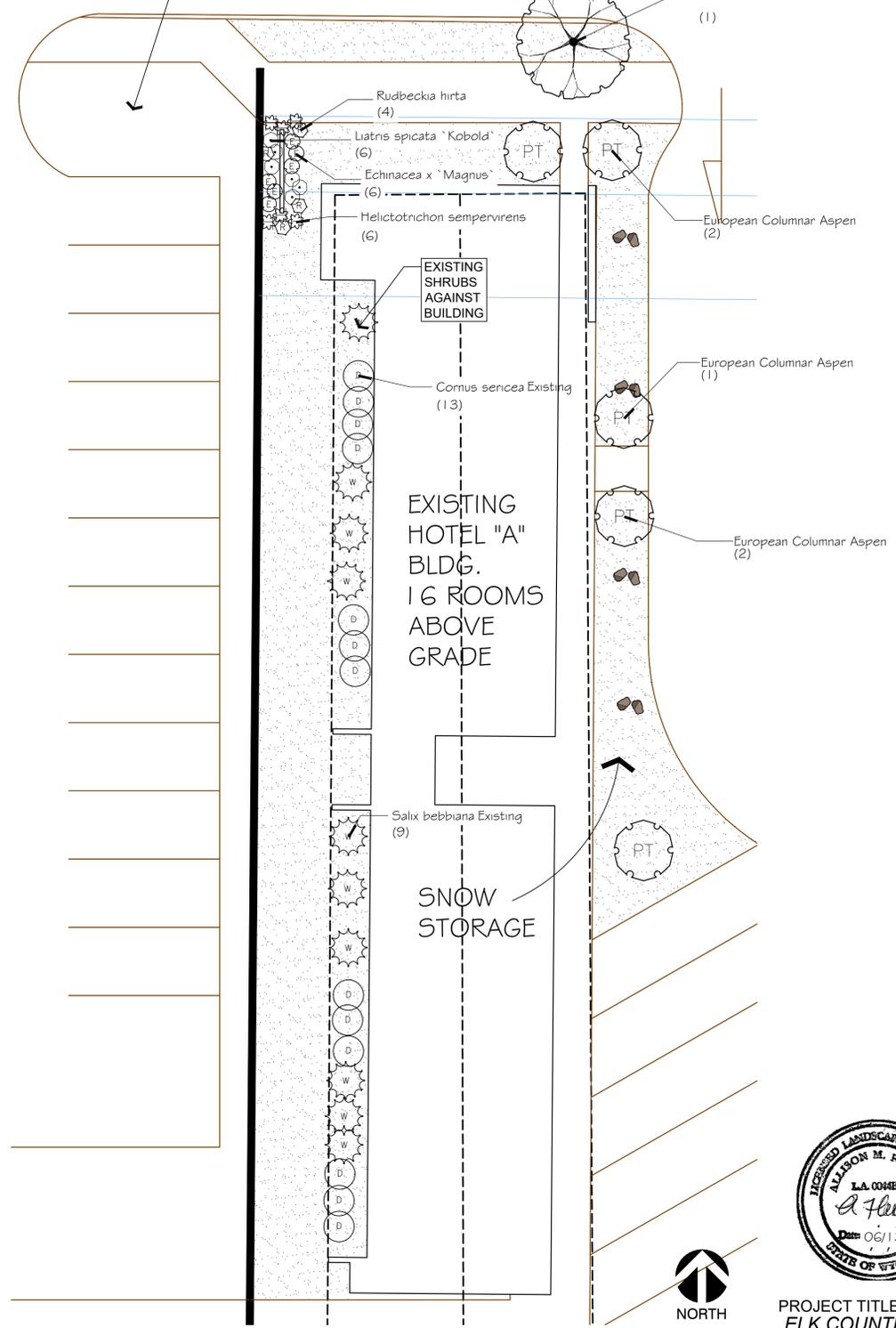
Autumn Blaze Maple (3)



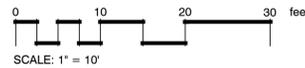
FRONT ENTRY - ELK COUNTRY INN



WATER FEATURE TO REMAIN



WEST BUILDING - ELK COUNTRY INN



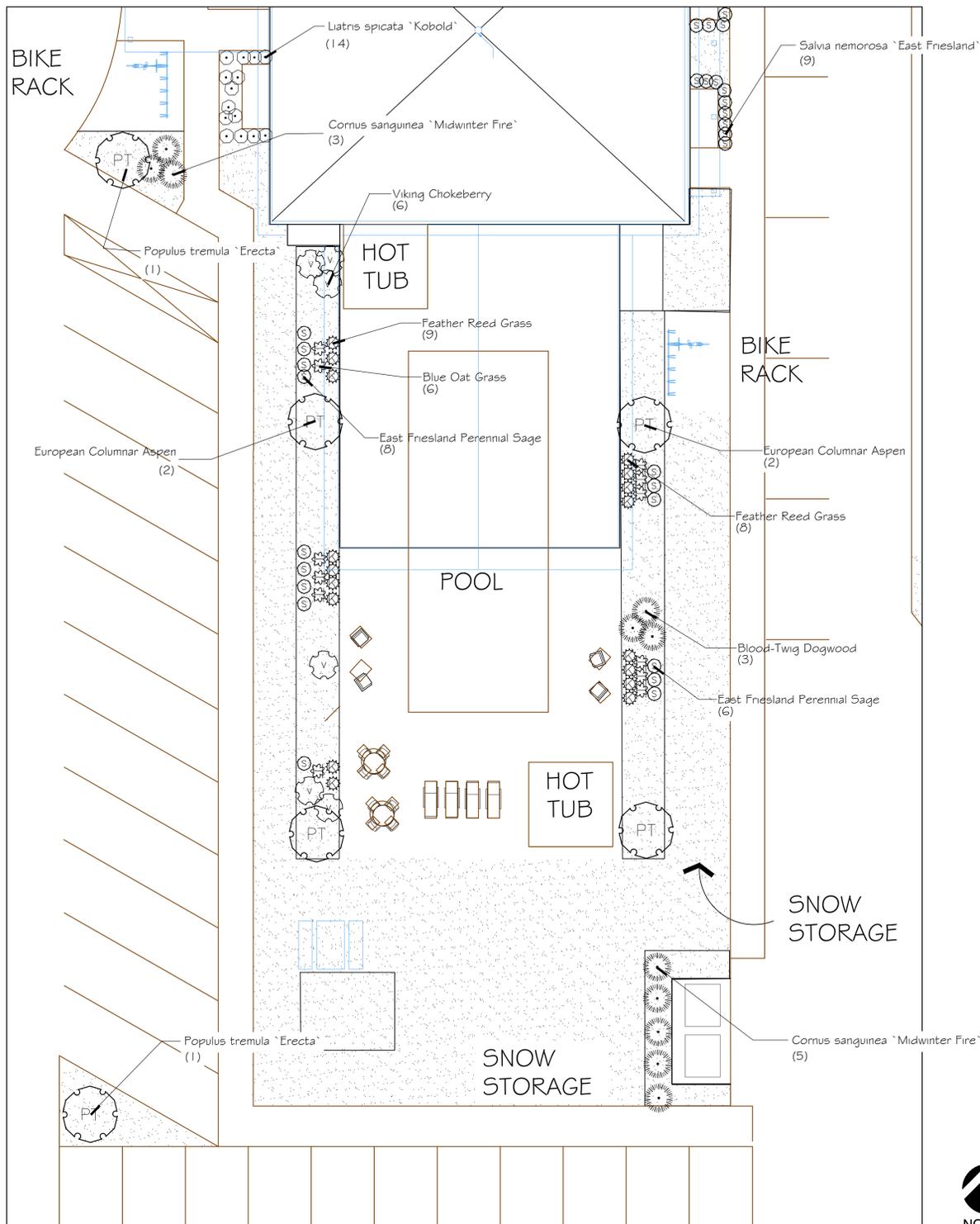
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 ELK COUNTRY INN
 480 PEARL AVENUE
 NEW ENTRY BUILDING
 DRAWING TITLE:
 LANDSCAPE PLAN
 ENLARGEMENTS

DRAWING NO: LP 1.1
 Project Number: 2018-03
 Prepared By: AMF Date: 03/02/18 Rev. Date: 06/13/18

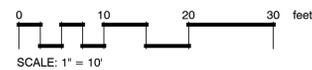
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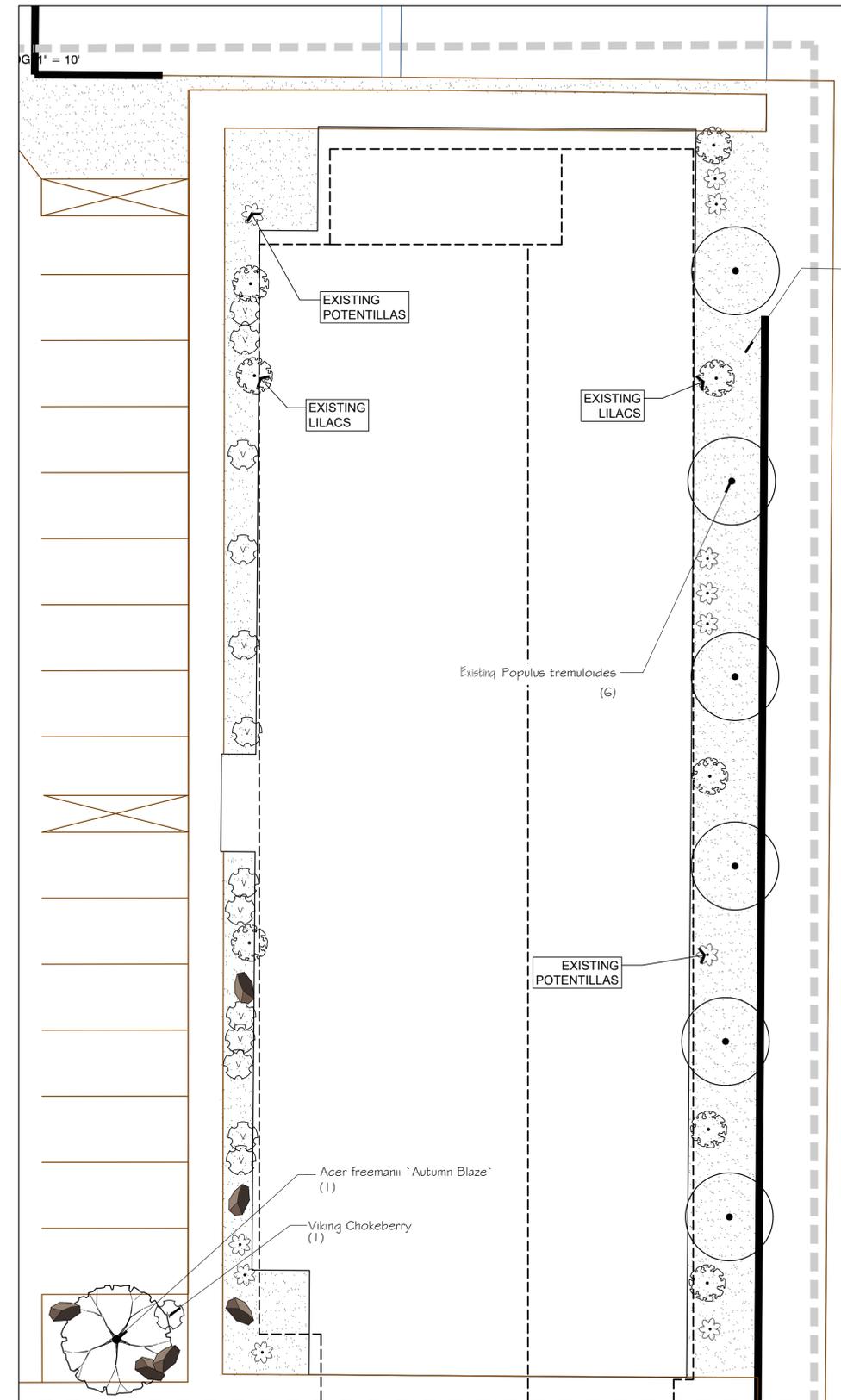
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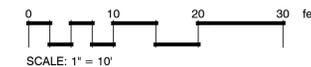
POOL AREA - ELK COUNTRY INN



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EAST BUILDING - ELK COUNTRY INN



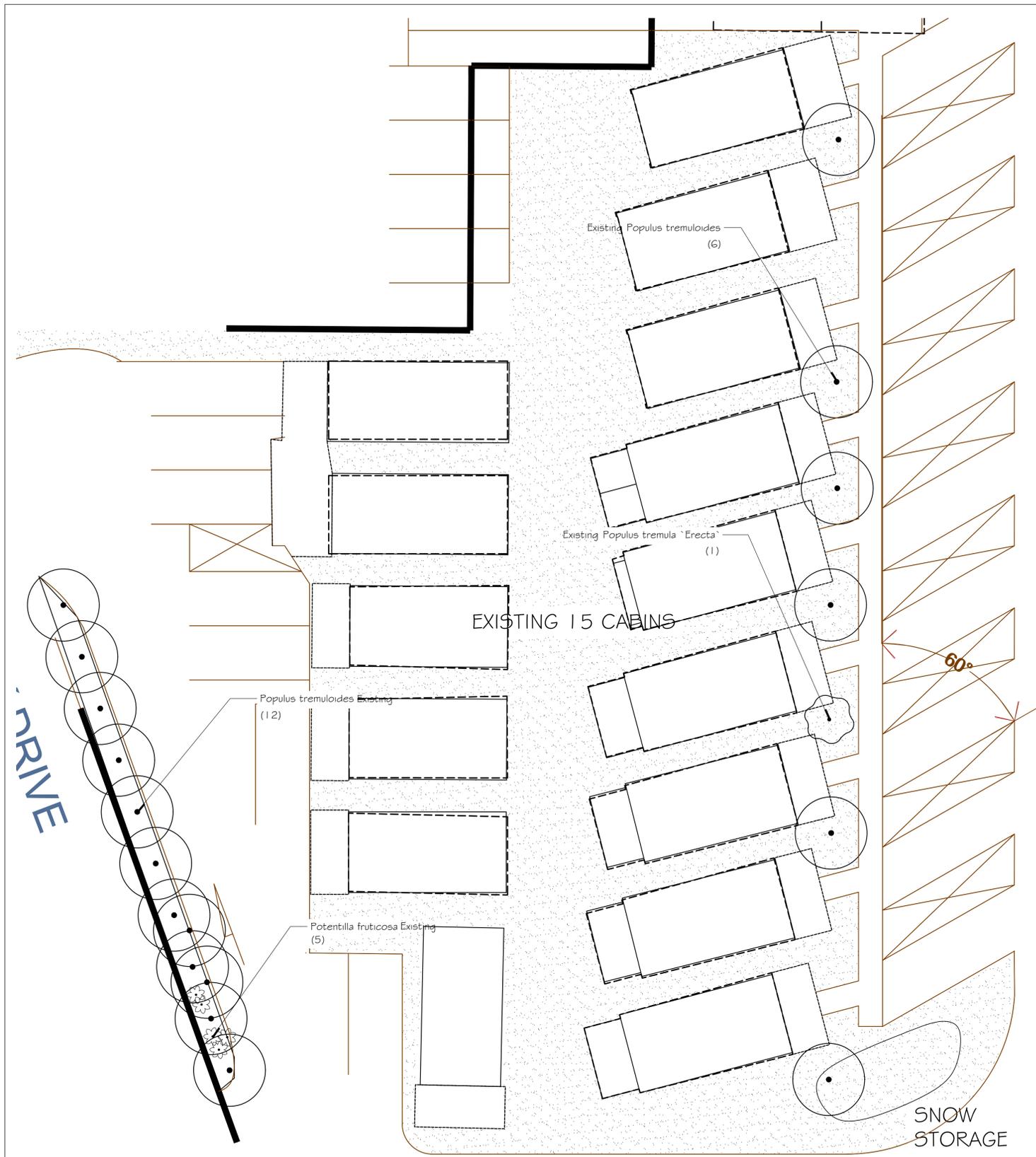
PROJECT TITLE:
 ELK COUNTRY INN
 480 PEARL AVENUE
 NEW ENTRY BUILDING
 DRAWING TITLE:
 LANDSCAPE PLAN
 ENLARGEMENTS

DRAWING NO: LP 1.2
 Project Number: 2018-03
 Prepared By: AMF Date: 03/02/18 Rev. Date: 06/13/18

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SOUTHWEST CABINS - ELK COUNTRY INN

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0 10 20 30 feet
 SCALE: 1" = 10'

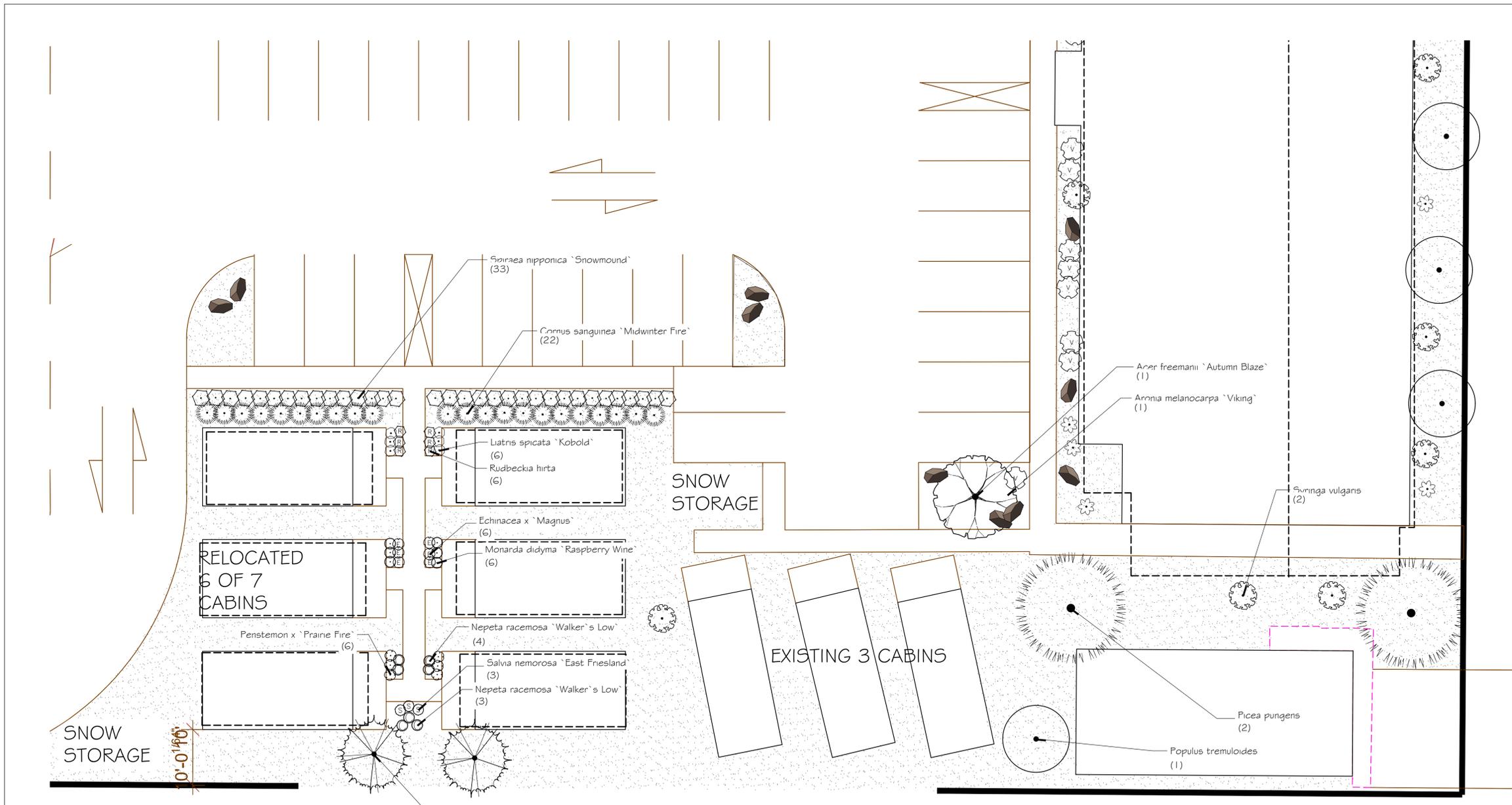


PROJECT TITLE:
 ELK COUNTRY INN
 480 PEARL AVENUE
 NEW ENTRY BUILDING
 DRAWING TITLE:
 LANDSCAPE PLAN
 ENLARGEMENTS

DRAWING NO: LP 1.3
 Project Number: 2018-03
 Prepared By: AMF Date: 03/02/18 Rev. Date: 06/13/18

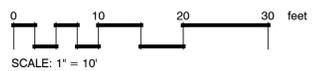
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SOUTH BUILDINGS - ELK COUNTRY INN

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PROJECT TITLE:
 ELK COUNTRY INN
 480 PEARL AVENUE
 NEW ENTRY BUILDING
 DRAWING TITLE:
 LANDSCAPE PLAN
 ENLARGEMENTS

DRAWING NO: LP 1.4
 Project Number: 2018-03
 Prepared By: AMF Date: 03/02/18 Rev. Date: 04/10/18

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PLANT SCHEDULE

TREES	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	QTY
	Acer freemanii 'Autumn Blaze'	Autumn Blaze Maple	B & B	8" Cal		5
	Picea pungens	Colorado Spruce	B & B		14'-15'	2
	Populus tremula 'Erecta'	European Columnar Aspen	B & B	2.5" Cal		11
EXISTING	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	QTY
	Picea pungens	Colorado Spruce	Existing			2
	Populus tremula 'Erecta'	European Columnar Aspen	Existing			1
	Populus tremuloides	Quaking Aspen	Existing			25
TO BE REMOVED	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	QTY
	Picea pungens	Colorado Spruce	Existing			7
	Populus tremuloides	Quaking Aspen	Existing			9
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	FIELD2	FIELD3	QTY
	Aronia melanocarpa 'Viking'	Viking Chokeberry	5 gal			20
	Cornus sanguinea 'Midwinter Fire'	Blood-Twig Dogwood	5 gal			33
	Physocarpus opulifolius 'Summer Wine'	Summer Wine Ninebark	5 gal			7
	Spiraea nipponica 'Snowmound'	Snowmound Spirea	5 gal			41
ANNUALS/PERENNIALS	BOTANICAL NAME	COMMON NAME	SIZE	FIELD2	FIELD3	QTY
	Echinacea x 'Magnus'	Magnus Coneflower	1 gal			17
	Liatris spicata 'Kobold'	Spike Gayfeather	1 gal			26
	Monarda didyma 'Raspberry Wine'	Raspberry Wine Bee Balm	1 gal			6
	Nepeta racemosa 'Walker's Low'	Catmint	1 gal			31
	Penstemon x 'Prairie Fire'	Prairie Fire Beardtongue	1 gal			6
	Rudbeckia hirta	Black-eyed Susan	1 gal			16
	Salvia nemorosa 'East Friesland'	East Friesland Perennial Sage	1 gal			57
EXISTING SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	FIELD2	FIELD3	QTY
	Cornus sericea	Red Twig Dogwood	Existing			13
	Potentilla fruticosa	Bush Cinquefoil	Existing			16
	Salix bebbiana	Common Willow	Existing			10
	Syringa vulgaris	Common Lilac	Existing			11
GRASSES	BOTANICAL NAME	COMMON NAME	SIZE	FIELD2	FIELD3	QTY
	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	1 gal			17
	Festuca glauca 'Beyond Blue'	Beyond Blue Fescue	1 gal			44
	Hakonechloa macra	Japanese Forest Grass	1 gal			13
	Helictotrichon sempervirens	Blue Oat Grass	1 gal			18
SHADE PLANTS	BOTANICAL NAME	COMMON NAME	SIZE	FIELD2	FIELD3	QTY
	Brunnera macrophylla 'Hadespen Cream'	Siberian Bugloss	1 gal			31
	Helleborus orientalis 'White Lady'	White Lenten Rose	1 gal			10
TO BE REMOVED	BOTANICAL NAME	COMMON NAME	SIZE	FIELD2	FIELD3	QTY
	Syringa vulgaris	Common Lilac	Existing			23

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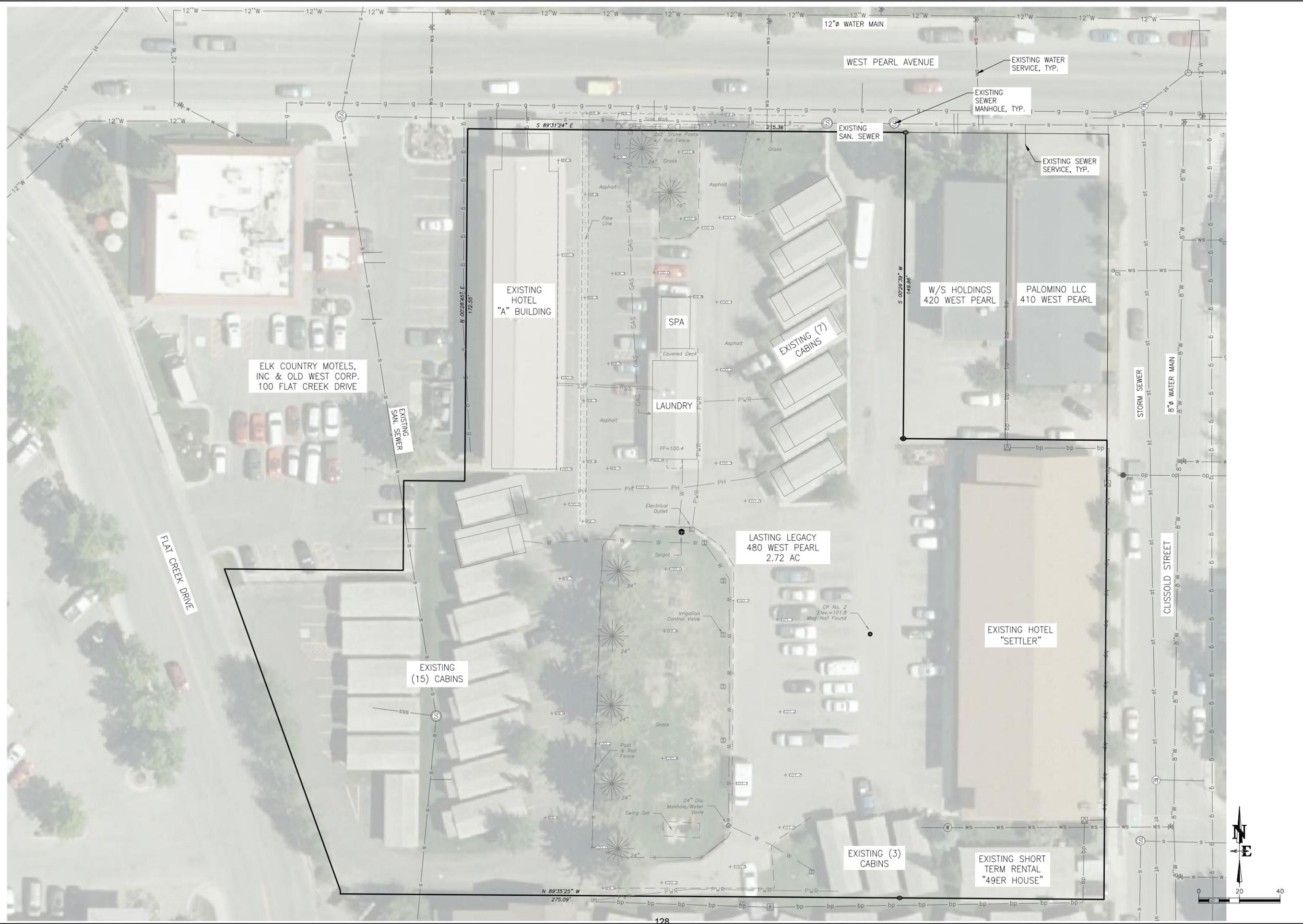
PROJECT TITLE:
 ELK COUNTRY INN
 480 PEARL AVENUE
 NEW ENTRY BUILDING
 DRAWING TITLE:
 LANDSCAPE SCHEDULE

DRAWING NO: LP 6.0
 Project Number: 2018-03
 Prepared By: AMF Date: 03/28/18 Rev. Date: 06/13/18

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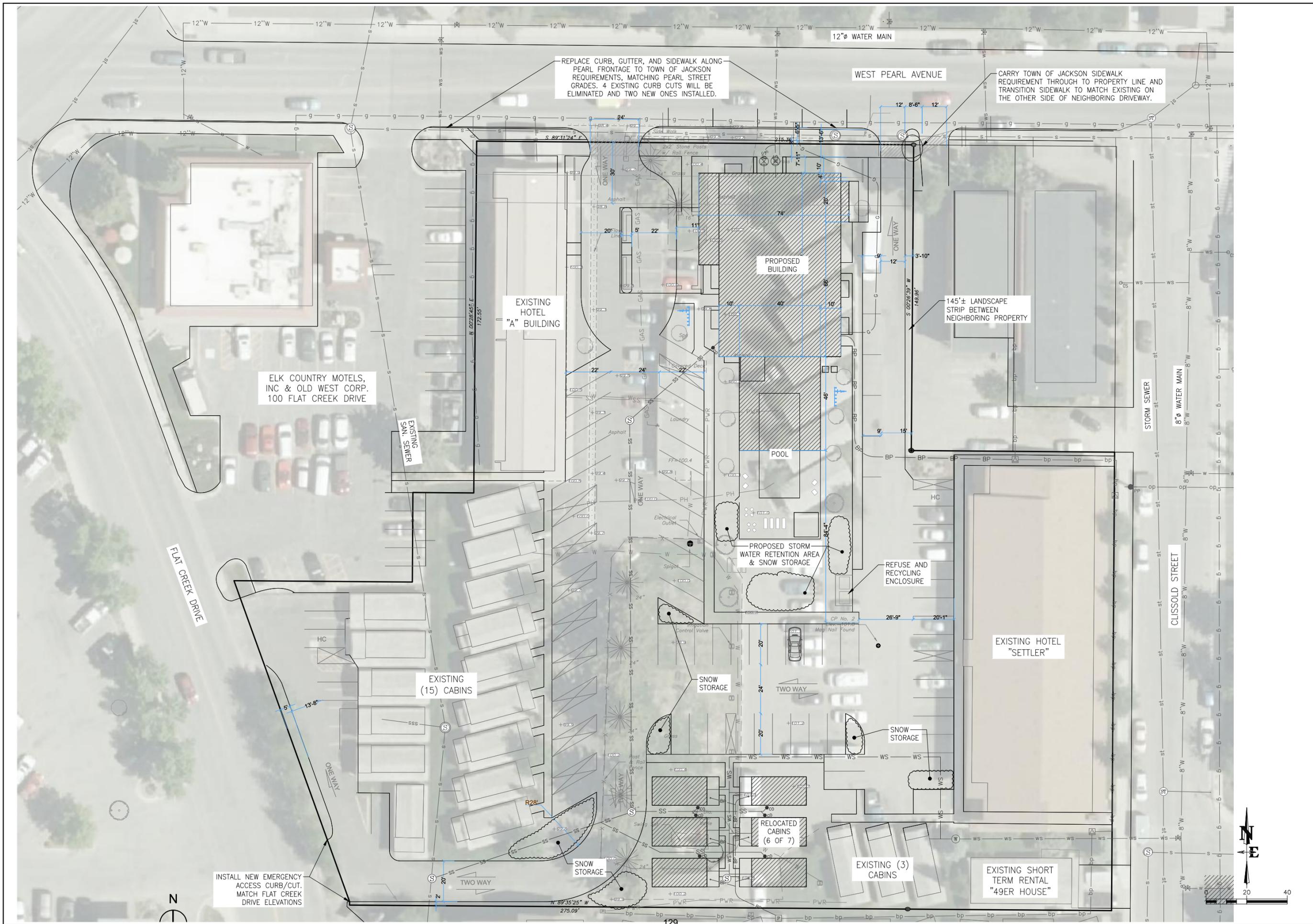
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DRAWING NO C1.0	JOB TITLE ELK COUNTRY INN DEVELOPMENT PLAN SUBMITTAL JACKSON, WYOMING	DRAWING TITLE EXISTING SITE PLAN		DATE 4/11/2018	REV. -
		JOB NO 17-887-02		SURVEYED ENGINEERED DRAWN CHECKED APPROVED	BIG

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INSTALL NEW EMERGENCY ACCESS CURB/CUT. MATCH FLAT CREEK DRIVE ELEVATIONS

REPLACE CURB, GUTTER, AND SIDEWALK ALONG PEARL FRONTAGE TO TOWN OF JACKSON REQUIREMENTS, MATCHING PEARL STREET GRADES. 4 EXISTING CURB CUTS WILL BE ELIMINATED AND TWO NEW ONES INSTALLED.

CARRY TOWN OF JACKSON SIDEWALK REQUIREMENT THROUGH TO PROPERTY LINE AND TRANSITION SIDEWALK TO MATCH EXISTING ON THE OTHER SIDE OF NEIGHBORING DRIVEWAY.

145'± LANDSCAPE STRIP BETWEEN NEIGHBORING PROPERTY

PROPOSED BUILDING

POOL

PROPOSED STORM WATER RETENTION AREA & SNOW STORAGE

REFUSE AND RECYCLING ENCLOSURE

EXISTING HOTEL "SETTLER"

EXISTING (15) CABINS

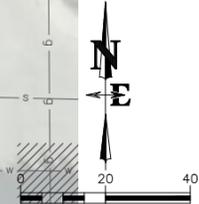
SNOW STORAGE

SNOW STORAGE

RELOCATED CABINS (6 OF 7)

EXISTING (3) CABINS

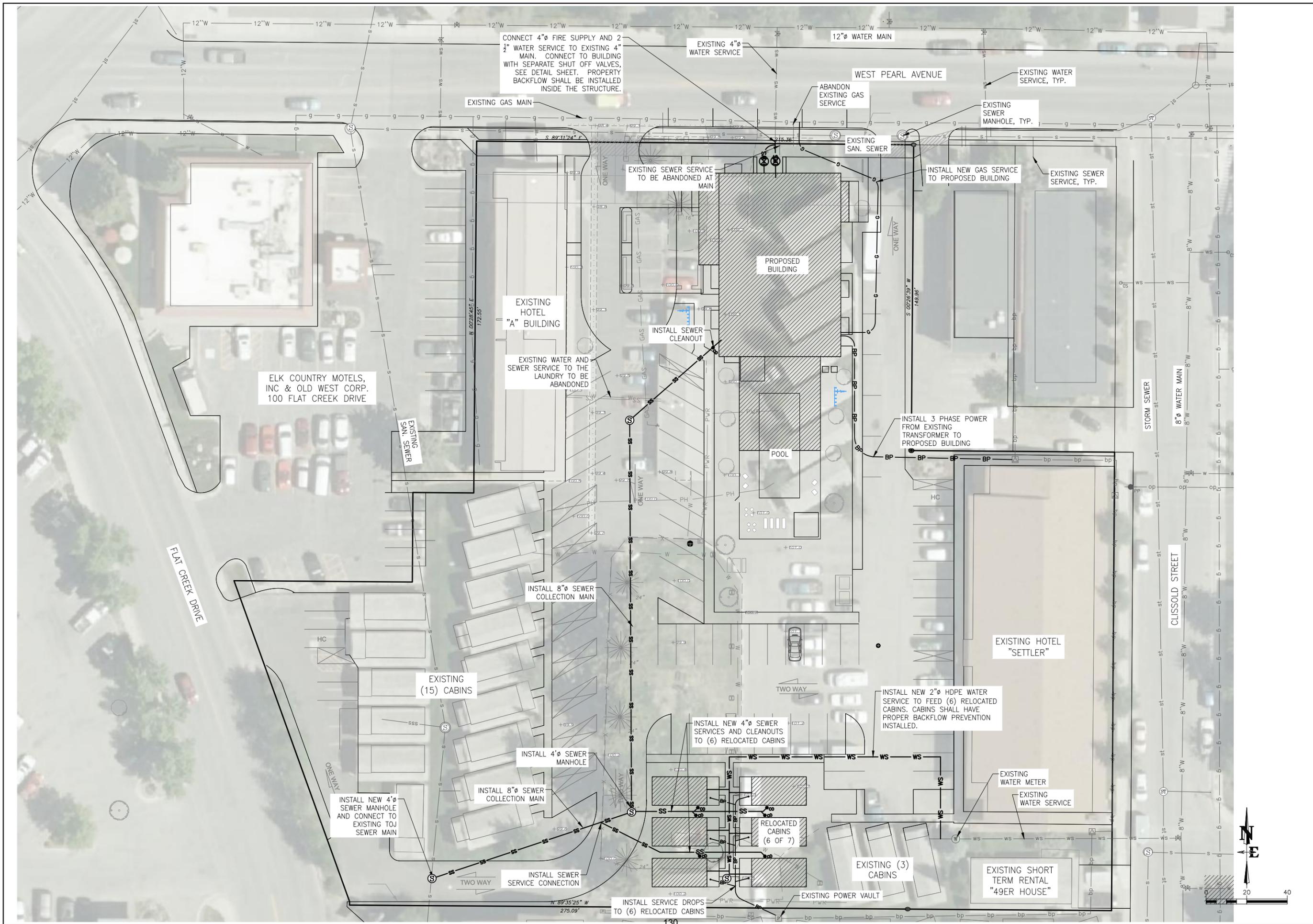
EXISTING SHORT TERM RENTAL "49ER HOUSE"



DRAWING NO C2.0	JOB TITLE ELK COUNTRY INN DEVELOPMENT PLAN SUBMITTAL JACKSON, WYOMING	DRAWING TITLE SITE GRADING PLAN	DATE	REV.
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JOB NO 17-867-02			SURVEYED	MB
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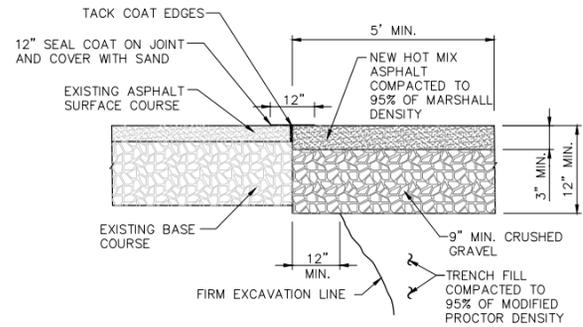
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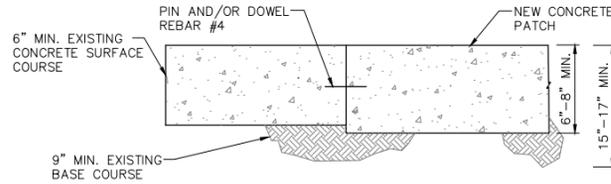
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						ENGINEERED		BIG	
						DRAWN			
						CHECKED			
						APPROVED			

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BITUMINOUS MATERIAL SHALL MEET THE APPLICABLE REQUIREMENTS OF SECTION 02545 BITUMINOUS MATERIALS OF WYOMING PUBLIC WORKS STANDARDS AND SPECIFICATIONS

ASPHALT PATCH REPAIR DETAIL

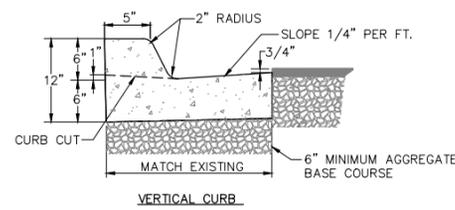


CONCRETE PATCH REPAIR DETAIL

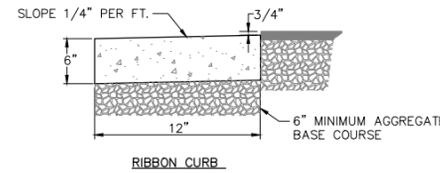
NOTES:

1. REPLACEMENT ASPHALT THICKNESS SHALL BE 1" GREATER THAN EXISTING AND NO LESS THAN 3" MINIMUM.
2. ASPHALT SHALL BE PLACED IN TWO (2) LIFTS, EACH NO LESS THAN 1 1/2" IN THICKNESS, AND COMPACTED TO 95% OF MARSHALL DENSITY.
3. PORTLAND CEMENT CONCRETE PAVEMENT SHALL MEET APPLICABLE REQUIREMENTS OF SECTION 02520, 02776 AND 03304 AS DIRECTED BY TOWN PUBLIC WORKS DEPARTMENT.

ST-118 PATCH REPAIR SECTION TOJ STD DETAIL C4.0



VERTICAL CURB

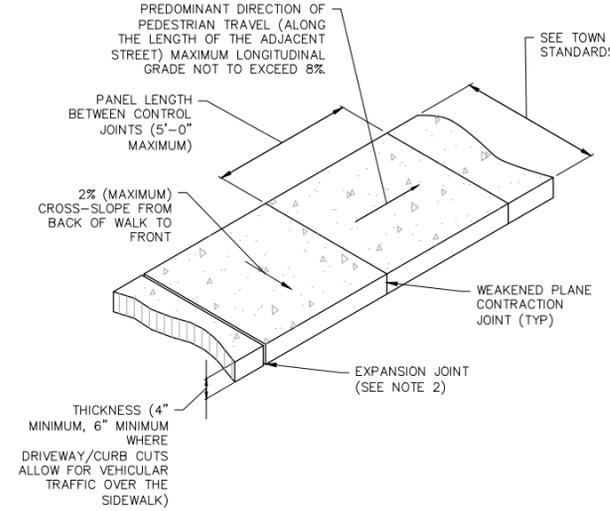


RIBBON CURB

NOTES:

1. CURBS SHALL CONFORM TO WPSS SECTION 02525, EXCEPT THAT PORTLAND CEMENT CONCRETE SHALL BE FIBERMESH-REINFORCED CLASS 4000 CONCRETE CONFORMING WITH WPSS SECTION 03304, PART 2.07.
2. AGGREGATE BASE COURSE SHALL BE SIX INCH MINIMUM THICKNESS, CONFORM TO WPSS SECTION 02190, PART 2.03, GRADING H, AND BE INSTALLED PER WPSS SECTION 02231, PART 3.03.
3. REMOVAL AND REPLACEMENT OF CURB SHALL TAKE PLACE IN FULL PANELS.
4. ROLL CURB SHALL NOT BE ALLOWED.

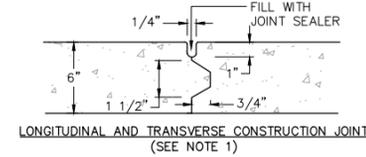
ST-110 CURB SECTION DETAIL TOJ STD DETAIL C4.0



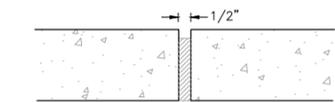
NOTES:

1. SIDEWALK SHALL CONFORM TO ALL APPLICABLE ADA STANDARD REQUIREMENTS SIDEWALKS SHALL CONFORM TO WPSS SECTION 02776, EXCEPT THAT PORTLAND CEMENT CONCRETE SHALL BE FIBERMESH-REINFORCED CLASS 4000 CONCRETE CONFORMING WITH WPSS SECTION 03304, PART 2.07.
2. EXPANSION JOINTS SHALL BE PLACED IN SIDEWALK AT THE SAME LOCATIONS AS THOSE IN CURB AND GUTTER WHEN SIDEWALK IS ADJACENT TO CURB. (PER WPSS SECTION 03251, PART 3.04 SPACING SHALL NOT EXCEED 32'-0" ON CENTER.)
3. FOR SIDEWALKS GREATER THAN SIX FEET IN WIDTH, A LONGITUDINAL CONTROL JOINT SHALL BE INSTALLED AT THE CENTER OF THE WALK.
4. REMOVAL AND REPLACEMENT OF SIDEWALK SHALL TAKE PLACE IN FULL PANELS.
5. AGGREGATE BASE COURSE SHALL BE FOUR INCH MINIMUM THICKNESS, CONFORM TO WPSS SECTION 02190, PART 2.03, GRADING H, AND BE INSTALLED PER WPSS SECTION 02231, PART 3.03.

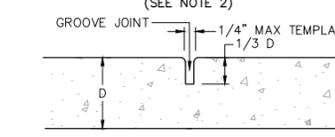
ST-127 CONCRETE SIDEWALK TOJ STD DETAIL C4.0



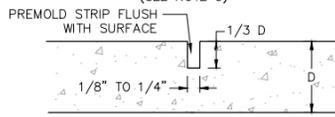
LONGITUDINAL AND TRANSVERSE CONSTRUCTION JOINT (SEE NOTE 1)



EXPANSION JOINT (SEE NOTE 2)



CONTRACTION JOINT (SEE NOTE 3)

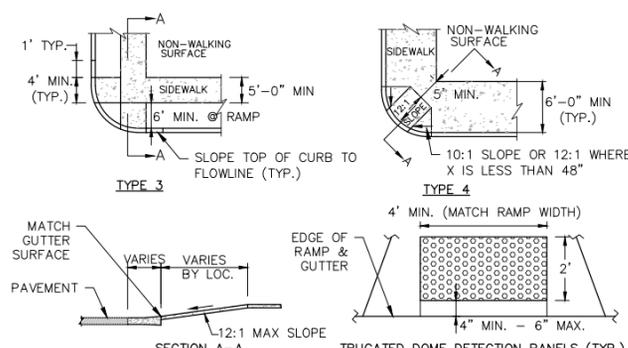
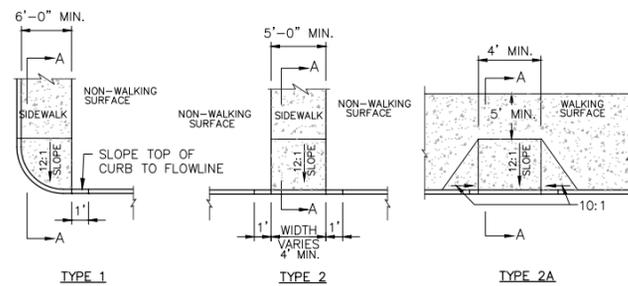


SAWED OR PREMOLDED STRIP LONGITUDINAL OR TRANSVERSE JOINT

NOTE:

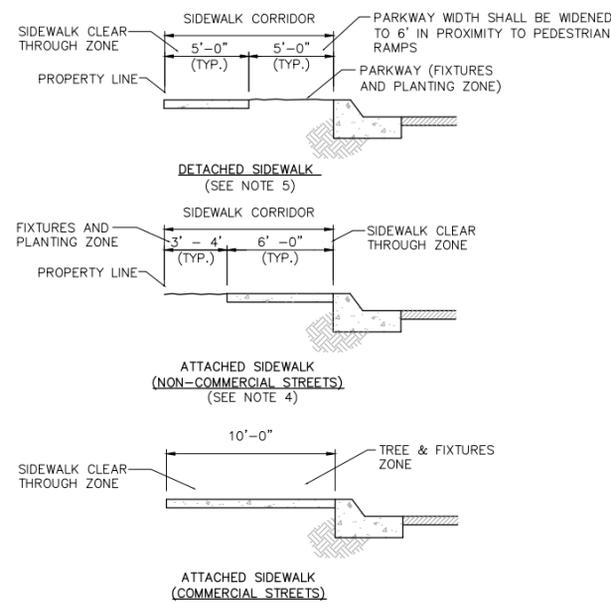
1. KEYWAY FORMED BY FASTENING METAL KEY TO FORM.
2. 1/2" PREMOLDED NON-EXTRUDING EXPANSION JOINT MATERIAL TO MEET AASHTO M-59. EXPANSION MATERIAL SHALL BE INSTALLED WHEN ABUTTING EXISTING CONCRETE OR FIXED STRUCTURES SUCH AS INLETS AND DRIVEWAYS, AND EVERY 300' ON LONG STRAIGHT CONCRETE STRETCHES.
3. FORM WITH TEMPLATE OR SAWCUT JOINTS. IF SAWCUT JOINTS ARE USED, THEY SHALL BEGIN AS SOON AS CONCRETE IS HARDENED SUFFICIENTLY TO PERMIT SAWING WITHOUT EXCESSIVE RAVELING AND BEFORE UNCONTROLLED CRACKING OCCURS. MINIMUM DISTANCE BETWEEN JOINTS IS 5'.
4. JOINT LAYOUT FOR CONCRETE STREETS IS TO BE SUBMITTED TO THE TOWN ENGINEER FOR APPROVAL.

ST-123 PAVING & CONCRETE JOINT DETAILS TOJ STD DETAIL C4.0



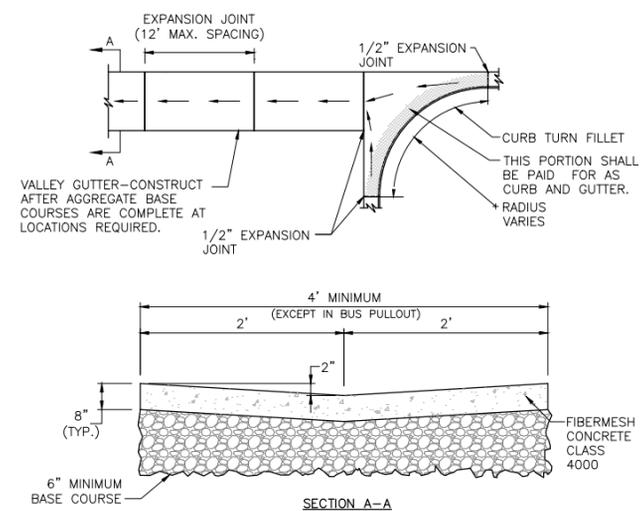
- NOTES:
1. SIDEWALKS SHALL CONFORM TO ALL APPLICABLE ADA STANDARD REQUIREMENTS.
 2. LIP AT GUTTER TO BE NO MORE THAN 1/2" HIGH.
 3. CONCRETE TO BE A BROOM FINISH.
 4. ALL PEDESTRIAN RAMPS SHALL INCLUDE PLACEMENT OF CAST IRON TRUNCATED DOME DETECTION PANELS IN A BRICK RED COLOR. (PANELS SHALL BE PROVIDED BY TOJ.)

ST-112 PEDESTRIAN RAMPS TOJ STD DETAIL C4.0



- NOTES:
1. SIDEWALKS SHALL CONFORM TO ALL APPLICABLE ADA STANDARD REQUIREMENTS
 2. SIDEWALK, PEDESTRIAN RAMPS AND CURB & GUTTER CONSTRUCTION SHALL BE PER 3. TOWN STANDARDS
 3. TOWN STANDARDS
 4. BE INSTALLED.
 5. MINIMUM CLEARANCE AROUND ALL OBSTRUCTIONS SHALL BE 5'-0". ON NON-COMMERCIAL STREETS DETACHED SIDEWALK SHALL BE THE PREFERRED OPTION. IN ORDER TO MAINTAIN THE CLEAR THROUGH ZONE, THE FIXTURES ZONE SHALL BE WHERE FIRE HYDRANTS, UTILITY POLES, GUY WIRES, PULL BOXES, NEWSPAPER BOXES, PHONE BOOTHS, AND OTHER SUCH OBSTRUCTIONS ARE LOCATED.

ST-128 SIDEWALK CORRIDOR TOJ STD DETAIL C4.0



- NOTES:
1. VALLEY GUTTERS AND CURB TURN FILLETS SHALL CONFORM TO WPSS SECTION 02528, EXCEPT THAT PORTLAND CEMENT CONCRETE SHALL BE FIBERMESH CLASS 4000 CONCRETE CONFORMING WITH WPSS SECTION 03304, PART 2.08.
 2. AGGREGATE BASE COURSE SHALL BE SIX INCH MINIMUM THICKNESS, CONFORM TO WPSS SECTION 02190, PART 2.03, GRADING H, AND BE INSTALLED PER WPSS SECTION 02231, PART 3.03.
 3. REMOVAL AND REPLACEMENT OF VALLEY GUTTER SHALL TAKE PLACE IN FULL PANELS.
 4. CURB AND GUTTER SECTION SHALL BE POURED SEPARATE OF VALLEY PAN AS WELL AS PEDESTRIAN RAMP AND/OR SIDEWALK.

ST-109 VALLEY GUTTER & CURB TURN FILLET TOJ STD DETAIL C4.0

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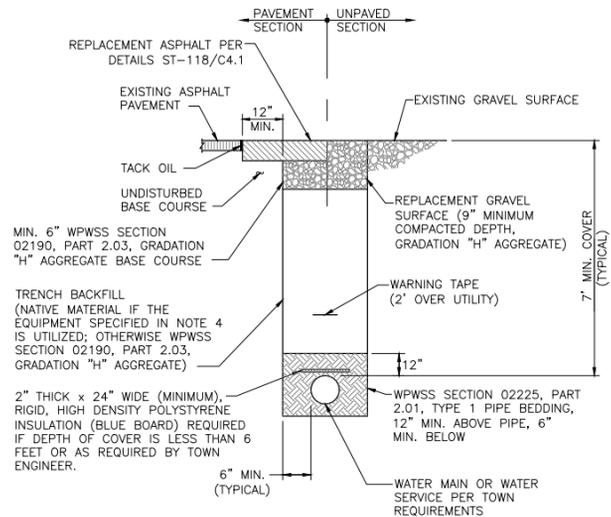
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DATE	4/11/2018
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DRAWING TITLE
ROAD & GRADING DETAILS

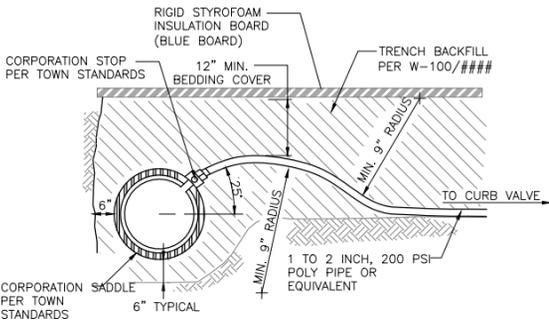
JOB TITLE
ELK COUNTRY INN
DEVELOPMENT PLAN SUBMITTAL
JACKSON, WYOMING

DRAWING NO
C4.0
JOB NO
17-887-02



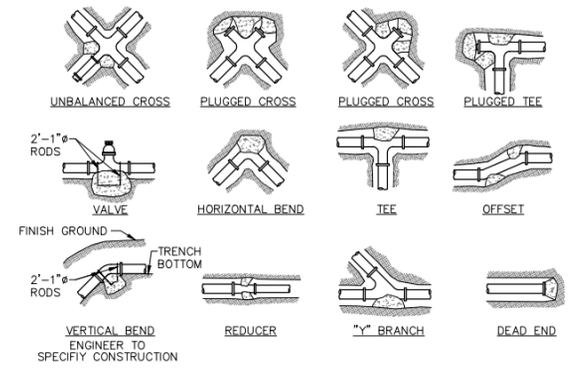
- NOTES:**
- TRENCH BACKFILL BELOW THE SURFACE SHALL MEET THE FOLLOWING CRITERIA:
 - 95% MODIFIED PROCTOR DENSITY WITHIN STREET AND ALLEY RIGHTS-OF-WAY.
 - 90% MODIFIED PROCTOR DENSITY OUTSIDE STREET AND ALLEY RIGHTS-OF-WAY.
 - COMPACTION OF NATIVE TRENCH BACKFILL, WITH ALL ROCK LARGER THAN 6" REMOVED, SHALL BE CARRIED OUT IN 2' LIFTS WITH A HOE-PACK OR A VIBRATORY SHEEPS FOOT ROLLER. (COMPACTION METHOD AND EQUIPMENT SHALL BE REVIEWED AND APPROVED BY TOWN ENGINEER PRIOR TO BACKFILLING).
 - PIPE BEDDING SHALL BE PLACED IN 6" LIFTS AND THOROUGHLY COMPACTED WITH A JUMPING JACK TO PROVIDE UNIFORM PIPE SUPPORT.
 - UNLESS OTHERWISE DIRECTED, ALL BASE COURSE AND GRAVEL SURFACE REPLACEMENT SHALL BE INSTALLED PER WPSS SECTION 02231, PART 3.03.
 - ALL TRENCH EXCAVATION SHALL CONFORM TO WYOMING OCCUPATIONAL HEALTH AND SAFETY ADMINISTRATION (WYOSHA) REGULATIONS.

W-100
C4.1 **WATER MAIN AND SERVICE LINE TRENCH**
TOJ STD DETAIL



- DETAIL OF A PROPERLY INSTALLED CORPORATION STOP, SHOWING GOOSENECK IN SERVICE PIPE.**
- NOTES:**
- RIGID STYROFOAM INSULATION BOARD (BLUE BOARD) THICKNESS TO BE 2" OR GREATER. INSTALL FULL WIDTH OF TRENCH OR 2' OUTSIDE OF PIPE. OVER LAP 6" AT SEAMS.
 - ALL CONNECTIONS TO POLY PIPE WILL BE COMPRESSION TYPE FITTINGS INSTAIGHT OR EQUIVALENT.

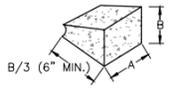
W-102
C4.1 **1" WATER SERVICE CONNECTION**



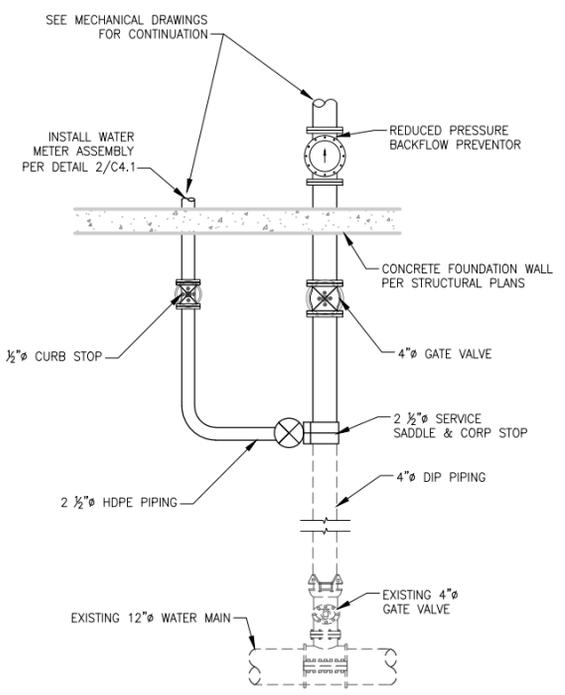
MINIMUM DIMENSIONS FOR THRUST BLOCKING

FITTING SIZE	TEES & PLUGS		90° BENDS		45° BENDS & WYES		REDUCERS & 22 1/2° BENDS		11 1/4° BENDS	
	A	B	A	B	A	B	A	B	A	B
4"	1'-7"	1'-2"	1'-9"	1'-8"	1'-8"	0'-10"	1'-7"	0'-8"	0'-8"	0'-6"
6"	2'-0"	1'-11"	2'-5"	2'-2"	1'-10"	1'-7"	1'-9"	0'-10"	1'-0"	0'-6"
8"	2'-8"	2'-6"	3'-2"	3'-0"	2'-5"	2'-1"	1'-9"	1'-6"	1'-0"	1'-0"
10"	3'-4"	3'-3"	4'-0"	3'-10"	3'-0"	2'-9"	2'-2"	1'-11"	1'-6"	1'-0"
12"	4'-0"	3'-10"	4'-8"	4'-8"	3'-8"	3'-3"	2'-7"	2'-3"	2'-0"	1'-0"
14"	5'-5"	3'-10"	6'-6"	4'-11"	4'-9"	3'-5"	3'-5"	2'-5"	2'-0"	1'-6"
20"	5'-0"	5'-0"	6'-0"	6'-0"	5'-0"	4'-0"	3'-5"	3'-0"	3'-0"	2'-0"
24"	6'-0"	6'-0"	7'-0"	7'-0"	5'-0"	5'-0"	4'-8"	3'-0"	3'-0"	3'-0"
30"	7'-6"	7'-6"	8'-0"	8'-0"	6'-3"	6'-3"	4'-9"	4'-6"	3'-3"	3'-3"

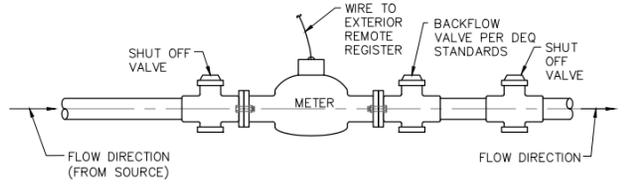
- NOTES:**
- SIZE BLOCKS SHALL BE A MINIMUM OF 6" THICK.
 - ALL BLOCKING SHALL BEAR AGAINST UNDISTURBED MATERIAL.
 - DESIGN IS BASED ON 150 PSI MAIN PRESSURE AND 2000 PSF SOIL BEARING CAPACITY.
 - 4 MIL POLYETHYLENE PLASTIC BOND BREAKER SHALL BE PROVIDED BETWEEN THRUST BLOCK AND WATER PIPE.



W-111
C4.1 **THRUST BLOCK DETAILS**
TOJ STD DETAIL

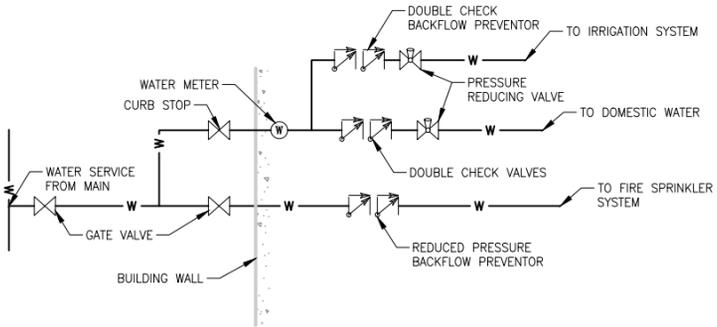


1
C4.1 **WATER SERVICE CONNECTION DETAIL**



- 2 1/2" DIAMETER ASSEMBLY**
- NOTES:**
- SERVICE PIPE MATERIAL SHALL MEET ADOPTED PLUMBING CODE REQUIREMENTS.
 - METER SHALL BE INSTALLED IN HORIZONTAL ALIGNMENT ONLY.
 - CONNECTIONS WITHIN THE ASSEMBLY SHALL BE THREADED OR BOLTED FLANGED, AS APPROPRIATE.
 - METER SHALL BE PURCHASED FROM AND SUPPLIED BY THE TOWN OF JACKSON.

2
C4.1 **WATER METER INSTALLATION DETAIL**

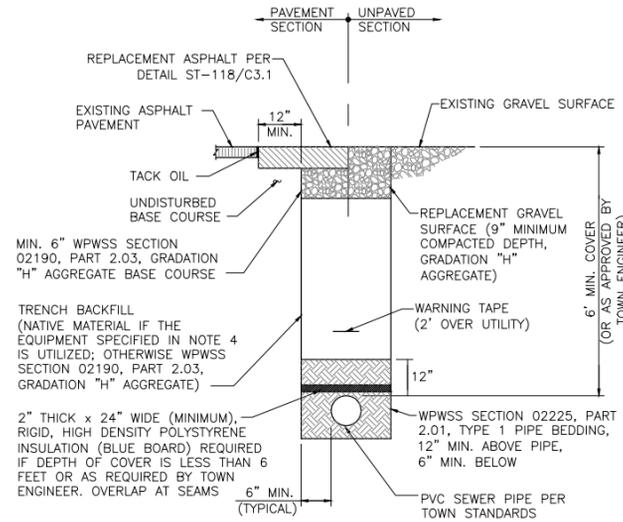


3
C4.1 **WATER SERVICE FIRE ENTRY SCHEMATIC DETAIL**

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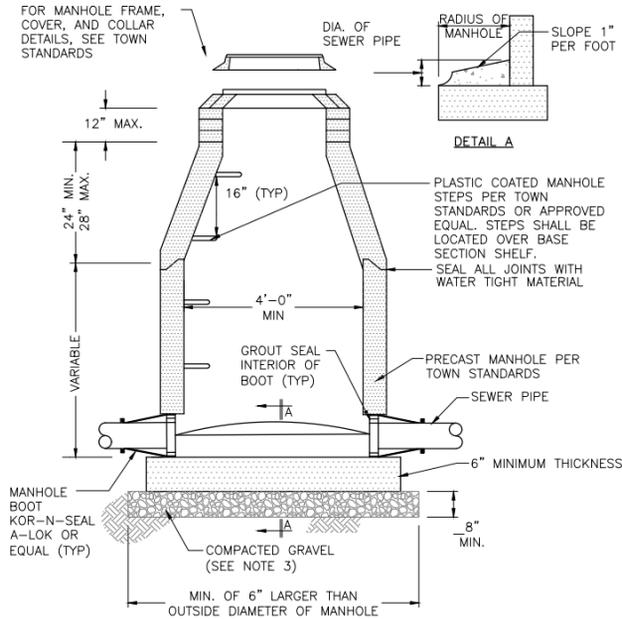
DRAWING NO C4.1	JOB NO 17-867-02	JOB TITLE ELK COUNTRY INN DEVELOPMENT PLAN SUBMITTAL JACKSON, WYOMING	DRAWING TITLE WATER DETAILS	DATE 4/11/2018	REV.
				SURVEYED	MB
				ENGINEERED	BIG
				DRAWN	CHECKED
				APPROVED	

NELSON ENGINEERING
P.O. BOX 1599, JACKSON WYOMING (307) 733-2087



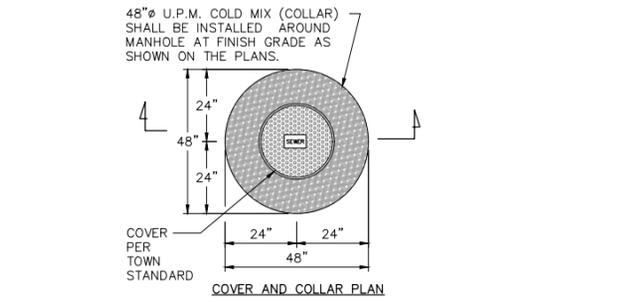
- NOTES:**
- TRENCH BACKFILL BELOW THE SURFACE SHALL MEET THE FOLLOWING CRITERIA:
 - 95% MODIFIED PROCTOR DENSITY WITHIN STREET AND ALLEY RIGHTS-OF-WAY.
 - 90% MODIFIED PROCTOR DENSITY OUTSIDE STREET AND ALLEY RIGHTS-OF-WAY.
 - COMPACTION OF NATIVE TRENCH BACKFILL, WITH ALL ROCK LARGER THAN 6" REMOVED, SHALL BE CARRIED OUT IN 2' LIFTS WITH A HOE-PACK OR A VIBRATORY SHEEPS FOOT ROLLER (COMPACTION METHOD AND EQUIPMENT SHALL BE REVIEWED AND APPROVED BY TOWN ENGINEER PRIOR TO BACKFILLING).
 - PIPE BEDDING SHALL BE PLACED IN 6" LIFTS AND THOROUGHLY COMPACTED WITH A JUMPING JACK TO PROVIDE UNIFORM PIPE SUPPORT.
 - UNLESS OTHERWISE DIRECTED, ALL BASE COURSE AND GRAVEL SURFACE REPLACEMENT SHALL BE INSTALLED PER WPSS SECTION 02231, PART 3.03.
 - ALL TRENCH EXCAVATION SHALL CONFORM TO WYOMING OCCUPATIONAL HEALTH AND SAFETY ADMINISTRATION (WOSHA) REGULATIONS.

SS-100 SEWER MAIN & SERVICE TRENCH DETAIL
C4.2



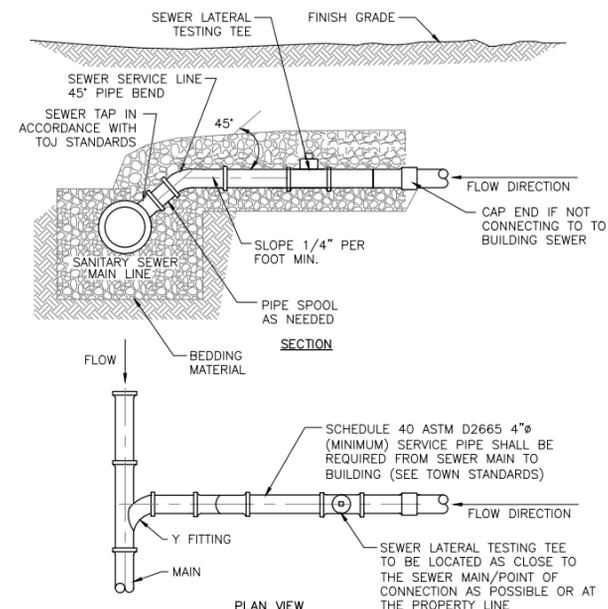
- NOTES:**
- DROP ACROSS INVERT SHALL BE GREATER THAN OR EQUAL TO SLOPE OF ADJACENT SEWER PIPE.
 - BASE SHALL BE REINFORCED WHEN THE DISTANCE FROM INVERT TO TOP OF COVER EXCEEDS 15'. REINFORCEMENT TO BE APPROVED BY ENGINEER.
 - GRAVEL SHALL BE EIGHT INCH MINIMUM THICKNESS, CONFORM TO WPSS SECTION 02190, PART 2.03, GRADING H, AND BE INSTALLED PER WPSS SECTION 02231, PART 3.03.
 - ALL PIPES GOING INTO MANHOLE SHALL BE INSTALLED TO MATCH TOP OF PIPE CROWNS.
 - TROUGH DEPTH AT CENTER TO BE HALF THE DIAMETER OF THE PIPE.

SS-102 SANITARY SEWER MANHOLE
TOJ STD DETAIL



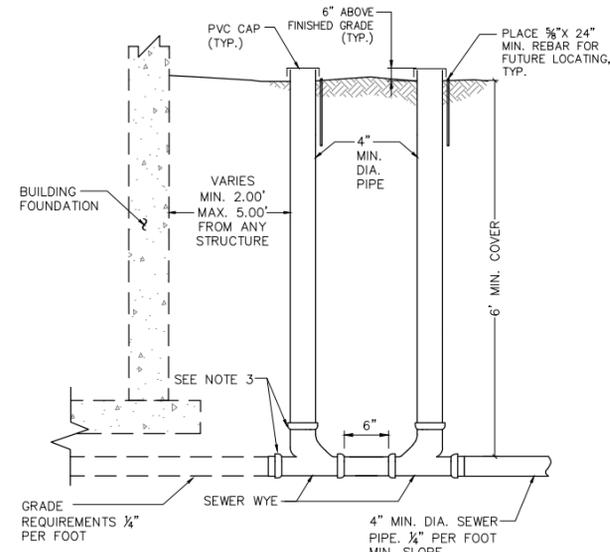
- NOTES:**
- ADJUST MANHOLE UPWARD WITH ADJUSTING RINGS UNDER FRAME. ADJUST MANHOLE DOWNWARD BY REMOVING A PORTION OF THE MANHOLE RISER AND REBUILDING TO PROPER HEIGHT. SLOPE MANHOLE RING AS REQUIRED TO MATCH STREET GRADE AND CROSS SLOPE. MAKE FINAL MANHOLE ADJUSTMENT AFTER PAVING AND BEFORE SEAL COATING.
 - IF MANHOLE IS WITHIN UNPAVED AREA USE TAPERED COLLAR. SEE TOWN SANITARY SEWER DETAIL SS-110.

SS-109 MANHOLE ADJUSTMENT DETAIL
TOJ STD DETAIL



- NOTES:**
- NEW SERVICE CONNECTIONS TO EXISTING SANITARY SEWER MAINS (OWNED BY THE TOWN) SHALL BE COMPLETED BY THE TOWN OF JACKSON. THE PRIVATE PARTY BEING SERVED BY THE NEW CONNECTION SHALL BE RESPONSIBLE FOR CARRYING OUT BACKFILL OPERATIONS.
 - BACKFILL OPERATIONS AT NEW SERVICES CONNECTED TO EXISTING SANITARY SEWER MAINS SHALL BE COMPACTED PER TOWN STANDARDS.
 - CLEANOUT TO BE PROVIDED ADJACENT TO HOUSE OR BUILDING, EVERY 100' OF SERVICE LINE, AND AT EVERY POINT WHERE THE SEWER SERVICE MAKES 135° OF ANGLE CHANGE PER THE INTERNATIONAL PLUMBING CODE.
 - COMPLETE WATER LEAK TESTING OF NEW SEWER PIPE IN ACCORDANCE WITH TOJ STANDARDS.

SS-111 SANITARY SEWER SERVICE LINE
C4.2



- NOTES:**
- PRIOR TO BACKFILL THE TOWN PUBLIC WORKS DEPARTMENT MUST INSPECT ALL PIPE, FITTINGS, COUPLINGS GRADE AND COMPLETE WATER TESTING.
 - INSTALL AND COMPACT ALL BACKFILL MATERIAL PER TOWN PUBLIC WORKS DEPARTMENT STANDARD SPECIFICATIONS AND AS SHOWN WITHIN THE TRENCH DETAIL.
 - ALL PVC FITTINGS SHALL MEET ASTM D2665 SPECIFICATIONS.

SS-114 SERVICE LATERAL BUILDING CLEANOUT
C4.2

DATE	REV.
4/11/2018	1
	MB
	BIG
	CHECKED
	APPROVED

NELSON ENGINEERING
P.O. BOX 1599, JACKSON WYOMING (307) 733-2087

DRAWING TITLE
SEWER DETAILS

JOB TITLE
ELK COUNTRY INN
DEVELOPMENT PLAN SUBMITTAL
JACKSON, WYOMING

DRAWING NO
C4.2

JOB NO
17-887-02

Town of Jackson
Project Plan Review History
PLANNING

Project Number	P18-128	Applied	4/24/2018	STOL
Project Name	DevePlan - Elk Country Inn	Approved		
Type	DEVPLAN	Closed		
Subtype	PHYSICAL DEVELOPMENT	Expired		
Status	STAFF REVIEW	Status		

Applicant _____ **Owner** LASTING LEGACY

Site Address	City	State	Zip
480 W PEARL AVENUE	JACKSON	WY	83001

Subdivision	Parcel No	General Plan
	22411633100032	

Type of Review	Status	Dates			Remarks
		Sent	Due	Received	
Contact Notes Building Jim Green	NO COMMENT	4/24/2018	5/15/2018		
Fire Kathy Clay	APPROVED W/CONDITI	4/24/2018	5/15/2018	4/26/2018	FD Comments

Type of Review	Status	Dates			Remarks
		Sent	Due	Received	
Contact Notes (4/26/2018 11:15 AM BCLA) FROM: Bobbi Clauson, Fire Inspector DATE: April 25, 2018 SUBJECT: Development Plan 480 West Pearl P18-128					

This office has received the request for a Sketch Plan review at the above location. The 2015 edition of the International Fire Code (IFC) and the 2017 edition of the National Electric Code (NEC) shall be used. PLEASE TAKE SPECIAL NOTE OF ALL **STARRED** ITEMS. Comments include, but are not limited to:

General Requirements

1. Fire apparatus access shall be provided. (2015 IFC 503.1.1)
2. Visible address numbers, a minimum of 4 inches in height and 0.5inch stroke width, shall be installed on all structures. (IFC 505.1)
3. Portable fire extinguishers shall be placed in accordance with code requirements. (IFC 906).
4. Interior finishes shall meet fire code requirements. (IFC Chapter 8)
5. Means of egress shall meet fire code requirements. (IFC Chapter 10)
6. The means of egress, including exit discharge, shall be illuminated at all times building space served by means of egress is occupied. (IFC 1008.1)
7. Any hazardous material storage shall meet fire code requirement. (IFC Chapter 27)
8. Should any fuel-fired appliances be installed, requirements for carbon monoxide detection shall be followed. (IFC 908.7)
9. ***Porte-cochere must meet requirements of Variance letter from Fire Marshal dated June 12, 2017.
10. Final fire inspection shall be required before certificate of occupancy is released.
11. ***Plans submitted to Fire Department for review shall consist of one set of paper plans and one set of electronic plans (CD, thumb drive, or PDF format).

Sprinklers

1. ***The structure will have an automatic fire sprinkler system in accordance with appropriate NFPA standard for the occupancy type. (IFC 903.2.7) Unless specified within construction document notes, systems shall be designed to NFPA 13.
2. ***Room which houses fire sprinkler riser shall be no less than 5' x 7' in dimension and shall be accessible from outside at grade. (IFC 903.2.11.1.1) NOT YET INDICATED ON PLANSET

Alarms

3. Building shall have a complete alarm system per NFPA 72. A full set of fire alarm plans from a fire alarm contractor shall be submitted with all calculations and cut sheets of all equipment. ***Please read IFC 907.2.8.1 for exceptions for fully sprinklered buildings. (IFC Chapter 9)

Elevator

4. Elevator shall comply with ASME A17.1 with Phase I and Phase II of elevator emergency operations; subject to recall if required. (IFC Section 607)

Kitchen Fire Suppression

5. Commercial cooking hood exhausting foods creating grease laden vapors shall be of Type I and follow requirements of the International Mechanical Code. (IFC 609.2)

Please feel free to contact me if you have any further questions at bclauson@tetoncountywy.gov or 307-733-4732.

Legal A Cohen-Davis	APPROVED	4/24/2018	5/15/2018	5/16/2018
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Parks and Rec Steve Ashworth	NO COMMENT	4/24/2018	5/15/2018	
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Type of Review Contact Notes	Status	Dates			Remarks
		Sent	Due	Received	
Pathways Brian Schilling (5/17/2018 9:01 AM STOL)	APPROVED W/CONDITI	4/24/2018	5/15/2018	5/17/2018	
see attachment for picutes.....					
P18-128, 480 W Pearl Elk Country Inn, Development Plan Comments from Teton County/TOJ Pathways Department Status: approved w/conditions					
•Streetscape					
o Sidewalk dimensions look good.					
•Sidewalks and driveway crossings					
o Sidewalks along Pearl Ave. shall be continuous when crossing the access driveways. (See attached detail for an example of a Continuous Sidewalk). The concrete sidewalk surface and texture shall continue uninterrupted across the entire access driveway.					
o The sidewalk shall be constructed so that it remains at a consistent vertical alignment with the sidewalk legs on either side of the driveway. I.e. the sidewalk shall not ramp down when crossing the driveway access, rather the driveway should rise to the level of the sidewalk. Any vertical change from the street elevation to the sidewalk elevation should be restricted to the driveway apron in the buffer space between the sidewalk and street.					
o All plan views and renderings in the plan set show a “discontinuous” sidewalk at the driveway crossings. This needs to be updated to reflect the “continuous” sidewalk.					
•Bike Parking					
o Rack style shall be “inverted-U” racks. “Wave,” “ribbon,” and “toaster” style racks are not permitted.					
o The bike parking should be constructed on a concrete pad. A grass surface will quickly deteriorate into mud from foot traffic during wet seasons and will be difficult to keep clear of snow. Also, a concrete surface will provide a more secure mounting surface for the racks and will discourage theft.					
o Staff supports including the bike parking towards the landscape surfacing requirement so that bike parking does not detract from the applicant’s landscape requirements. Conversion of a car parking spot to bike parking would also be supported.					
o Rack details and locations should be shown on site plans.					
o Jackson Hole Community Pathways will be happy to provide additional background information and guidance on site selection, layout, rack specification, and rack installation.					
Planning Tyler Valentine	NO COMMENT	4/24/2018	5/15/2018		
Police Todd Smith (4/30/2018 11:07 AM STOL)	APPROVED W/CONDITI	4/24/2018	5/15/2018	4/30/2018	
No concerns. I do see a commercial bus (possibly Altrans) that uses the parking in front of this site for drop off and pick up. This drawing shows it as individual parking spaces. I believe this is a service being provided by the hotel. If this service is to continue, it should be considered in the “parking plan”.					
Thanks, Todd					
Public Works Jeremy Parker	APPROVED W/CONDITI	4/24/2018	5/15/2018	6/8/2018	

Type of Review	Status	Dates			Remarks
		Sent	Due	Received	
Contact Notes (6/8/2018 3:51 PM JP) Plan Review Comments – APPROVED W/ CONDITIONS P18-128 Development Plan Lasting Legacy, LLC 480 West Pearl Avenue June 8, 2018 Jeremy Parker, (307)733-3079 x1412					

*Please be advised that the following comments are being provided for use in preparation of future Commercial Building Permit submittals.

In addition to the required Town of Jackson submittal requirements, The Engineering Department would like to encourage applicants to submit plans, documents, etc in electronic PDF format in addition to the standard paper submittal(s). Please submit these materials through the Planning & Building Department.

Please be advised, prior to Commercial Building Permit approval, the applicant shall be required to submit for Town Engineer and Planning Director approval a detailed construction staging/phasing plan and narrative on the expected public impact.

Please be advised that the Development Plan submittal includes information pertaining to many of these items. However, please note that should any aspect of the proposed development be modified or altered during the process which affects these submittal requirements new and/or additional information shall need to be updated and included in the Commercial Building Permit Application submittal. Prior to Commercial Building Permit approval, the following items must be included in the application submittal for review:

- A construction staging and phasing narrative detailing anticipated public impact, material and equipment storage, etc.
- All work to be completed within the Town’s right-of-way shall be specifically addressed.
- A pedestrian corridor plan, including all dimensions and elevations in relation to existing curb and future development together with ADA compliance. If awnings or canopies are proposed within the right-of-way, dimensional and drainage information shall also be included.
- Potable water system plan consistent with the LDR’s, including point of connection to the Town’s distribution system, elimination and abandonment of existing or redundant service connections, meter and backflow device locations, etc.
- Sanitary sewer system plan consistent with the LDR’s, including point of connection to the Town’s collection system, elimination and abandonment of existing or redundant service connections, grease mitigation measures, etc.
- Complete grading and erosion control plan consistent with the LDR’s.
- Site contours (existing and proposed) beyond all property boundaries per the LDR’s to ensure the development’s integration into the surrounding public and private property.
- Storm-water management plan consistent with the LDR’s including pre- and post-development runoff calculations, proposed retention areas, snow storage areas, etc.
- Parking and access plan per the LDR’s, including dimensions of parking spaces and drive lanes, ingress and egress turning movements, etc.
- Underground utility (electric, gas, communications, etc.) plan, including locations of transformers, etc.
- Irrigation system design (if applicable) with metering and backflow system plan consistent with the LDR’s.
- Complete and detailed landscaping plan.

Please be advised that a demolition permit shall be required for each existing structure to be removed from the site. Water and sewer services to be abandoned for the project shall be abandoned at the main during the demolition phase of the project.

START NO COMMENT 4/24/2018 5/15/2018
Darren Brugmann

TC Housing Authority APPROVED W/CONDITI 4/24/2018 5/15/2018 6/11/2018
Stacy Stoker

Type of Review	Status	Dates			Remarks
		Sent	Due	Received	
Contact					
Notes					
(6/11/2018 11:42 AM SAS)					
The units meet square footage requirements.					
The units are located in the basement and have one window located in a window well. Landscaping is required to mitigate this hardscape. Each unit is required to have outdoor storage and access to outdoor space. It is unclear whether this is being provided.					
A standard Employee Housing Restriction is required to be recorded on the property. This should be done prior to issuance of Certificate of Occupancy. The Housing Department will work with the applicant to get the restriction recorded.					